

Citation and Commencement

This planning scheme may be cited as *Scenic Rim Planning Scheme 2020*.

A notice was published in the Government Gazette on 24 February 2023 for the planning scheme Amendment Package No. 5 for the Scenic Rim Regional Council.

The commencement date for the planning scheme amendment package was 24 February 2023.

Amendments to the planning scheme are included in Appendix 2.

Part 1 About the Planning Scheme

1.1 Introduction

1. The Scenic Rim Planning Scheme (planning scheme) has been prepared in accordance with the Planning Act 2016 (the Act) as a framework for managing development in a way that advances the purpose of the Act.
2. In seeking to achieve this purpose, the planning scheme sets out Scenic Rim Regional Council's intention for the future development in the planning scheme area, over the next 20 years.
3. The planning scheme seeks to advance state and regional policies through more detailed local responses, taking into account the local context.
4. While the planning scheme has been prepared with a 20 year planning scheme horizon, it will be reviewed periodically in accordance with the Act to ensure that it responds appropriately to the changes of the community at a local, regional and state level.
5. The planning scheme applies to the planning scheme area of Scenic Rim Regional Council including all premises, roads, internal waterways and interrelates with the surrounding local government areas illustrated in Map 1.

Editor's note - State legislation identifies that the planning scheme does not apply to certain areas, e.g. Strategic Port land where there is a land use plan only to the extent of any inconsistency.

Editor's note - Part 10 of the planning scheme identifies areas of the region that are affected by other legislation e.g. Bromelton State Development Area under the State Development and Public Works Organisation Act 1971.

Map 1 — Local Government Planning Scheme Area and Context



1.2 Planning Scheme Components

The planning scheme comprises the following components:

1. about the planning scheme;
2. state planning provisions;
3. the strategic framework;
4. the local government infrastructure plan;
5. tables of assessment;
6. the following zones:

Zone	Precinct
Community Facilities Zone	
Conservation Zone	
District Centre Zone	
Emerging Community Zone	
Industry Zone	
Limited Development Zone	Flood Land Precinct Historical Subdivision Precinct
Local Centre Zone	

Low Density Residential Zone	Mountain Residential Precinct
Low-medium Density Residential Zone	
Major Centre Zone	
Major Tourism Zone	
Minor Tourism Zone	
Mixed Use Zone	Commercial Industrial Precinct
Neighbourhood Centre Zone	
Recreation and Open Space Zone	Passive Recreation Precinct
Rural Residential Zone	Rural Residential A Precinct
Rural Zone	Rural Escarpment Protection Precinct Tamborine Mountain Rural Precinct
Special Purpose Zone	Bromelton State Development Area Bulk Water Storage Precinct
Township Zone	Township Residential Precinct

7. There are no local plans;

8. The following overlays:

Mapping Overlays	Overlay Codes
OM-01 Agricultural Land Overlay	Agricultural Land Overlay Code
OM-02 Airport Environs and Defence Land Overlay	Airport Environs and Defence Land Overlay Code
OM-03 Bushfire Hazard Overlay	Bushfire Hazard Overlay Code
OM-04-A Environmental Significance Overlay - Biodiversity OM-04-B Environmental Significance Overlay - Local Biodiversity OM-04-C Environmental Significance Overlay - Priority Species OM-04-D Environmental Significance Overlay - Wetlands and Waterways OM-04-E Environmental Significance Overlay - Local Watercourses OM-04-F Environmental Significance Overlay - Vegetation Management Area	Environmental Significance Overlay Code
OM-05 Extractive Resources Overlay	Extractive Resources Overlay Code
OM-06-A Flood Hazard Overlay - Hazard Area OM-06-B Flood Hazard Overlay - Category Area	Flood Hazard Overlay Code
OM-07-A Landslide Hazard and Steep Slope Overlay - Steep Slope OM-07-B Landslide Hazard and Steep Slope Overlay - Landslide Hazard Area	Landslide Hazard and Steep Slope Overlay Code
OM-08 Local Heritage Overlay	Local Heritage Overlay Code
OM-09-A Regional Infrastructure Overlay - Water and Wastewater Infrastructure OM-09-B Regional Infrastructure Overlay - Major Electricity, Roads and Rail Infrastructure	Regional Infrastructure Overlay Code

OM-10-A Water Resources Catchments Overlay - Catchment Area OM-10-B Water Resources Catchments Overlay - Streams and Dams	Water Resources Catchments Overlay Code
OM-11 Master Plan Areas Overlay	Master Plan Areas Overlay Code
OM-12 Transport Noise Corridor Overlay	NA
OM-13 Minimum Lot Size Overlay	NA
OM-14 Higher Order Road Overlay	NA
OM-15 Road Hierarchy Overlay	NA

9. The following development codes:

Nature of Code	Code
Use Codes	Adult Store Code Animal Keeping Code Caretakers Accommodation Code Dual Occupancy Code Dwelling House Code Extractive Industry Code Home Based Business Code Intensive Animal Industry Code Intensive Horticulture and Wholesale Nursery Code Market Code Medium Density Residential Code Roadside Stall Code Sales Office Code Service Station Code Telecommunications Facilities Code Tourism Use Code Tourist Park Code
Other Development Codes	Advertising Devices Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code Reconfiguring a Lot Code

10. The following other plans:

- a. State Development Areas - *State Development and Public Works Organisation Act 1971*;
- b. *Mineral Resources Act 1989*;

11. Schedules and appendices;

12. The following planning scheme policies support the planning scheme:

Planning Scheme Policies
Planning Scheme Policy 1 - Infrastructure Design Planning Scheme Policy 2 - Landscaping Design Planning Scheme Policy 3 - Preparing Master Plans for Development Applications Planning Scheme Policy 4 - Bushfire Management Plans Planning Scheme Policy 5 - Ecological Assessments

1.3 Interpretation

1.3.1 Definitions

1. A term used in the planning scheme has the meaning assigned to that term by one of the following:
 - a. the *Planning Act 2016* (the Act)
 - b. the *Planning Regulation 2017* (the Regulation), other than the regulated requirements
 - c. the definitions in Schedule 1 of the planning scheme
 - d. the *Acts Interpretation Act 1954*
 - e. the ordinary meaning where that term is not defined in the Act, the Regulation, Schedule 1 of the planning scheme or the *Acts Interpretation Act 1954*.
2. In the event a term has been assigned a meaning in more than one of the instruments listed in sub-section 1.3.1(1), the meaning contained in the instrument highest on the list will prevail.
3. A reference in the planning scheme to any act includes any regulation or instrument made under it, and where amended or replaced, if the context permits, means the amended or replaced act.
4. A reference in the planning scheme to a specific resource document or standard, means the latest version of the resource document or standard.
5. A reference to a part, section, table or schedule is a reference to a part, section, table or schedule of the planning scheme.
6. A reference to a term listed in the legend of a map in **Schedule 2 Mapping** is a reference to the term and the relevant mapped area for the purpose of the planning scheme.

1.3.2 Standard Drawings, Maps, Notes, Editor's Notes and Footnotes

1. Standard drawings contained in codes or schedules are part of the planning scheme.
2. Photographic images, unless specifically referenced, are provided for illustration purposes only and do not represent policy or a desired outcome of the planning scheme.
3. Maps provide information to support the outcomes and are part of the planning scheme.
4. Notes are identified by the title 'note' and are part of the planning scheme.
5. Editor's notes and footnotes are extrinsic material, as per the *Acts Interpretation Act 1954*, and are identified by the title 'editor's note' and 'footnote' and are provided to assist in the interpretation of the planning scheme; they do not have the force of law.

Note - *This is an example of a note.*

Editor's note - *This is an example of an editor's note.*

Footnote¹ - *See example at bottom of page.*

¹**Footnote** - *this is an example of a footnote.*

1.3.3 Punctuation

1. A word followed by ';' or ', and' is considered to be 'and';
2. A word followed by ';' or 'or' means either or both options can apply.

1.3.4 Zones for Roads, Closed Roads, Waterways and Reclaimed Land

1. The following applies to a road, closed road, waterway or reclaimed land in the planning scheme area:
 - a. if adjoined on both sides by land in the same zone—the road, closed road, waterway or reclaimed land is in the same zone as the adjoining land;
 - b. if adjoined on one side by land in a zone and adjoined on the other side by land in another zone—the road, closed road, waterway or reclaimed land is in the same zone as the adjoining land when measured from a point equidistant from the adjoining boundaries;
 - c. if the road, closed road, waterway or reclaimed land is adjoined on one side only by land in a zone—the entire waterway or reclaimed land is in the same zone as the adjoining land; and
 - d. if the road, closed road, waterway or reclaimed land is covered by a zone then that zone applies.

Editor's note - The boundaries of the local government area are described by the maps referred to in the Local Government Regulation 2012.

1.4 Categories of Development

1. The categories of development under the Act are:
 - a. accepted development;

Editor's note - A development permit is not required for accepted development.

- b. assessable development;
 - i. code assessment
 - ii. impact assessment

Editor's note - A development permit is required for assessable development.

- c. prohibited development.

Editor's note - A development application may not be made for prohibited development.

2. The Act and regulation prescribe levels of assessment for certain types of development.
3. The planning scheme also states the category of development and category of assessment (where assessable development) in the planning scheme area in **Part 5 Tables of Assessment**.

1.5 Hierarchy of Assessment Benchmarks

1. Where there is inconsistency between provisions in the planning scheme, the following rules apply:
 - a. the relevant assessment benchmarks specified in the Regulation prevail over the planning scheme to the extent of any inconsistency;
 - b. the strategic framework prevails over all other components to the extent of the inconsistency for impact assessment;
 - c. overlays prevail over all other components (other than the matters mentioned in (a) and (b)) to the extent of the inconsistency);
 - d. zone codes prevail over use codes and other development codes to the extent of the inconsistency;
 - e. notwithstanding (c) and (d), where there is an inconsistency between a provision in a development code, zone code or overlay code, the provision requiring the highest standard prevails (e.g. the furthest setback distance); and
 - f. provisions of Part 10 may override any of the above.

1.6 Building Work Regulated Under the Planning Scheme

1. Section 17(b) of the Regulation identifies the assessment benchmarks for building work that a local planning instrument must not change the effect of to the extent the building work is regulated under the building assessment provisions, unless permitted under the *Building Act 1975*.
2. The building assessment provisions are listed in section 30 of the *Building Act 1975*.

Editor's note - The building assessment provisions are stated in section 30 of the *Building Act 1975* and are assessment benchmarks for the carrying out of building assessment work or building work that is accepted development subject to any requirements (see also section 31 of the *Building Act 1975*).

3. This planning scheme, through Part 5, regulates building work in accordance with sections 32 and 33 of the *Building Act 1975*.

Editor's note - The *Building Act 1975* permits planning schemes to:

- regulate, for the *Building Code of Australia (BCA)* or the *Queensland Development Code (QDC)*, matters prescribed under a regulation under the *Building Act 1975* (section 32). These include variations to provisions

contained in parts MP1.1, MP 1.2 and MP 1.3 of the QDC such as heights of buildings related to obstruction and overshadowing, siting and design of buildings to provide visual privacy and adequate sight lines, on-site parking and outdoor living spaces. It may also regulate other matters, such as designating land liable to flooding, designating land as bushfire prone areas and transport noise corridors;

- deal with an aspect of, or matter related or incidental to building work prescribed under a regulation under section 32 of the Building Act 1975;
- specify alternative boundary clearances and site cover provisions for Class 1 and 10 structures under section 33 of the Building Act 1975.

Refer to Schedule 9 of the Regulation to determine assessable development, the type of assessment and any referrals applying to the building work.

4. The building assessment provisions are contained in the following parts of this planning scheme:

Table 1.6.1: Building Assessment Provisions

Description	Planning Scheme Assessment Criteria	Building Act 1975 (BA) and Building Regulation 2006 (BR) Reference
Flood Hazard		
Designation of a natural hazard management area (flood)	Flood Hazard Area of the Flood Hazard Overlay Map - Hazard Area OM-06-A	Section 32(a) BA and section 13(1) (a) BR
Declaration of the defined flood level	Schedule 1 Definitions, administrative definition of 'defined flood level'	Section 32(a) BA and section 13(1) (b)(i) BR
Declaration of a freeboard more than 300mm	8.2.6 Flood Hazard Overlay Code	Section 32(a) BA and section 13(1) (b)(iv) BR
Declaration of a finished floor level of class 1 buildings built in all or part of the Flood Hazard Area	8.2.6 Flood Hazard Overlay Code	Section 32(a) BA and section 13(1) (b)(iv) BR
Bushfire Prone Areas		
Designation of bushfire prone areas for the BCA or QDC	Bushfire Hazard Overlay Map OM-03	Section 32(a) BA and section 12 BR
Queensland Development Code (QDC) Alternative Provisions		
Alternatives to QDC boundary clearance provisions	9.3.5 Dwelling House Code 9.3.4 Dual Occupancy Code 8.2.9 Regional Infrastructure Overlay Code	Section 33(2) BA
Alternative to QDC building height provisions	9.3.5 Dwelling House Code 9.3.4 Dual Occupancy Code	Section 32(b) BA and section 10(2) (b)
Alternative to QDC car parking provisions	9.3.5 Dwelling House Code 9.3.4 Dual Occupancy Code	Section 32(b) BA and section 10(2) (b)
Alternative to QDC site cover provisions	6.2.16 Rural Residential Zone Code	Section 33(2) BA

Editor's note - A decision in relation to building work that is assessable development under the planning scheme should only be issued as a preliminary approval. See section 83(b) of the Building Act 1975.

Editor's note - In a development application the applicant may request preliminary approval for building work. The decision on that development application can also be taken to be a referral agency's response under section 56 of the Act,

for building work assessable against the Building Act 1975. The decision notice must state this.

Note - The provisions identified in **Table 1.6.1—Building Assessment Provisions** in the planning scheme are limited to those referenced in section 30(1)(f) of the Building Act 1975, being provisions made under sections 32 and 33 of the Building Act 1975. The planning scheme contains other provisions which apply to building work, for example:

1. **8.2.8 Local Heritage Overlay Code**, which pursuant to **Part 5—Tables of Assessment**, applies to building work in a Local Heritage Place identified on Local Heritage Overlay Map OM-08. Refer to 5.10 Categories of Development and Assessment - Overlays which identifies when a code assessable development application made to the local government, for assessment against section **8.2.8 Local Heritage Overlay Code**, is required for building work in a Local Heritage Place;
2. **Transport Noise Corridor Overlay Map OM-12**, showing land designated under the Building Act 1975 Chapter 8B and referred to in QDC MP4.4.

1.7 Local Government Administrative Matters

1.7.1 Temporary Uses

For the purpose of the definition of ‘temporary use’ in **Schedule 1**, the uses listed in column 1 of **Table 1.7.1.1—Temporary Uses**, are impermanent if carried out in compliance with the limitations in column 2 of **Table 1.7.1.1—Temporary Uses** and up to the period specified in column 3 of **Table 1.7.1.1—Temporary Uses**.

Editor’s Note - **Table 1.7.1.1 - Temporary Uses** is provided to provide a clear guide to common temporary uses, and it is not intended to be an exhaustive or exclusive list. Uses conducted outside of the limitations prescribed in columns 2 and 3, may still be a temporary use depending upon the circumstances of the activity. Contact Council regarding other activities which may constitute a temporary use.

Editor’s Note - Temporary uses may be subject to other requirements, Standards and Approvals specified in local or State laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a temporary use to be conducted. Potential operators should contact Council for further details.

Table 1.7.1.1 - Temporary Uses

Column 1 Use	Column 2 Limitations on the Scope of Activity	Column 3 Maximum Period of the Activity
Air service	If: 1. in the Rural Zone; or 2. conducted in association with a lawful tourism activity or recreational activity.	12 days per calendar year and limited to one landing and one take-off on each day.
	If not listed above	2 days per calendar year.
Car wash	If a manual car wash	1 day per week
Community use	If in a Dwelling house, an art gallery for the display and sale of art produced by a resident of that dwelling	14 days per calendar year
Food and drink outlet	If: 1. footpath dining; and 2. on a paved footpath; and 3. operating from adjoining premises lawfully operating as a Food and drink outlet; and 4. tables, chairs and other furniture for the footpath dining: a. are not fixed to the footpath; and b. are removed from the footpath each day at the close of the hours of operation of the adjoining Food and	Unlimited

	<p>drink outlet.</p> <p>Editor's Note - Local Law Approvals may be required.</p>	
Hotel	<p>If:</p> <ol style="list-style-type: none"> 1. footpath dining; and 2. on a paved footpath; and 3. operating from adjoining premises lawfully operating as a Hotel; and 4. tables, chairs and other furniture for the footpath dining: <ol style="list-style-type: none"> a. are not fixed to the footpath; and b. are removed from the footpath each day at the close of the hours of operation of the adjoining Hotel. <p>Editor's Note - Local Law Approvals may be required.</p>	Unlimited
Indoor sport and recreation	<p>If:</p> <ol style="list-style-type: none"> 1. located on premises in the: <ol style="list-style-type: none"> a. Community Facilities Zone; or b. Recreation and Open Space Zone; 2. located on premises lawfully operating as a: <ol style="list-style-type: none"> a. Club; b. Community care centre; c. Community use; or d. Place of worship. 	14 days per calendar year
Motor sport facility	Where conducted on a lot in the Rural Zone (Where no precinct applies) where exceeding 100 hectares.	Not more than 2 days per calendar year
Outdoor sales	<p>If located on premises in the:</p> <ol style="list-style-type: none"> 1. District Centre Zone; 2. Industry Zone; 3. Local Centre Zone; 4. Major Centre Zone; 5. Neighbourhood Centre Zone; or 6. Township Zone (Where no precinct applies). 	14 days per calendar year
Outdoor sport and recreation	<p>If:</p> <ol style="list-style-type: none"> 1. conducted on a site in the Rural Zone (Where no precinct applies) where exceeding 50 hectares; and 2. involving hang gliding or mountain biking 	Not more than 4 days per calendar year
	<p>If involving the outdoor cinemas and located on premises in the:</p> <ol style="list-style-type: none"> 1. Community Facilities Zone; or 2. Recreation and Open Space Zone. 	14 days per calendar year
Place of worship	<p>If;</p> <ol style="list-style-type: none"> 1. in the: <ol style="list-style-type: none"> a. District Centre Zone; b. Industry Zone; c. Local Centre Zone; d. Major Centre Zone; e. Neighbourhood Centre Zone; or f. Township Zone (Where no precinct applies); or 	14 days per calendar year

	2. located on premises lawfully operating as a: a. Child care centre; or b. Community care centre; or c. Educational establishment; or d. recreational activity.	
Sales office	If a prize home conducted by a charity or not-for-profit organisation	Open to the public for a period not exceeding 8 weeks
Shop	If: 1. at a fete; and 2. located on premises lawfully operating as a: a. Child care centre; b. Community care centre; c. Educational establishment; or d. recreational activity.	4 days per calendar year
	If: 1. an itinerant vendor; and 2. operating from premises lawfully operating as a: a. Hotel; or b. Service station; or c. Shop; or d. Shopping centre; or e. Community use.	1 day per week per site
Theatre	If for film production conducted on location.	90 days per calendar year
Tourist park	If in the Rural Zone; 1. for no more than 7 camp sites to a maximum of 20 persons; and 2. the camp sites are located not less than 200 metres from a dwelling not on the development site.	20 days per calendar year
	If in conjunction with a: 1. Educational establishment; or 2. Place of worship; or 3. recreational activity.	14 days per calendar year
Transport depot	If: 1. in the Rural Zone or Rural Residential Zone; and 2. located on a lot of one hectare or more; and 3. for a maximum of 6 heavy vehicles.	12 days per calendar year

Part 2 State Planning Provisions

2.1 State Planning Policy

The Minister has identified that the state planning policy is integrated in the planning scheme in the following ways:

State interests in the state planning policy appropriately integrated

State Planning Policy 2017:

Liveable communities and housing

Housing supply and diversity
Liveable communities

Economic growth

Agriculture
Development and construction
Mining and extractive resources
Tourism

Environment and heritage

Biodiversity
Cultural heritage
Water quality

Safety and resilience to hazards

Emissions and hazardous activities
Natural hazards, risk and resilience

Infrastructure

Energy and water supply
Infrastructure integration
Transport infrastructure
Strategic airports and aviation facilities
Strategic ports

State interests in the state planning policy not integrated

Not applicable.

State interests in the state planning policy not relevant to Scenic Rim Regional Council

Environment and Heritage - Coastal Environment.

2.2 Regional Plan

The Minister has identified that the planning scheme does not integrate the outcomes of the South East Queensland Regional Plan 2017 (Shaping SEQ), specifically the strategic framework as it applies in the planning scheme area.

2.3 Referral Agency Delegations

Schedules 9 and 10 of the regulation identify referral agencies for certain aspects of development. The following referral agencies have delegated the following referral agency jurisdictions to Scenic Rim Regional Council:

Table 2.3.1—Delegated Referral Agency Jurisdictions

Column 1 Application Involving	Column 2 Referral Agency and Type	Column 3 Referral Jurisdiction
Nil	Nil	Nil

Editor's note - For the above listed referral agency delegations, the applicant is not required to refer the application to the referral agency listed under Schedules 9 and 10 of the regulation because the local government will undertake this assessment role.

2.4 Regulated Requirements

The Minister has identified that the regulated requirements prescribed in the Planning Regulation 2017 (reprint current from 1 January 2020) are appropriately reflected in full in the planning scheme.

Editor's note - Section 16(3) of the Act states that the content prescribed by regulation prevails over a local planning instrument, to the extent of any inconsistency.

Part 3 Strategic Framework



3.1 Preliminary

1. The strategic framework sets the policy direction for the planning scheme and forms the basis for ensuring appropriate development occurs in the planning scheme area for the life of the planning scheme.
2. Mapping for the strategic framework is included in Part 3 and Schedule 2 - Mapping.
3. For the purpose of describing the policy direction for the planning scheme, the strategic framework is structured in the following way:
 - a. Regional Context;
 - b. Strategic Vision;
 - c. the four themes that collectively represent the policy intent of the planning scheme, being:
 - i. Communities and Character;
 - ii. Growing Economy;
 - iii. Environment and Natural Hazards; and
 - iv. Sustainable Infrastructure;
 - d. the strategic intent for each theme; and
 - e. the strategic outcomes proposed for development in the planning scheme area for each theme.
4. The strategic framework in its entirety represents the policy intent for the planning scheme.

3.2 Regional Context



The Scenic Rim Regional Council area (region) is located in South East Queensland and is approximately 50km south of the Brisbane central business district (CBD), 20km west of the Gold Coast CBD and 18km south of the Ipswich CBD. Covering 4,251.6km² in area, the region extends from Peak Crossing and Gleneagle in the north, to the New South Wales border in the south, and from Tamborine Mountain in the east, to Cunningham's Gap in the west.

The region consists of a diverse range of landscapes including rich agricultural and grazing lands, waterways and waterbodies, World Heritage listed National Parks and urban and rural living environments. The landscape is framed by the Main Range and Macpherson Ranges and comprises large tracts of remnant vegetation and significant biodiversity values. It provides important recreational and tourist areas to residents, the broader South East Queensland community and its visitors. The region incorporates the catchments for four major South East Queensland river systems, being the Bremer, Logan, Albert and Coomera rivers. The region provides vital rural production, biodiversity, air quality, water catchments and landscape amenity to the rapidly growing South East Queensland. The maintenance of these qualities therefore is a fundamental objective of planning for the future of the region.

The region has three primary settlements at Beaudesert, Boonah and Tamborine Mountain, and many unique rural townships and villages. The Brisbane to Sydney railway corridor and two interstate highways pass through the region. The Bromelton State Development Area, located along the Sydney-Brisbane rail corridor, will provide for a regionally significant industrial area.

3.3 Strategic Vision



In 2041, the Scenic Rim remains a network of unique and vibrant towns and rural villages embedded in a scenic, productive and sustainable landscape. The region has grown by approximately 22,000 to reach a population of around 62,000. Most of the growth has occurred as a result of planned urban expansions of Beaudesert and to a lesser extent Boonah, Canungra, Kalbar and Kooralbyn. However, Peak Crossing, Harrisville, Aratula, Mount Alford and Rathdowney have also experienced growth within their existing township boundaries and are flourishing as rural townships, each with a distinctive and unique character. The region is widely recognised and appreciated as a natural and rural based destination for the urbanised areas of South East Queensland.

Residents enjoy a high quality lifestyle in self-reliant communities that provide a choice of quality local food, products, services and recreation opportunities. The community supports sustainable farms, businesses and industries that are compatible with the environment and lifestyle, while providing rewarding employment and opportunities for growth.

Residents prosper from the productive farmland, stunning natural environments and character filled towns and villages, which attract tourists and visitors to the region. Natural resources such as productive agricultural land, biodiversity areas, water supply and extractive resources are protected and used sustainably.

Our traditional owners continue to be engaged to ensure their cultural knowledge and connections to the land inform the planning for communities and the sustainable management of natural assets and natural economic resources.

The region is an inclusive, caring and creative environment with healthy and active residents and provides a safe and nurturing environment for children and families. Development in the region has:

1. retained the lifestyles afforded by the diverse urban, rural, acreage, townships and mountain communities;
2. maintained rural production as the foundation of the region's economy, whilst having protected the region's natural assets and rural amenity;
3. protected and enhanced the natural beauty, environment, natural resources and rural landscapes;
4. retained and strengthened the heritage character and community pride experienced in towns and villages through carefully managed development;
5. provided a range of additional housing options with a high level of accessibility to the town and village centres, services, recreation and open space; and
6. facilitated local employment, better services and infrastructure and promoted self-containment and economic development opportunities across the region.

The region's towns and villages are supported by a range of open space, sport and recreation, cultural and other facilities that contribute to a healthy and active lifestyle and engaged residents. Development has ensured that our communities each celebrate an individual character, identity, history and culture, yet maintain an inherent connection to form a strong regional identity and sense of belonging as part of the Scenic Rim region.

Beaudesert

Beaudesert remains the major centre of the region. The town has experienced significant urban growth; however, its

rural town origins and country heritage remain embodied in the rural town streetscapes and architecture. The use of place based design principles is encouraged to support connections between residential, community, recreation and commercial activities.

Beaudesert:

1. has a traditional neighbourhood design featuring street systems that have a clear hierarchy, generally based on a grid pattern that facilitates accessibility;
2. has a thriving commercial centre that accommodates a wide range of commercial, community, recreation, residential and cultural and civic activities within an active and vibrant mixed use environment, which reinforces the intended role and function of Beaudesert as the major centre of the region;
3. provides safe, accessible and vibrant spaces for people to gather and connect;
4. provides a diverse range of attractive, affordable housing that caters for the needs of residents with convenient access to the major centre, recreation and other services;
5. provides housing choice, catering for a wide range of households with residents having their housing needs met as they move through their life cycle;
6. includes a wide range of building types that are designed to respect the traditional building character, allowing for choice and the flexibility for buildings and land use to be adapted and changed over time;
7. has maintained clear edges defining the urban development from the surrounding landscape and Rural Areas;
8. is serviced by an efficient and integrated infrastructure and services network;
9. has retained its unique rural setting and landscape character through the protection of significant natural landscape and environmental values such as Spring Creek, Waters Creek and Fishers Gully and the retention of the upper slopes of the Birnam Range in a natural state, which continues to 'frame' and provide a scenic backdrop to the town and function as a key ecological corridor.

Boonah

Boonah has evolved as a thriving rural town and a hub for recreation, tourism and sustainability. The town generates a high level of activity at the regional level and is constantly enlivened through events, activities and community celebrations. It has retained its high level of amenity reflective of the value and significance of rural activities to the local economy, character and lifestyle of the area.

Boonah:

1. has a vibrant district centre with a traditional 'High Street' character providing an important sense of place for residents and visitors;
2. provides affordable, attractive and diverse housing with convenient access to the district centre, recreation and other services;
3. is serviced by an efficient and integrated infrastructure and services network; and
4. has retained its picturesque rural setting whilst providing an important functional centre for the surrounding rural economic base.

Tamborine Mountain

Tamborine Mountain, incorporating the distinct communities of North Tamborine, Mount Tamborine and Eagle Heights, has retained its character as a productive green sanctuary and creative environment within the surrounding vegetated escarpment areas.

Tamborine Mountain is renowned for its national parks and scenic beauty and is home to a vibrant and creative residential community, diverse local businesses and small farms catering for the local community and a thriving tourist market.

Tamborine Mountain:

1. is sustained by a district centre and two neighbourhood centres that provide for a wide range of local services that meet the needs of the residents of the Tamborine Mountain plateau;
2. is characterised by a mix of rural production, tourism and rural enterprise opportunities of a scale and intensity consistent with the area's semi-rural and natural landscape setting and character;
3. has maintained a low-density residential development pattern, comprising a combination of low-density and large rural residential lots, with unique villages of a distinctive character that offer a high level of amenity;
4. has conserved and enhanced ecological and landscape values, which form an integral part of the development pattern; and

5. has retained and enhanced the landscape and environmental values and vegetated corridors that traverse the plateau connecting to the escarpment areas.

Canungra

Canungra, supported by a local centre and nestled in a backdrop of green wooded hills, remains a distinctive rural village attracting tourists and residents seeking a semi-rural lifestyle. Residents enjoy a high level of amenity with development characterised by low density, sewerred residential and compatible non-residential activities, which maintains the village character. Canungra has a unique village atmosphere and a main street dominated by traditional building forms that reinforce its historic character and provide a strong sense of place.

Kalbar

Kalbar, supported by a local centre and characterised by low density residential development, has retained its relaxed country town character, heritage values and rural setting. Kalbar provides a centre for rural living and supports the surrounding rural activities. Development celebrates the historic built form evident in the design of buildings in the town. A strong sense of place attracts visitors from outside the region to experience the rural atmosphere, local shops and cafes.

Kooralbyn

Kooralbyn offers a rural residential and leisure-orientated lifestyle in a natural setting. Supported by a local centre and framed by mixed business providing for commercial and residential uses, the town has maintained a high level of amenity through modern functional architecture in a setting dominated by its rural landscape and surrounding hills. Kooralbyn has been reinvigorated as a major tourist destination in the region with a focus on outdoor sport and recreation and activities reliant on the landscape setting and natural values of the locality.

Rathdowney

Rathdowney is a quiet and friendly township that serves as a gateway to the Scenic Rim wilderness areas. The picturesque township is located around a large central open greenspace with a scenic backdrop of surrounding hills and mountain ranges. Development in the town has maintained its rural village character and complements its landscape setting.

Beechmont

Beechmont, a low-density residential plateau characterised by open rolling hills, continues to support a thriving community which enjoys its rural lifestyle. The township provides for the minor convenience needs of its residents, as well as flourishing small businesses, such as cafes and shops that provide an ideal opportunity for locals and visitors to enjoy the scenic qualities and village atmosphere of the Beechmont township. Beechmont has continued to thrive with the retention of its quality lifestyle and the protection of its valuable productive and natural environments.

Tamborine

Tamborine is a rural residential area in a bushland setting, located at the northern gateway to Tamborine Mountain. Tamborine provides large lot living opportunities, important habitat for a variety of native species and corridors for wildlife movement and nature-based recreation opportunities. Tamborine has maintained its village character with commercial and tourism activities concentrated around the central roundabout.

Other Rural Villages

The other rural villages dispersed within the Rural Areas of the region including Aratula, Harrisville, Mount Alford, Peak Crossing and Roadvale, have retained a strong rural character with the history of these villages conserved for the community and visitors to respect and appreciate.

3.4 Communities and Character



3.4.1 Strategic Intent

Settlement Pattern

The settlement pattern of the region comprises the Rural Areas, Urban Areas, Acreage Areas, Mountain Community, Townships, Natural Areas and the Bromelton State Development Area, which are identified on **Strategic Framework Map SFM-01: Communities and Character**.

Development in these areas will recognise, respect and integrate with the existing character, rural and natural landscapes, heritage and ecological values of the region. Development in the region's towns and villages will protect and enhance the unique elements that contribute to their individual identity and character, which are outlined in **Section 3.3 Strategic Vision** for certain localities. The development intent and the level of amenity reasonably expected in zones (and variations in precincts) are not compromised by development of an inappropriate type, scale, intensity or impact.

Rural Areas

Rural Areas retain their distinctive and attractive rural and natural landscape qualities including, but not limited to:

1. expanses of productive rural farmland;
2. forested mountain ranges contributing to the region's iconic scenic backdrop;
3. waterways and dams set amongst a varying landscape from forested, steep upper reaches to open floodplain; and
4. scenic viewing experiences within forested hills and valley settings.

Rural Areas provide for a wide range of rural and complementary land uses that maintain agricultural production opportunities in different parts of the region. Rural buildings and structures that are typically associated with rural activities contribute to the landscape character of Rural Areas, with any large-scale buildings associated with intensive animal industries screened to maintain the region's rural and natural landscape qualities.

Tourism and recreation opportunities also occur in Rural Areas and are located and designed to integrate with and protect the region's rural and natural landscape qualities.

The option for residents to live in Rural Areas to enjoy rural lifestyles will continue. The expected level of amenity of Rural Areas is predominantly representative of a traditional rural environment.

The Canungra Land Warfare Centre and Maroon, Moogerah and Wyaralong Dams continue to make a significant contribution to the natural landscape qualities of the region's Rural Areas. Development that increases the number of people living or congregating near the Canungra Land Warfare Centre is avoided. Sport and recreational activities both on the water and on surrounding lands of the Maroon, Moogerah and Wyaralong Dams are encouraged only where compatible with the water quality objectives of their function as urban water storages.

Urban Areas

Urban Areas are the larger towns of the region and include Beaudesert, Boonah, Canungra, Kalbar and part of

Kooralbyn. They contain many of the key commercial, cultural, civic, recreation and community services and facilities of the region.

Urban Areas have a well-designed, attractive, functional, safe and accessible built environment to enhance the physical and social wellbeing of people.

Urban Areas provide for a range of residential lot sizes and dwelling types to meet the housing needs of the community. Rural residential lots are only created within Urban Areas where the land is subject to physical constraints that limit its development for more intensive residential purposes or where consistent with the intended character of the land contemplated by the zone.

Industrial zoned land in Urban Areas provides for a variety of industrial activities (excluding High impact industry and Special industry) and other uses and activities that are compatible with, and do not compromise the use of land in the zone for its intended purpose.

The centres zones in Urban Areas facilitate a range of commercial, administrative, business, community, entertainment, professional and retail uses of varying scales and intensities relative to the intended role and function of the centre in the centres hierarchy shown on **Strategic Framework Map SFM-02: Growing Economy**.

Development that has the potential to impact on the high level of amenity expected in Urban Areas manages these impacts within their sites so as not to compromise the existing or potential development of nearby land. Buffers and other separation areas are provided within Urban Areas between incompatible land uses to minimise impacts on nearby Rural Areas.

Land in Urban Areas that is included in the Emerging Community Zone is not developed until detailed land use and infrastructure planning has been undertaken and approved by the local government. Reconfiguration does not result in the fragmentation of land prior to its planned development for urban purposes and land uses do not compromise the future urban development potential of the land. Not all land in the Emerging Community Zone will be suitable for urban development in the future having regard to the presence of environmental values and development constraints.

Development of this land in the Emerging Community Zone for urban purposes at Kooralbyn will not occur during the life of the Planning Scheme as an adequate supply of urban zoned land to accommodate expected growth for fifteen years has been provided.

Acreage Areas

Acreage Areas will predominantly cater for low density residential uses on large lots within a rural or bushland setting.

Limited infrastructure and services are provided in Acreage Areas given that the settlement pattern is generally dispersed. Development in Acreage Areas will preserve the surrounding landscape character and natural features (such as waterways, vegetated areas and ridges) and will not constrain the operations of surrounding rural activities.

Small-scale rural, tourism and home-based business activities may be supported, mainly on larger lots, where they protect the rural residential amenity and character of the surrounding area and are located to avoid adverse impacts and maintain the privacy of nearby properties.

Limited additional acreage lots are created in Acreage Areas and only where shown on the **Minimum Lot Size Overlay Map OM-13**. Any additional acreage lots achieve consistency with the prevailing low-density character and amenity of the area, and are of an appropriate size and configuration to facilitate the effective management of on-site wastewater disposal and minimise impacts to water quality.

Mountain Community

Mountain Community is the Tamborine Mountain plateau and its surrounding escarpment areas. It supports a residential development pattern of unique villages characterised by a high level of amenity and distinctive character, and rural residential areas set amongst a semi-rural landscape. The centres of the Tamborine Mountain plateau provide for the range of uses and services to meet the needs of the local community and includes retail,

commercial, industrial (of a low impact and service nature), community and recreational activities.

The Tamborine Mountain plateau will continue to attract tourists and visitors to experience its unique natural environment, scenic beauty, semi-rural character and attractions based on locally grown and produced food, home wares, art, craft, entertainment, high quality meals and accommodation. A mix of rural and tourism opportunities will continue to be facilitated where they are of a scale and intensity consistent with the area's existing semi-rural and natural landscape setting.

The regionally significant scenic amenity values of the escarpment surrounding Tamborine Mountain will be protected for the landscape values that the area provides to residents and visitors. The ecological values of the escarpment are maintained as an integral part of the small scale and low intensity development intended for the area.

Further subdivision of residential or rural land on Tamborine Mountain that provides for the creation of any additional lots is not supported.

Groundwater extraction for commercial purposes is not supported in the Mountain Community as the activity detracts from the amenity of the sensitive residential and nature-based tourism areas, which represents the prevailing development pattern of the Tamborine Mountain plateau and escarpment. In particular, the volume of heavy vehicle traffic generated by the use is inconsistent with the amenity and character expectations of land located along the road network that services the Mountain Community, which is predominantly utilised for residential and tourist activities.

The expansion of the Beacon Road Community Facilities Area is supported to maintain the ongoing viability of the facility provided that any new development:

- continues to reflect the existing low scale and intensity of the development;
- maintains adjoining residential amenity and privacy through appropriate scale and setbacks;
- maintains the natural landscape setting and character of the site;
- avoids impacts on the local road network and ensures parking and loading and unloading of vehicles occurs safely within the site; and
- avoids impacts on the natural values of the site, including adjoining protected areas.

Townships

Townships will remain in their current settlement pattern, with residential scale uses, to preserve their distinctive character that is interconnected with the region's rural history. Townships continue to facilitate a flexible mixed use environment comprising low density residential, small scale commercial and low impact industrial uses that services the residents of Townships and their immediate rural areas.

Development is designed to preserve and complement the streetscape and historic character, and the existing settlement pattern of Townships.

Investigation Areas

Investigation Areas (as identified on **Strategic Framework Map SFM-01: Communities and Character**) include those lands that may have the potential to accommodate future residential growth opportunities. Investigation Areas are identified for Beaudesert and Tamborine.

In addition to any other development timing identified in the Strategic Framework, the development of land in an Investigation Area will not occur until such time that a planning study has been undertaken for the land's intended purpose and the outcomes of the study have been reflected in the Planning Scheme. These studies will consider:

1. development timing having regard to population growth and residential land availability in the region;
2. the ability to efficiently deliver any future communities with the necessary infrastructure and services so as not to financially burden both state and local government; and
3. any other planning matters relevant to the land including (but not limited to) Matters of State and Local Environmental Significance, separation to Key Resource Areas, proximity to existing intensive rural uses and Rural Areas and natural hazards.

Any planning studies affecting Investigation Areas will involve extensive consultation with the local community during the initial planning and visioning stage, as well as consultation on any proposed planning scheme amendments.

Not all land in an Investigation Area will be suitable for its intended development having regard to the presence of environmental values and development constraints. Any interim development of an Investigation Area that has the potential to fragment or compromise the longer-term use of the land for its intended purpose such as Intensive animal industries and Extractive industries will not be supported.

The development intent of each Investigation Area is outlined below.

1. **Beaudesert:** The Investigation Area identified for Beaudesert represents future urban expansion areas. Development of this land for urban residential purposes will not occur during the life of the Planning Scheme as an adequate supply of urban zoned land to accommodate expected growth in Beaudesert in excess of fifteen years has been provided. In the interim, the Beaudesert Investigation Area will maintain its current semi-rural character and setting.
2. **Tamborine:** The Investigation Area identified for Tamborine applies to part of the locality's existing rural residential development pattern. The intent of the Tamborine Investigation Area will be to conduct a detailed planning study involving thorough community consultation to investigate whether any potential exists to achieve a more consolidated and efficient rural residential development pattern through the creation of additional acreage lots. Matters expected to be considered in determining whether any capacity for additional rural residential lots exists in the Investigation Area include an assessment of the natural hazards and environmental values present in the locality, the capacity of the existing infrastructure networks (including the current and planned function of the State-controlled road network) and the rural residential character sought for the locality. In the interim, the creation of additional lots is not supported in the Tamborine Investigation Area and any future development reflects the intent of the zone.

Bromelton State Development Area

The Bromelton State Development Area (SDA) will develop into an industrial area of regional, state and national significance, primarily intent on accommodating logistics operations and rail-dependent industries. The SDA's location adjacent to the standard gauge rail network will enable industries to access both intrastate and interstate markets. The initial stage of the SDA will focus on a 1,000 ha area located at the intersection of the Sydney-Brisbane rail corridor and Boonah-Beaudesert Road, and will incorporate large-scale buildings and structures, and key infrastructure that supports the SDA's intent as a regionally significant enterprise area.

The rural areas of the SDA surrounding the industrial precinct will provide for the continuation of low impact rural and agricultural activities that are compatible with and able to operate near intensive industrial activities.

Land use in the SDA will be developed in accordance with the planning framework applicable to the SDA, being the Coordinator General's Development Scheme for the Bromelton State Development Area.

Natural Areas

The Natural Areas of the region incorporate land contained in protected areas or reserves. Natural Areas contribute to the maintenance of ecological processes and biodiversity at both a local and regional scale and are valued for the recreation opportunities and significant scenic amenity they provide.

Natural Areas will remain in a predominantly natural state and will be supported by necessary development and infrastructure to facilitate their conservation and appropriate environmental interpretation and recreation opportunities, access and maintenance activities, where environmental and regional landscape values are protected.

Constrained Land

Land that is significantly affected by one or more development constraints is included within the Limited Development Zone. Land uses in the Limited Development Zone are limited in the range of land uses that can occur and designed to respond to the constraints of the land.

Low-impact, small-scale residential opportunities may occur in the Zone (Where no precinct applies) where compatible with the surrounding area and where constraints can be appropriately mitigated, Development in the

Historical Subdivision Precinct of the Zone provides a rural living character commensurate with the limited services and infrastructure available in the historical subdivisions of Clumber, Croftby, Fassifern Valley, Munbilla, Rosevale, Harrisville and Warrill View.

Housing Supply, Built Form and Diversity

Housing Supply

The land required for urban development to accommodate the projected population growth in the region is contained in the Urban Areas. Sufficient land supply in excess of fifteen years has been allocated in the Urban Areas, which will accommodate residential, commercial and industrial development so as to sustainably manage growth, avoid encroachment into Rural Areas and protect rural production, environmental and scenic amenity values.

Growth in the Urban Areas will contribute to high amenity living environments that are compact and contained, so that efficient use of infrastructure occurs, and encroachment on land for other purposes is avoided. Consolidation in Urban Areas is also encouraged to ensure the efficient use and delivery of infrastructure, where it is of a scale and intensity contemplated by the intent of the zone. Limited urban development will occur through the modest growth of the region's Townships.

The settlement pattern will support and reinforce Beaudesert as the focus for the region's growth, with diverse housing to meet the changing needs of the population primarily accommodated in the Beaudesert Urban Area.

Urban growth is accompanied by the orderly, sequenced and timely expansion of infrastructure including water supply, sewerage, the transport network, stormwater, parks, community services and facilities to support community need and cost-effective investment, in accordance with the Local Government Infrastructure Plan.

Built Form

Urban growth in the region contributes to a high quality, well designed built environment that provides places for people that are attractive, functional, safe and accessible. New residential areas are integrated with adjoining areas in the locality and are based on a safe, attractive and integrated street pattern that maximises permeability, legibility, accessibility and street tree plantings. A modern country town ambience is created through built form, street design and lot configurations which allow for diverse and attractive buildings to address street frontages and public spaces.

The visually prominent and sensitive upper slopes of the Birnam Range at Beaudesert are maintained in a natural state and protected from development impacts.

Medium to large greenfield subdivisions are master planned to:

1. facilitate a range of housing types and lot sizes to meet existing and evolving community needs into the future;
2. enable increased yields in close proximity to open space, retail, commercial, community, recreation facilities and public transport;
3. provide for an effective and efficient road hierarchy and network that addresses connectivity, functionality, safety and serviceability; and
4. ensure development is staged to provide access to community facilities and services commensurate with community need.

Housing Diversity and Affordable Living

The changing demographic needs of the community are catered for through the provision of diverse housing types, densities and lot sizes. Housing choice is facilitated at densities consistent with the intent of the zone, responsive to the housing needs of the community and includes the provision of Residential care facilities and Retirement facilities at accessible and well serviced locations.

Residential care facilities and Retirement facilities are supported to service the care and accommodation needs of aged persons on the Tamborine Mountain plateau where:

1. located in the urban footprint and in close proximity to services and facilities;
2. of a low density and small in scale; and
3. involving a low-rise built form designed to integrate with the natural and landscape values of the land.

The establishment of large-scale Retirement communities and Residential care facilities are not supported in the Mountain Community due to their inconsistency with the prevailing low intensity development pattern of the area and limited infrastructure availability.

Retirement facilities and other similar high density residential developments are established in localities that have access to an appropriate level of services and infrastructure to cater for the needs of the future residents of these facilities, and also to ensure that their scale and intensity does not detrimentally impact the communities in which they are located.

Affordable living opportunities involving Dwelling houses on smaller lots, Dual occupancies and Multiple dwellings are provided within the Low and Low-medium density residential zoned areas where they have convenient access to employment and social and community infrastructure and facilities. The facilitation of Dual occupancies, Dwelling units and secondary dwellings throughout the region, where consistent with the intent of the zone, further contributes to the diversification of housing types and affordable living opportunities to cater for the region's changing demographics.

3.4.2 Strategic Outcomes

Element	Strategic Outcome
Rural Areas	<ol style="list-style-type: none"> 1. Rural Areas only accommodate those land uses identified in the 'Table of Consistent Uses and Potentially Consistent Uses' for each zone unless it is demonstrated that the development complies with the Strategic Framework. 2. Non-rural activities are located and designed to preserve the landscape character and scenic amenity of Rural Areas, which include (but are not limited to) the following rural and natural qualities: <ol style="list-style-type: none"> a. expanses of productive rural farmland; b. forested mountain ranges contributing to the region's iconic scenic backdrop; c. waterways and dams set amongst a varying landscape from forested, steep upper reaches to open floodplains; and d. scenic viewing experiences within forested hills and valley settings. 3. Buildings and structures associated with the Intensive animal industry are sited and designed to avoid adverse impacts on the scenic amenity and landscape character of the surrounding area. 4. Lots in the Rural Zone achieve the minimum lot sizes specified for the Rural Precincts identified in Strategic Framework Map SFM-03: Rural Precinct Plan, being: <ol style="list-style-type: none"> a. Rural 60 ha Precinct; and b. Rural 40 ha Precinct. which are SEQ Subdivision Precincts in accordance with Schedule 10 of the <i>Planning Regulation 2017</i>. Where not included in a Rural Precinct, the minimum lot size for new lots in the Rural Zone is 100 ha. 5. Rural Areas support opportunities for rural living in the form of Dwelling houses, Dual occupancies and Rural worker's accommodation. 6. The Historical Subdivision Precinct of the Limited Development Zone provides for the amalgamation of parcels to facilitate Dwelling houses on lots with a minimum area of 2 ha with access to a constructed road to create a rural residential as opposed to an urban residential development pattern and character. 7. Rural Areas are protected from encroachment by urban and rural residential development. 8. The level of amenity expected in a Rural Zone (excluding precincts) is predominantly representative of a traditional rural environment.
Urban Areas	<ol style="list-style-type: none"> 1. Urban Areas only accommodate those land uses identified in the 'Table of Consistent Uses and Potentially Consistent Uses' for each zone unless it is demonstrated that the development complies with the Strategic Framework. 2. Lots in the Low-Density Residential Zone (excluding the Mountain Residential

- Precinct) support low density residential living with a high level of amenity and a mix of lot sizes to provide predominantly for a range of low-density residential activities.
3. Dual occupancies in the Low-Density Residential Zone (excluding the Mountain Residential Precinct) are located on lots 600m² or greater to maintain the predominantly low-density residential character of the zone and buildings incorporate urban design elements that positively contribute to the streetscape and create variation in appearance.
 4. Medium density residential activities including Multiple dwellings, Residential care facilities and Retirement facilities may occur in the Low-Density Residential Zone to achieve a range of housing options and to facilitate affordable living, where development:
 - a. is small in scale;
 - b. is consistent with neighbourhood amenity and the low-density residential character of the zone;
 - c. ensures that any interface with low density residential activities achieves integration in terms of scale and density; and
 - d. has convenient access to centre activities or areas of public open space.
 5. Lots in the Low-medium Density Residential Zone support low-medium residential living with a high level of amenity and provide for a mix of lot sizes.
 6. Land included in the Low-medium Density Residential Zone provides for a range and mix of low and medium density residential activities to cater for the diverse housing needs of the community.
 7. Dual occupancies in the Low-medium Density Residential Zone are located on lots 600m² or greater and incorporate urban design elements that positively contribute to the streetscape and create variation in appearance, particularly in areas that have a concentration of Dual occupancies or medium density residential activities.
 8. Medium density residential activities including Multiple dwellings, Residential care facilities and Retirement facilities are supported in the Low-medium Density Residential Zone where development:
 - a. is consistent with the neighbourhood amenity and residential character of the zone;
 - b. ensures that any interface with low density residential activities achieves integration in terms of height and scale; and
 - c. has convenient access to centre activities or areas of public open space areas.
 9. Retirement facilities and other similar high density residential developments are established in localities that have access to an appropriate level of services and infrastructure to cater for the needs of the future residents of these facilities, and also to ensure that their scale and intensity does not detrimentally impact the communities in which they are located. A Social Impact Assessment is undertaken to demonstrate the achievement of this Outcome.
 10. The creation of additional rural residential lots in Urban Areas is only supported where involving land contained within the 4,000m² Minimum Area or the 1ha Minimum Area on **Minimum Lot Size Overlay Map OM-13**.
 11. Lot sizes in the Rural Residential Zone:
 - a. maintain a low-density residential character and support a high level of residential amenity;
 - b. are able to support low density residential activities on large lots;
 - c. are of an adequate size to manage the cumulative impacts of on-site wastewater treatment, where required; and
 - d. where in the Rural Residential Precinct A, the semi-rural or natural landscape setting is preserved through the retention of natural landscape features and environmental values such as ridgelines, waterways, vegetation, ecological corridors and open space.
 12. Residential development does not occur above RL 140 metres AHD for land south of Beaudesert-Nerang Road and above RL 120 metres AHD for land north of Beaudesert-Nerang Road to protect the visually sensitive upper slopes of the

	<p>Birnam Range.</p> <p>13. Land in the Emerging Community Zone is not developed until detailed land use and infrastructure planning has been undertaken and approved by the local government. Reconfiguration does not result in the fragmentation of land prior to its planned development for urban purposes and land uses do not compromise the future urban development potential of the land.</p>
<p><i>Acreage Areas</i></p>	<ol style="list-style-type: none"> 1. Acreage Areas only accommodate those land uses identified in the 'Table of Consistent Uses and Potentially Consistent Uses' for each zone unless it is demonstrated that the development complies with the Strategic Framework. 2. Rural residential development is contained within land included in the Rural Residential Zone and associated precinct. 3. Lots in Acreage Areas are only created where contained within the 4,000m² Minimum Area or the 1ha Minimum Area on the Minimum Lot Size Overlay Map OM-13. 4. Lot sizes in the Rural Residential Zone: <ol style="list-style-type: none"> a. maintain a low-density residential character and supports a high level of residential amenity; b. are able to support low density residential activities on large lots; and c. are of an adequate size to manage the cumulative impacts of on-site wastewater treatment. 5. The dimensions of lots in the Rural Residential Zone maintain the prevailing pattern of development in relation to street frontage widths and ensure vehicular access does not unreasonably impact the amenity of adjoining properties. 6. Dual occupancies are supported where located on large lots to maintain the low-density residential character of Acreage Areas and where designed to give the appearance of a single dwelling when viewed from the street. 7. Rural residential development in Acreage Areas does not constrain the operation of surrounding rural activities in Rural Areas and does not result in the fragmentation of productive agricultural land. 8. The Rural Residential A Precinct of the Rural Residential Zone may facilitate small-scale rural and limited tourist activities where compatible with the low-density residential character and high level of residential amenity expected in the Precinct and where impacts on nearby properties are avoided.
<p><i>Mountain Community</i></p>	<ol style="list-style-type: none"> 1. The Mountain Community only accommodates those land uses identified in the 'Table of Consistent Uses and Potentially Consistent Uses' for each zone unless it is demonstrated that the development complies with the Strategic Framework. 2. Development is consistent with the predominant built form, scale and intensity, streetscape, landscape character and natural environment values that contribute to the setting, character and identity of the Tamborine Mountain plateau and escarpment, which provides the locality with a strong sense of place. 3. Additional lots are not created in the Rural Residential Zone, Mountain Residential Precinct of the Low-Density Residential Zone, or Rural Escarpment Protection and Tamborine Mountain Rural Precincts of the Rural Zone. 4. Dual occupancies are supported in the Mountain Residential Precinct of the Low Density Residential Zone, Rural Residential Zone, Rural Escarpment Protection Precinct and Tamborine Mountain Rural Precinct of the Rural Zone where located on large lots to maintain the low density residential character and high level of amenity of the Tamborine Mountain plateau and escarpment and where designed to give the appearance of a single dwelling when viewed from the street. 5. The Tamborine Mountain Rural Precinct of the Rural Zone supports a mix of low impact rural production, semi-rural living, tourism and rural enterprise opportunities that complements the existing semi-rural and natural landscape setting and character of the zone. Development in the Tamborine Mountain Rural Precinct: <ol style="list-style-type: none"> a. is low rise, small scale and of a low intensity; b. facilitates diversification or value-adding opportunities that support agricultural production;

	<ul style="list-style-type: none"> c. avoids impacts on the amenity and privacy of nearby properties; d. protects or enhances the semi-rural and natural landscape values of the precinct; and e. does not support intensive rural activities due to the proximity of residential activities to the precinct. <p>6. The Rural Escarpment Protection Precinct of the Rural Zone supports a limited range of very low intensity residential, rural and tourist activities to protect the regionally significant natural landscape and environmental values of the escarpment of Tamborine Mountain. Development in the Rural Escarpment Protection Precinct:</p> <ul style="list-style-type: none"> a. is of a small scale and low intensity and located to protect the natural landscape character and scenic amenity values of the escarpment; b. minimises vegetation clearing and modifications to the natural landform; c. is low rise and does not exceed the predominant height of the vegetation canopy; d. avoids impacts on the amenity and privacy of nearby properties; and e. utilises slope-sensitive construction methods and is designed to reflect the natural character of the precinct. <p>7. The Rural Residential A Precinct of the Rural Residential Zone may facilitate small-scale rural and limited tourist activities where compatible with the low density residential character and high level of residential amenity expected in the Precinct and where impacts on nearby properties are avoided.</p> <p>8. Extractive industry (groundwater extraction) is not supported anywhere in the Mountain Community.</p> <p>9. Development at the Beacon Road Community Facilities Area continues to reflect the existing low scale and intensity of the development, maintain adjoining residential amenity and privacy through appropriate scale and setbacks, maintains the site's natural landscape setting and avoids impacts on the local road network and any natural values including the adjoining protected areas.</p>
<i>Townships</i>	<ul style="list-style-type: none"> 1. Townships only accommodate those land uses identified in the 'Table of Consistent Uses and Potentially Consistent Uses' for each zone unless it is demonstrated that the development complies with the Strategic Framework. 2. Development is of a low rise and low intensity, and complements the existing streetscape, rural character and settlement pattern of the Township. Development also maintains and complements the Township's existing character through the retention of historic and traditional buildings, and the use of design elements found in traditional buildings such as similar roof form, materials, scale and setbacks. 3. Limited commercial and lower impact industrial uses are provided where: <ul style="list-style-type: none"> a. located along main streets and within established business areas; b. compatible with the residential scale of the Township; and c. impacts on the amenity of nearby low-density residential activities are avoided. 4. Townships facilitate low density residential living opportunities on large residential lots. The Township Zone also supports small scale Retirement facilities and Residential care facilities to provide assisted living opportunities in proximity to the Rural Areas of the region where of a scale and design that is complementary to the character of the Township.
<i>Investigation Areas</i>	<ul style="list-style-type: none"> 1. Development in an Investigation Area identified on Strategic Framework Map SFM-01: Communities and Character does not occur until a planning study has been undertaken for the land's intended purpose and the outcomes of the study have been reflected in the Planning Scheme. These studies will consider: <ul style="list-style-type: none"> a. development timing having regard to population growth and residential land availability in the region; b. the ability to efficiently deliver any future communities with the necessary infrastructure and services so as not to financially burden both state and local government; and c. and other planning matters relevant to the land including (but not limited to)

	<p>Matters of State and Local Environmental Significance, separation to Key Resource Areas, proximity to existing intensive rural uses and Rural Areas and natural hazards.</p> <p>2. Any interim development in an Investigation Area that has the potential to fragment or compromise the longer-term use of the land for its intended purpose such as Intensive animal industries and Extractive industries is not supported.</p>
<i>Bromelton State Development Area</i>	<p>1. Land use in the Bromelton State Development Area (SDA) will be developed in accordance with the Development Scheme for the Bromelton State Development Area.</p> <p>2. Reconfiguring a Lot in the Bromelton SDA:</p> <ol style="list-style-type: none"> allows for the efficient operation of Bromelton as an industrial area of regional, state and national significance; facilitates the preferred uses identified in the Development Scheme for the Bromelton State Development Area; provides for large lots to accommodate industrial activities and any necessary separation distances; and provides for the creation of limited additional lots in the rural areas of the Bromelton SDA, and only where a minimum area of 100 hectares is achieved.
<i>Natural Areas</i>	<p>1. Natural Areas only accommodate those land uses identified in the 'Table of Consistent Uses and Potentially Consistent Uses' for each zone unless it is demonstrated that the development complies with the Strategic Framework.</p> <p>2. Land included in the Conservation Zone facilitates the conservation, interpretation, restoration and appreciation of the region's protected areas and reserves.</p> <p>3. Any buildings and infrastructure support the conservation, interpretation and enjoyment of the region's protected areas and reserves by visitors provided that the natural values and landscape character of Natural Areas are maintained.</p>
<i>Constrained Land</i>	<p>1. Land in the Limited Development Zone only accommodates those land uses identified in the 'Table of Consistent Uses and Potentially Consistent Uses' unless it is demonstrated that the development complies with the Strategic Framework;</p> <p>2. Low-impact, small-scale residential opportunities may occur in the Zone (Where no precinct applies) where compatible with the surrounding area and it is demonstrated that the constraints can be mitigated to an acceptable or tolerable level;</p> <p>3. Development in the Historical Subdivision Precinct of the Zone provides a rural living character commensurate with the limited services and infrastructure available in the historical subdivisions of Clumber, Croftby, Fassifern Valley, Munbilla, Rosevale, Harrisville and Warrill View.</p>
<i>Housing Supply, Form, Diversity and Affordable Living</i>	<p>1. Urban development is contained within the Urban Areas identified on Strategic Framework Map SFM-01: Communities and Character.</p> <p>2. Master planning is undertaken for development of land identified on:</p> <ol style="list-style-type: none"> Master Plan Areas Overlay OM-11; or for reconfiguring a lot where the total potential site yield is 25 or more lots. <p>3. Master planning provides for:</p> <ol style="list-style-type: none"> best practice site planning, development layout, and building design; an efficient and affordable infrastructure network; the sequencing and orderly staging of development; neighbourhoods that respond to natural features such as topography, waterway corridors and significant vegetation; the incorporation of best practice water sensitive urban design principles; identification of distinct areas for specific uses or activities and intended treatments to minimise conflict between different uses; mitigation of conflict with potentially incompatible uses (e.g. commercial/residential);

- h. a safe, attractive and integrated street network based on a grid street pattern that maximises permeability, legibility, accessibility and street tree plantings;
 - i. the integration with adjoining urban areas in the locality;
 - j. residential development (where consistent with the intent of the zone) where:
 - i. the siting of dwellings takes advantage of local micro-climate benefits to promote the construction of energy-efficient buildings and adequate solar access;
 - ii. a wide range of housing types, densities and lot sizes are provided; and
 - iii. smaller lots adjacent to areas of open space, community and recreation facilities are provided.
4. Built form, street design and lot configurations allow for diverse and attractive buildings and contribute to a modern country town atmosphere.
 5. Retirement facilities and other similar high density residential developments are established in localities that have access to an appropriate level of services and infrastructure to cater for the needs of the future residents of these facilities, and also to ensure that their scale and intensity does not detrimentally impact the communities in which they are located. A Social Impact Assessment is undertaken to demonstrate the achievement of this Outcome.
 6. Residential care facilities and Retirement facilities are supported to service the care and accommodation needs of aged persons on the Tamborine Mountain plateau where:
 - a. located in the urban footprint and in close proximity to services and facilities, and are of a low density and small in scale; and
 - b. involving a low rise built form designed to integrate with the natural and landscape values of the land.
 7. Large scale Retirement communities and Residential care facilities are not supported in the Mountain Community due to their inconsistency with the prevailing low intensity development pattern and character of the area and the limited infrastructure availability such as reticulated water supply and sewerage networks.

3.5 Growing Economy



3.5.1 Strategic Intent

Agriculture and Rural Production

Agriculture is a significant employer in the region. Rural activities are integral to the history, culture, economy and social fabric of the region. Rural Areas are retained predominantly for agricultural production, landscape values and scenic amenity. Agricultural land is valued for its economic significance, with agricultural development opportunities and increased agricultural production in Rural Areas enabled.

Land use conflicts and competing interests in Rural Areas have the potential to threaten the agricultural resource base and other rural production activities. Development in Rural Areas will be appropriately separated or buffered to adjoining properties to mitigate impacts and nuisance to agricultural production, amenity and rural lifestyle.

Intensive animal industries are supported in Rural Areas where they are on a site of sufficient area and located, designed and managed so as not to generate emissions of a level that have the potential to adversely impact the amenity of a sensitive land use or a place known or likely to become a sensitive land use in the future. Intensive animal industries are located to ensure that they are appropriately serviced by necessary road infrastructure and to minimise impacts on Significant agricultural land.

Mixed-business farming and diversification are supported and opportunities for uses that enhance and facilitate agricultural production including tourism, commercial and industrial uses are facilitated where such uses are complementary and remain ancillary to the agricultural production activity.

Small scale and low intensity agricultural production and enterprise opportunities are facilitated in the Mountain Community and Acreage Areas where zoned for such purpose and the activity is consistent with the existing natural environment and landscape setting and avoids impacts on the residential amenity of nearby properties.

Natural Resources and Sustainability

The natural resources that agriculture depends on are protected to ensure the long-term viability and growth of the agricultural sector. Development is managed to maintain and enhance the existing and future use of the land for agricultural production.

Natural economic resources are protected and managed to provide ongoing economic, social and environmental benefit. Land and soil for agricultural production (Significant agricultural land) and Key Resource Areas, being areas

of significant resources, are the natural resources that support a diverse range of industries, which underpin the economy, infrastructure provision and lifestyles.

Diversification of the natural resource sector to include sustainable energy production such as Renewable energy facilities are supported. Solar farms and other Renewable energy facilities are typically located in the Rural Zone where they do not impact on the amenity of Rural Areas, landscape character or alienate land from agricultural production.

Water quality in the region is maintained by protecting the drinking water supply from inappropriate land use and development. Existing and future land uses, development and activities in water supply catchments are undertaken in a manner that contributes to maintaining and improving water quality.

The commercial extraction of groundwater in the Mountain Community is not supported due to the incompatibility of the activity (in particular the volume of heavy vehicle traffic generated by the use) with the high level of amenity characteristic of the residential and tourism areas, which is the predominant development pattern of the Tamborine Mountain plateau and escarpment.

Extractive industries are only supported in Rural Areas where impacts on environmental, landscape and scenic amenity values are minimised and the area under disturbance is limited through progressive rehabilitation.

The extraction of Coal Seam Gas and coal mining is not supported at any location in the region.

Industry and Employment

The region has a range of industry and enterprise areas predominantly focused around rural service industries and manufacturing services. An adequate supply of industrial zoned land, which maintains an appropriate mix of lot sizes, is identified to meet a range of industrial operational needs and facilitate a diverse range of industrial activities.

New industrial development locates on land already set aside and serviced for that use. Low and Medium impact industry, Service industry and Research and technology industry are located on land zoned for that purpose. Development of this type occurs where impacts to sensitive receivers are avoided and minimised through development design and siting. The clustering, co-location and consolidation of industrial development is encouraged to avoid land use conflicts and maximise utilisation of development infrastructure. Industrial land will be serviced with adequate infrastructure, vehicular access, local services and amenities.

The region's industry zoned land is protected from uses not contemplated in the zone to avoid land use conflict and fragmentation, and to ensure an adequate supply of industrial land is maintained for its intended purpose.

Rural industries and other industrial activities that diversify, value-add and increase the agricultural production capacity of a farm or its surrounding area are encouraged in Rural Areas. Rural industries and industrial activities will have a direct nexus with local agricultural land uses and activities that contribute to the local rural economy, and will not lead to the establishment of urban activities in Rural Areas.

A rural enterprise area may be supported where it is demonstrated that it will significantly increase the agricultural production capacity and provide for the long-term sustainability of Rural Areas in the region.

The Bromelton State Development Area (Bromelton SDA) is recognised as an industrial area of regional, state and national significance for multi-modal freight and logistic operations, manufacturing and warehousing facilities and industries reliant on rail access. The Bromelton SDA will be a driver of economic growth and employment in the wider region. The Bromelton SDA is the preferred location for High impact industry uses and limited Special industry uses where any potential impacts can be effectively managed within site boundaries.

Home Based Business

The range and scale of business, innovation and employment opportunities in the region is enhanced through the establishment of a diverse range of low-scale Home based businesses that avoid impacts on the amenity of surrounding residential areas and nearby sensitive receivers. Home based businesses involving industrial activities

(other than minor industrial activities) in residential areas or in close proximity to residential uses are not supported.

Tourism and Recreation

The tourism and recreation sector is a significant employer in the region and its sustainable growth is supported. Tourism and recreation development protects and enhances the existing strengths of the Scenic Rim including its Natural Areas, rural landscapes and vibrant communities, and is promoted where it is consistent with community values and aspirations and contributes to community development and wellbeing.

Development that provides distinctive and competitive tourism products and experiences in the region, with flexibility to respond to future market, environment and social changes, are supported. The region's rich agricultural history is celebrated through farmers markets, farm stays and the ability to sample the best of fresh food and produce from the farm gate.

Protecting and enhancing the natural, scenic amenity and landscape values of Rural Areas and Natural Areas provides the foundation for the promotion of tourism and recreation development opportunities in the region. Tourism and recreation opportunities seeking to capitalise on the natural and scenic qualities of the landscape are supported where the scale and intensity of development protect these qualities.

Tourism and recreation operations in Rural Areas will be of a scale and intensity consistent with the landscape setting, encourage the continuation of agricultural production and will be subsidiary to the agricultural resource base.

Minor Tourism zoned areas at Tamborine Mountain and Canungra facilitate the establishment and ongoing operation of small-scale tourist hubs. Opportunities for small-scale tourism opportunities outside of these zoned areas on the Tamborine Mountain plateau and escarpment may be supported where consistent with the existing natural environment, landscape setting and character of the areas and located on appropriately sized properties to avoid impacts on the residential amenity and privacy of nearby properties.

The expansion of existing tourist uses in the Minor Tourism Zone to encourage the ongoing viability of these important regional assets is supported where it is demonstrated that the potential impacts can be avoided or appropriately mitigated.

The Major Tourism zoned area at Kooralbyn facilitates the establishment and ongoing operation of large-scale integrated tourist facilities with an outdoor sport and recreation focus and activities reliant on the landscape setting and natural values of the locality.

The nature-based tourism destinations at Binna Burra, O'Reilly's and Thunderbird Park are important tourist assets in the region that attract interstate and international visitors. Development of these important tourism assets to respond to changing trends and support their ongoing viability in the tourism market is supported where it is demonstrated that potential impacts on the state and regionally significant natural, landscape amenity and cultural values of these unique localities are avoided or appropriately mitigated, and the scale and intensity of any new tourist activity complements the natural landscaped setting.

Acreage development may include small scale tourist and recreation activities, on appropriately sized properties, where impacts on residential amenity and privacy are avoided.

Centre Hierarchy

The Centre Hierarchy is depicted on **Strategic Framework Map SFM-02: Growing Economy** and includes the following centres:

1. Major Centre: Beaudesert;
2. District Centre: Boonah and Tamborine Mountain (North Tamborine);
3. Local Centre: Canungra, Kalbar and Kooralbyn;
4. Neighbourhood Centre: Beaudesert (East) and Tamborine Mountain (Eagle Heights and Mount Tamborine);
5. Township: Aratula, Harrisville, Mount Alford, Peak Crossing, Roadvale, Rathdowney, Beechmont and Tamborine; and
6. Future Neighbourhood Centre: Beaudesert (South).

Editor's Note - Land subject to an above centre designations under the Centre Hierarchy only includes that land contained in the relevant centre zone.

The role, function and scale of centres in the region is clarified through the Centre Hierarchy so that growth and development of the region occurs in a way that uses land efficiently, minimises transport demand, encourages the cost-effective provision of community infrastructure and services and ensures commercial development addresses end user needs and is consistent with the community's economic, social, cultural and environmental values and expectations.

The Centre Hierarchy seeks to encourage development in centres that:

1. maintains a healthy level of retail competition and customer choice;
2. maintains a strong small business community and a vibrant retail employment market;
3. reduces vehicle travel requirements to secure household goods and services;
4. provides places of community interaction and engagement;
5. avoids or mitigates unreasonable traffic, noise, light and building mass nuisance to surrounding activities;
6. preserves and enhances the character, heritage and cultural values of the locality; and
7. discourages development that undermines the role and function of these centres through appropriate land use allocation.

Editor's Note - The Centre Hierarchy identified in the Strategic Framework reflects the hierarchy of the centres in the region only and is not to be considered in the context of the Activity Centres Network of the South East Queensland Regional Plan 2009 - 2031.

Sufficient land has been made available within the Centre Hierarchy to directly cater for the retailing, commercial and service industry needs of residents of the region. Integrated retail and commercial developments, including Shopping centres where involving a department store, discount department store, full-line supermarket or supermarkets, or convenience retail activities are not supported outside of the identified Centre Hierarchy.

Mixed Use Zone

The Mixed Use Zone complements and functions in an integrated manner alongside the Centre Hierarchy and facilitates the flexible provision of compatible residential, non-convenience retailing, commercial, tourist and community services activities and associated services. Shopping centres or Shops where involving a supermarket, full-line supermarket, department store or discount department store are not located in this zone, as these uses are intended to occur in the larger centres of the Centre Hierarchy.

Due to the potential for land use conflict with the intended range of uses, master planning of large sites may be required.

The Commercial/Industry Precinct of the Mixed Use Zone facilitates the clustering of compatible non-convenience retailing, commercial and lower impact industrial activities whilst avoiding potentially conflicting land uses.

3.5.2 Strategic Outcomes

Element	Strategic Outcome
<i>Agriculture and Rural Production</i>	<ol style="list-style-type: none"> 1. Diversification of agricultural activities and uses complementary to agriculture and associated with the landscape values, including tourism and recreational activities, are facilitated where sited to best enhance agricultural productivity, value-adding and promote the landscape values of rural land. 2. Lots in the Rural Zone achieve the minimum lot sizes specified for the Rural Precincts identified in Strategic Framework Map SFM-03: Rural Precinct Plan, being: <ol style="list-style-type: none"> a. Rural 60 ha Precinct; and b. Rural 40 ha Precinct, which are SEQ Subdivision Precincts in accordance with Schedule 10 of the <i>Planning Regulation 2017</i>. Where not included in a Rural Precinct, the minimum lot size for new lots in the Rural Zone is 100 ha.

	<ol style="list-style-type: none"> 3. Intensive animal industries are supported in Rural Areas where: <ol style="list-style-type: none"> a. on a site of sufficient area and located, designed and managed so as not to generate emissions of a level that have the potential to adversely impact the amenity of a sensitive land use or a place known or likely to become a sensitive land use in the future; b. appropriately separated from land in a residential zone, Urban Area or Investigation Area (shown on Strategic Framework Map SFM-01: Communities and Character) to avoid any adverse impacts in the amenity and character of these areas; c. located and designed to avoid adverse impacts on the landscape character and scenic amenity values of the locality, and visually integrates with the surrounding landscape; and d. they are located to ensure that they are appropriately serviced by necessary road infrastructure and to minimise impacts on Significant agricultural land. 4. Existing and potential land use conflict is appropriately managed through operational, legislative and industry standards (unless more rigorous requirements are set out in this planning scheme, in which case the planning scheme requirements will prevail). 5. Small scale and low intensity rural activities (excluding Extractive industry) are facilitated in the Mountain Community and Acreage Areas where contemplated by the zone for such purposes and the use is of a scale and intensity consistent with the existing natural environment and landscape setting and avoids impacts on the residential amenity and privacy of nearby properties.
<p><i>Natural Resources and Sustainability</i></p>	<ol style="list-style-type: none"> 1. Rural Areas are retained predominantly for agricultural production, landscape values and scenic amenity. 2. Development location and design in Rural Areas appropriately considers soil capability, future agricultural production potential and the potential for land use conflict. 3. Key Resource Areas, as identified on Strategic Framework Map SFM-02: Growing Economy and existing or approved Extractive industries, are protected from incompatible development that constrains extraction and transportation of the resource. 4. On-site wastewater treatment in unsewered areas is implemented sustainably and in accordance with appropriate densities to prevent groundwater contamination and land salinisation, and to protect drinking water catchments. 5. Water quality in the buffer areas to urban water supply storages, wetlands and waterways is maintained and improved. 6. Development is managed to maintain and enhance the existing and future use of the land for agricultural production. 7. Extractive industry (including for groundwater extraction) is not supported in the Mountain Community. 8. Extractive industries in Rural Areas minimises impacts on environmental, landscape and scenic amenity values and limits areas under disturbance through progressive rehabilitation. 9. Agricultural land is protected for sustainable agricultural use by avoiding fragmentation of Significant agricultural land into lot sizes inconsistent with the viable long term use of the land for agriculture, avoiding locating incompatible non-agricultural development on or adjacent to Significant agricultural land, and maintaining and enhancing land condition and the biophysical resources underpinning Significant agricultural land. 10. The ongoing productive use of Significant agricultural land for agricultural purposes is maintained and protected by ensuring that: <ol style="list-style-type: none"> a. Significant agricultural land is only used for rural activities and complementary and subordinate uses, except where: <ol style="list-style-type: none"> i. a planning need exists for the development to occur; ii. the area lost from production is minimised; iii. there is no viable alternative where impacts on Significant agricultural land can be avoided;

	<ul style="list-style-type: none"> iv. the irreversible impacts to agricultural land is appropriately mitigated to ensure a no net loss in the utility and or availability of Significant agricultural land; b. land uses that conflict with the agricultural production of land are avoided; and c. development that leads to the degradation of Significant agricultural land is avoided.
<i>Industry and Employment</i>	<ol style="list-style-type: none"> 1. Low and Medium impact industry, Service industry and Research and technology industry are facilitated in the Industry Zone. High impact industry and Special industry are not located in the Industry Zone due to the proximity of sensitive receivers. 2. Lot sizes meet the operational needs of the range of industrial activities expected in the Industry Zone. 3. Industrial land will be serviced with necessary infrastructure, vehicular access, local services and amenities. 4. Industrial activities in the Rural Areas are facilitated only where they support or increase the agricultural production capacity of land in the surrounding area and do not conflict with the agricultural production potential of the land. 5. Rural industries that support the diversification and increased rural production of a farm or its surrounding area are encouraged. 6. A limited number of non-industrial uses may be facilitated in industrial zoned land where they support the intended purpose of the zone and do not compromise the long-term use of the zone for industrial purposes. 7. Industrial activities have appropriate access to the State controlled road network and are appropriately located to avoid or minimise heavy vehicle movements through residential areas. 8. Retailing of goods within industrial zoned land is only supported where the retailing is ancillary to an industrial activity occurring on the same land and involves the retailing of goods manufactured on site. 9. Industrial activities appropriately minimise any potential adverse off-site environmental impacts. 10. Rural enterprise areas that significantly increase the agricultural production capacity of the region, facilitate the long-term sustainability of Rural Areas and have a direct nexus with the agricultural land uses that contribute to the local rural economy are supported. 11. The Bromelton SDA attracts industrial development of regional, state and national significance for multi-modal freight and logistic operations, manufacturing and warehousing facilities and industries reliant on rail access, and is the preferred location for high impact industrial uses, and limited special industrial uses in the region. 12. The extraction of Coal Seam Gas and coal mining is not supported at any location in the Scenic Rim region. <p>Editor's Note - The approval process for exploration and development of coal, mineral, petroleum and gas resources is governed and decided by the State government in accordance with the State's resources legislation. These proposals are not assessed against the local government's planning scheme.</p>
<i>Home Based Business</i>	<ol style="list-style-type: none"> 1. Home based businesses are supported to facilitate economic development, innovation and employment opportunities where impacts to the amenity of surrounding residential areas and nearby sensitive receivers are avoided and the activity remains subordinate to the primary use of the land, being for residential purposes. 2. Home based businesses do not involve industrial activities other than minor industrial activities in residential areas or in close proximity to residential activities.
<i>Tourism and Recreation</i>	<ol style="list-style-type: none"> 1. A range of tourism enterprises and infrastructure are located throughout the region to take advantage of, and allow the public to experience the natural landscape and ecological values of the area.

2. Visitor accommodation and tourism activities are compatible with, and complement existing tourism products available in the region.
3. Nature-based tourism activities are sensitively located and operated to ensure the natural and scenic amenity values that enhance the visitor experience are protected.
4. Rural-based tourism experiences in Rural Areas:
 - a. enhance the rural and scenic amenity characteristics of the area;
 - b. maintain the capacity of the land for agricultural production;
 - c. avoid land use conflict with surrounding rural land; and
 - d. are appropriately serviced by necessary road infrastructure.
5. Tourism and recreational activities seeking to take advantage of the rural, natural and scenic amenity values of the region are of a scale, nature and intensity appropriate for the landscape setting and conserve and enhance natural values of the site and its surrounds.
6. Tourism and recreation activities in Rural Areas avoid impacts on the amenity of the surrounding area and maintain the privacy of surrounding properties.
7. Tourist accommodation and tourist attractions in the centres zones (excluding the Neighbourhood Centre Zone) are of a scale and design that meets the character and built form expectations contemplated in the zone.
8. The Minor Tourism Zone:
 - a. facilitates a range of unique, small-scale tourist and visitor oriented activities, with a focus on:
 - i. locally made or unique products;
 - ii. accommodation;
 - iii. appreciation of the natural environment; or
 - iv. experiences and enjoyment for visitors;
 - b. allows for permanent residential accommodation including for a limited number of employed personnel;
 - c. ensures land uses do not affect the amenity of adjacent residential areas;
 - d. ensures urban design is diverse and attractive and provides landscaping and streetscaping consistent with the character of the local area;
 - e. does not provide for the creation of any additional lots;
 - f. provides for the retailing of tourism products only and excludes the retailing of domestic goods including convenience retail, department stores, discount department stores, full-line supermarkets and supermarkets so as not compromise the role and function of a centre in the Centre Hierarchy;
 - g. does not provide for Food and drink outlets involving a drive through facility;
 - h. where located in Gallery Walk along Long Road, Tamborine Mountain, may support more intensive tourist activities where impacts to adjacent residential areas can be effectively mitigated;
 - i. allows for the expansion of existing tourist uses which support the ongoing viability of these important regional assets where potential impacts are avoided or appropriately mitigated.
9. The Major Tourism Zone:
 - a. provides for the ongoing operation and diversification of integrated tourism facilities with an outdoor sport and recreation focus and activities reliant on the landscape setting and natural values of the locality in Kooralbyn;
 - b. provides for a mix of uses including tourism, commercial, community services, educational, infrastructure, recreational and limited rural activities that support the needs of tourists and visitors;
 - c. provides for the retailing of tourism products only and excludes the retailing of domestic goods including convenience retail, department stores, discount department stores, full-line supermarkets and supermarkets so as not compromise the role and function of a centre in the Centre Hierarchy;
 - d. is a large and diverse area with a vibrant atmosphere that offers many recreational choices and amenities; and
 - e. involves development that complements the landscape setting and natural values of Kooralbyn and protects the amenity of nearby land in a residential zone.

	<ol style="list-style-type: none"> 10. Development for tourist activities that responds to changing trends and provides for the ongoing viability of Binna Burra, O'Reilly's and Thunderbird Park is supported where any potential impacts are avoided or appropriately mitigated. 11. Small-scale tourism and recreation activities may be supported in the Mountain Community outside of the Minor Tourism Zone, where: <ol style="list-style-type: none"> a. located on sites with a sufficient area to manage any impacts within the site; b. designed to integrate with and preserve the landscape and natural values of the site and its surrounds; c. the privacy and amenity of nearby sensitive receivers and the character of the area is maintained; d. located in the Rural Escarpment Precinct of the Rural Zone, are limited to those uses identified in 'Table 6.2.17.2.2 Consistent Uses and Potentially Consistent Uses in the Rural Zone - Rural Escarpment Protection Precinct', and development ensures vegetation loss is minimised and does not exceed the predominant height of the canopy to protect the landscape values of the regionally significant scenic amenity area; and e. only involves Home based business (bed and breakfast) and Short-term accommodation (holiday home) where in the Rural Residential Zone (Where no precinct applies) and Mountain Residential Precinct of the Low Density Residential Zone due to the inconsistency of such uses with the predominantly low density residential character of the zone. 12. Small-scale tourism activities may be supported in Rural Residential A Precinct of the Rural Residential Zone on large lots where: <ol style="list-style-type: none"> a. impacts on the rural residential amenity and privacy of nearby sensitive receivers are avoided; b. consistent with the low density residential character of the area; and c. the use remains subordinate to the primary use of the land, being for residential purposes. 13. Food and drink outlets are supported in Rural Areas to provide services and enhance the tourist experience where: <ol style="list-style-type: none"> a. of a scale and built form that complements the rural and natural landscape setting; and b. not involving a drive-through facility.
<p><i>Centre Hierarchy</i></p> <p>Editor's Note - The Centre Hierarchy identified in the Strategic Framework reflects the hierarchy of the centres in the region only and is not to be considered in the context of the Activity Centres Network of the South East Queensland Regional Plan 2009 - 2031.</p>	<ol style="list-style-type: none"> 1. Development is consistent with the Centre Hierarchy identified on Strategic Framework Map SFM-02: Growing Economy. 2. Integrated retail and commercial developments or convenience retail activities are not located outside of the Centre Hierarchy. 3. Higher density residential development is encouraged within the walkable catchment of the Major Centre. 4. Development in centres accommodates a range of retail, business, education, entertainment, sport and recreation, health and education, community and civic facilities that reflects their location, scale and service catchment. 5. Centres provide for community events, meeting places and public use areas. 6. Development considers the future Beaudesert town centre bypass and associated opportunities to enhance amenity and connectivity to and within the Major Centre, and reinforce its role in Beaudesert and in the region. 7. High quality infrastructure and transport networks encourage and support business growth and development within and between the centres in the identified Centre Hierarchy. 8. The Major Centre (incorporating Beaudesert): <ol style="list-style-type: none"> a. accommodates a wide range of commercial, community, recreation, residential, a limited number of tourism, cultural and civic activities within an active and vibrant mixed use environment; b. provides a scale and level of intensity of development that reinforces the intended role and function of Beaudesert as the Major Centre of the region; c. is protected from development that compromises its ability to meet retail

- needs and demand;
 - d. is well-designed, safe and a visually attractive business, community and employment centre; and
 - e. provides for the higher-order retailing (including department stores, discount department stores and retail showrooms) and administrative needs of the region.
9. The District Centres (incorporating Boonah and North Tamborine):
- a. provide a range of uses and activities that service the needs of Boonah and its sub-regional rural catchment and the Tamborine Mountain plateau;
 - b. are highly accessible and well-connected to the catchment that they serve;
 - c. may accommodate a concentration of land uses including retail, commercial, residential, industrial (of a low impact and service nature), public and private open space, community facilities, recreational uses and infrastructure;
 - d. are well-designed, safe and accessible;
 - e. are predominantly a low rise building format, where significant off-site impacts are avoided and the existing character of the centre is retained;
 - f. where located on High Street in the Boonah District Centre, maintain the existing 'high street' character.
10. Food and drink outlets involving drive-through facilities are not supported in the Mountain Community.
11. Low impact industries are supported in the District Centres where:
- a. the potential for land use conflict with other uses expected in the centre is effectively mitigated; and
 - b. not fronting High Street in the Boonah District Centre.
12. The Local Centres (incorporating Canungra, Kalbar and Kooralbyn):
- a. provide land uses that meet the local level retail, business and community needs and services of Canungra, Kalbar and Kooralbyn and their surrounding rural catchments;
 - b. accommodate local shopping and commercial activities, cafes and dining and community services;
 - c. are well-designed, safe and visually attractive;
 - d. are a low rise building format, where significant off-site impacts are avoided and the existing character of the centre is retained;
 - e. complement and do not detract from the role and function of the Major Centre and the District Centres in providing for the higher-order retailing needs of the region; and
 - f. where located in the Canungra and Kalbar Local Centres, maintain the existing rural village and historical character of the centres.
13. The Neighbourhood Centres (incorporating Beaudesert East, Eagle Heights and Mount Tamborine):
- a. provide land uses that meet the convenience retail, business and community service needs of the catchment of each neighbourhood;
 - b. accommodate a limited range of small-scale convenience retail and commercial uses, cafes and dining and community services;
 - c. contain no more than one-small scale supermarket per centre;
 - d. do not support Shopping centres or Shops providing for higher-order retailing activities including department stores, discount department stores, full-line supermarkets or other large format retailing and Showrooms;
 - e. are well-designed, safe and visually attractive;
 - f. are a low rise building format, where significant off-site impacts are avoided and the existing character of the centre is retained; and
 - g. complement and do not detract from the role and function of the Major Centre, District Centres and Local Centres in providing for the higher-order retailing needs of the region.
14. The Townships (incorporating Aratula, Harrisville, Mount Alford, Peak Crossing, Roadvale, Rathdowney, Beechmont and Tamborine):
- a. provide a mix of small-scale uses to support the needs of the local community and the immediate rural catchment including retail, commercial,

	<p>residential and low impact industrial uses and limited community services, recreation and open space;</p> <ul style="list-style-type: none"> b. do not support Shopping centres or Shops that support higher-order retailing including department stores, discount department stores, full-line supermarkets, supermarkets or Showrooms; c. complement and do not detract from the role and function of the Major Centre, District Centres, Local Centres and Neighbourhood Centres in providing for the higher-order retailing needs of the region. <p>15. A Future Neighbourhood Centre is supported at Beaudesert South at a location generally in accordance with Strategic Framework Map SFM-02: Growing Economy when local retail demand from residential growth in the centre's intended catchment exists. Centre activities in the Beaudesert South Neighbourhood Centre will only occur when needed to service its catchment population and is staged over time in proportion to residential growth so as not to compromise the intended role and function of the other centres in the Beaudesert Urban Area.</p>
<p><i>Mixed Use Zone</i></p>	<p>The Mixed Use Zone:</p> <ul style="list-style-type: none"> 1. performs a supporting role to the centres in Beaudesert, Boonah and Canungra and provides for a range of activities that may include business, non-convenience retailing, residential, tourist accommodation and associated services, service industry and low impact industrial uses; 2. allows for small scale, low impact industrial uses only where in the Commercial/Industrial Precinct and appropriately separated from sensitive receivers; 3. has a minimum lot size in the Commercial/Industrial Precinct of 2000m²; and 4. does not support Shopping centres or Shops where involving convenience retail, supermarket, full-line supermarket, department store or discount department store.

3.6 Environment and Natural Hazards



3.6.1 Strategic Intent

Natural Environment and Regional Landscape Values

The Scenic Rim is an international biodiversity hotspot containing large tracts of remnant vegetation, regrowth vegetation, corridors and areas of significant biodiversity values. World Heritage Gondwana rainforests, wetlands and waterways are protected for the ecosystem services that we depend on. The preservation of the environmental values in the region will be balanced with the maintenance of the cultural, economic, physical and social wellbeing of people and communities.

The regionally significant Flinders-Karawatha Biodiversity Corridor also intersects the region and is a major component of the regional biodiversity network. The scenic amenity, landscape and biodiversity values are preserved while access and enjoyment by residents and visitors is facilitated and natural features such as vegetated corridors, ridgelines, watercourses and ecological values are retained.

Residents and visitors value the combination of diverse and culturally significant landscapes that shape the region's economy, culture, liveability and lifestyles. The Scenic Rim landscape is framed by Main Range, Tamborine Mountain, the Lamington Plateau and the Macpherson Ranges and comprises large tracts of remnant vegetation and significant biodiversity values.

The quality and diversity of the region's landscapes are significant attractions for tourists and provide residents with a range of recreational activities. The region is also host to a number of threatened species which should be protected for future viability.

A Vegetation Management Area encompassing Tamborine Mountain, the escarpment surrounding it, extending north-west to the elevated area of Tamborine, protects the landscape character and scenic amenity of the local area, connecting forested landscapes and providing biodiversity linkages.

The region includes water catchments that provide essential ecosystem services and water storage for urban populations. Specifically, the region serves as the headwaters of Moreton Bay and is a crucial component in the provision of clean water for South East Queensland.

The natural and landscape values of rural areas, escarpments, waterways and waterbodies, mountains and plateaus, are to be protected and enhanced, and are valued by the community for the environmental, scenic amenity and recreational and educational opportunities that they provide. Development that has direct and indirect impacts on areas of environmental values will be avoided or the impacts minimised and mitigated.

The natural environment will be managed by ensuring:

1. Matters of National Environmental Significance are valued and protected;
2. Matters of State Environmental Significance and Matters of Local Environmental Significance are valued,

- protected and enhanced;
3. The health and resilience of biodiversity is maintained and enhanced to support ecological integrity and ecosystem services;
 4. Linkages between areas comprising Matters of State Environmental Significance and Matters of Local Environmental Significance are protected, enhanced and provide ecological corridors that contribute towards regional biodiversity;
 5. development does not detract from the scenic amenity of identified regional landscape values within the region, being the Border Ranges (including the Gondwana Rainforest World Heritage Area of Lamington National Park), Scenic Rim Corridor (including the Main Range, Mount Barney, Mount Maroon, Mount Chingee and Lamington National Parks, Mount Lindesay and Tamborine Mountain) and Flinders-Karawatha Corridor (including Mt Flinders, Teviot Range, Mt Joyce, Wyaralong Dam and south to Mt Barney);
 6. Scenic amenity and landscape character is maintained and enhanced within the Vegetation Management Area;
 7. the water quality and environmental values (including the maintenance of fish passage) of the Scenic Rim's waterways and wetlands are protected and enhanced; and
 8. development in Water Supply Catchments assists in protecting surface and ground water quality and supply, as well as protecting environmental values.

Cultural Heritage

The region has a rich and diverse history that is evident in the physical fabric of our towns and villages, rural landscapes, and our strong connection to the land which has been fundamental to our region's prosperity. Places of cultural heritage significance provide a clear and important physical connection to the history of our region and are recognised and protected.

The cultural heritage significance of places identified in the State and Local Heritage Register are conserved and the adaptive reuse of places of cultural heritage significance occurs where appropriate and where impacts can be managed to an acceptable level.

All development takes reasonable and practical measures to ensure Aboriginal cultural heritage is not harmed in accordance with the Aboriginal Cultural Heritage Act 2003.

Natural Hazards, Risk and Resilience

Parts of the region are affected by significant natural hazards and there is a shared responsibility to manage the impact that these natural hazards may have to people, property, the economy, the environment and infrastructure. Appropriate development and planning significantly reduces the likelihood and severity of impacts of natural hazards affecting the region, which include flood, bushfire, and landslide hazard and steep slope.

Development will be carefully planned to avoid or effectively mitigate the impacts of natural hazards in particular, bushfire, flooding, landslide and steep slope. Development is avoided in areas of significant natural hazard risk and where development cannot be avoided, a fit-for-purpose approach to development appropriately responds to mitigate the risks associated with natural hazard events.

Emissions and Hazardous Activities

Development protects the health, safety, wellbeing and amenity of communities and the environment in regard to emissions and hazardous activities. Activities that have the potential to cause nuisance to communities and other sensitive receivers through environmental emissions such as air, odour and noise pollution are planned and effectively managed to avoid any potential adverse impacts.

3.6.2 Strategic Outcomes

Element	Strategic Outcome
<i>Natural Environment and Regional Landscape Values</i>	<ol style="list-style-type: none"> 1. Development is located to avoid significant impacts on Matters of National Environmental Significance. 2. Development protects and enhances the ecological values of Matters of State Environmental Significance, including: <ol style="list-style-type: none"> a. Protected Areas; b. Regulated Vegetation (as defined under the State Planning Policy); c. State Significant Species;

- d. High Ecological Value Waters (Watercourse);
 - e. High Ecological Value Waters (Wetland);
 - f. High Ecological Significance wetlands; and
 - g. Waterways and Wetlands Buffer Areas.
3. Development protects and enhances the ecological values of Matters of Local Environmental Significance including:
 - a. Core Corridor;
 - b. Node Corridor;
 - c. Stepping Stone;
 - d. Critical linkage; and
 - e. Stream Orders 2 - 7 and Watercourse Buffer Areas.
 4. Development location and design considers biodiversity values and does not compromise the intended function of identified biodiversity linkages.
 5. Development protects habitat identified for State Significant Species.
 6. The habitat and ecological value of vegetated corridors and biodiversity linkages are protected and enhanced.
 7. Development in an area having regionally significant landscape value, being the Border Ranges (including the Gondwana Rainforest World Heritage Area of Lamington National Park), Scenic Rim Corridor (including the Main Range, Mount Barney, Mount Maroon, Mount Chingee and Lamington national parks, Mount Lindesay and Tamborine Mountain, specifically land in the Rural Zone - Escarpment Precinct) and Flinders-Karawatha Corridor (including Mt Flinders, Teviot Range, Mt Joyce, Wyaralong Dam and south to Mt Barney), maintains the scenic amenity value of the area.
 8. Scenic amenity and landscape character is maintained, including through the protection of significant trees in the Vegetation Management Area.
 9. Development is located, designed and operated to avoid adverse impacts on the biodiversity values of Matters of State Environmental Significance.
 10. Development is located, designed and operated to avoid adverse impacts on the biodiversity values of Matters of Local Environmental Significance.
 11. The impacts of development on Matters of Local Environmental Significance are effectively managed by:
 - a. avoiding impacts, where practicable;
 - b. minimising impacts, where impacts cannot be reasonably avoided;
 - c. restoring values on the same premises and in an appropriate location, where impacts cannot be reasonably avoided or minimised.
 12. Development maintains, and where possible, enhances the quality of surface water and groundwater.
 13. Development within a Watercourse Buffer Area is designed and located to maintain native vegetation, terrestrial and aquatic habitat, ecological function (including maintenance of fish passage) and water quality.
 14. Development protects and enhances the water quality and biodiversity values (including the maintenance of fish passage) of waterways and wetlands and is appropriately set back and provides buffers.
 15. Water quality is protected and enhanced in the following Urban Water Supply Storages:
 - a. Maroon;
 - b. Moogerah; and
 - c. Wyaralong.
 16. Development facilitates public access to the region's waterways at appropriate locations where the environmental values of the waterway are maintained.
 17. Development is designed to incorporate the principles of total water cycle management and water sensitive urban design.
 18. Development within a Water Resource Buffer Area is planned, designed and managed to avoid or otherwise minimise adverse impacts on the water quality of drinking water.
 19. Stormwater quality, quantity and velocity are managed in a manner which protects and improves water quality in waterways and wetlands.
 20. The water quality of surface and groundwater systems is protected and

	improved.
<i>Cultural Heritage</i>	<ol style="list-style-type: none"> 1. The cultural heritage significance of places identified in the State and Local Heritage Register is conserved. 2. Development of Local Heritage Places conserves the local heritage significance of that place for the benefit of the community and future generations. 3. Development affecting a place of local cultural heritage significance is compatible with the heritage significance of the place by: <ol style="list-style-type: none"> a. retaining the heritage place, unless there is no prudent and feasible alternative to its demolition or removal; b. providing for adaptive reuse where appropriate and where impacts can be managed to an acceptable level; c. ensuring the development is informed and influenced by the cultural heritage significance of the Local Heritage Place; and d. ensuring the Local Heritage Place is used in a way that respects its cultural heritage significance and the development increases the community's appreciation of the heritage values of the Local Heritage Place. 4. All development takes reasonable and practical measures to ensure Aboriginal cultural heritage is not harmed in accordance with the Aboriginal Cultural Heritage Act 2003.
<i>Natural Hazards, Risk and Resilience</i>	<ol style="list-style-type: none"> 1. Development that potentially increases the exposure of people and property to natural hazards: <ol style="list-style-type: none"> a. avoids areas of significant natural hazard risk; or b. where areas of natural hazard risk cannot be avoided, development is designed, located and managed to ensure the safety of people is maintained and the damage to property and infrastructure before, during and after a natural hazard event is mitigated to an acceptable or tolerable level. 2. Development in natural hazard areas: <ol style="list-style-type: none"> a. directly, indirectly and cumulatively avoids an increase in the extent or severity of a natural hazard and the potential for damage on the site or to other properties; b. is compatible with the nature of the hazard; c. maintains or enhances the protective function of landforms that can mitigate risks associated with the natural hazard; d. supports, and does not hinder disaster management capacity and capabilities; and e. maintains or enhances the protective function of landforms and vegetation that can mitigate risks associated with the natural hazard. 3. Community infrastructure is located and designed to maintain functionality and safety during a natural hazard event. 4. The preferred character of the Flood Land Precinct of the Limited Development Zone is that of undeveloped land. Very limited development occurs, particularly where persons or structures would be located on site. 5. Residential activities (including expansion of existing activities) are not supported in the Flood Land Precinct of the Limited Development Zone due to the significant flooding constraints of land.
<i>Emissions and Hazardous Activities</i>	<ol style="list-style-type: none"> 1. Development protects the health and safety of the community and sensitive receivers and is designed and located to mitigate adverse impacts of air, noise, light and odour emissions.

3.7 Sustainable Infrastructure



3.7.1 Strategic Intent

Land Use and Infrastructure

Infrastructure is provided in a sustainable, coordinated, timely and efficient manner that supports the region's settlement pattern and the needs of the community. Land use and infrastructure sequencing is planned and integrated, with protection afforded to current and future infrastructure and transport corridors, to ensure that infrastructure is used efficiently and costly financial implications to the local government are avoided.

Design and Sequencing

Development occurs in an efficient and orderly sequence that provides for the logical extension of infrastructure to service the development in accordance with the Local Government Infrastructure Plan.

Infrastructure standards reflect the landscape setting, cater for the needs of the unique urban and rural environments within the region and also meet public safety requirements. Infrastructure is designed in a manner that is sustainable to provide and maintain for its design life.

Social infrastructure is provided to meet the demographic needs of the community and maximises co-location and synergies with other community services activities.

Regional Infrastructure

Development does not impede the long-term planning and ultimate delivery of planned infrastructure. Development supports existing infrastructure investment and utilisation of infrastructure networks by locating in serviced areas and/or where able to efficiently connect to existing infrastructure networks.

Community infrastructure is well-located, provides equitable access to people of all ages and abilities and is adaptable to perform a range of community functions to minimise the cost of infrastructure provision.

3.7.2 Strategic Outcomes

<i>Element</i>	<i>Strategic Outcome</i>
<i>Land Use and Infrastructure</i>	<ol style="list-style-type: none">1. The land use and development pattern of the region facilitates the efficient and cost-effective provision, use and maintenance of infrastructure.2. Infrastructure networks are planned, designed and delivered to make efficient use of existing and planned infrastructure investment and supports an efficient

	<p>settlement pattern.</p> <ol style="list-style-type: none"> 3. Infrastructure is located to avoid significant adverse impacts on sensitive receivers. 4. Development within new residential areas is designed to provide adequate and suitable land for required infrastructure and facilitates efficient future connections to proposed infrastructure networks. 5. Efficient, cost effective, functional and sustainable infrastructure networks are provided and integrated with development. The provision of infrastructure is consistent with the reasonable expectations for the servicing of the region's settlement pattern.
<p><i>Design and Sequencing</i></p>	<ol style="list-style-type: none"> 1. Infrastructure: <ol style="list-style-type: none"> a. meets the desired standard of service for each trunk network identified in the Local Government Infrastructure Plan; b. is provided cost effectively, taking into account the long-term ongoing maintenance costs for local government; c. is co-located with other infrastructure where appropriate; d. is provided: <ol style="list-style-type: none"> i. in the Priority infrastructure area; or ii. outside the Priority infrastructure area only where: <ol style="list-style-type: none"> A. the infrastructure is provided as a part of development; or B. the infrastructure is not provided or funded by the local government. 2. Infrastructure is sequenced in a way that: <ol style="list-style-type: none"> a. maximises the efficiency of the network; and b. coordinates the release of land for urban development with infrastructure provision. 3. Where an infrastructure network is planned or currently exists, development: <ol style="list-style-type: none"> a. is connected to the existing network; or b. where the network is planned but does not yet exist, provides the planned infrastructure and connects to it.
<p><i>Regional Infrastructure</i></p>	<ol style="list-style-type: none"> 1. Development is compatible with, and does not affect the viability, construction, operation and maintenance of the following existing and planned Regional Infrastructure: <ol style="list-style-type: none"> a. Bulk Water Supply Infrastructure and Bulk Water Supply Infrastructure Networks; b. Electricity Infrastructure; c. Wastewater Treatment Plants; d. State-controlled Roads; e. Road Investigation Corridor (shown on Strategic Framework Map SFM-02: Growing Economy); and f. Rail Network, Future Rail Network and Rail Investigation Corridor. 2. Development in proximity of existing or planned Regional Infrastructure is located, designed, constructed and operated to: <ol style="list-style-type: none"> a. avoid compromising the integrity, operation and maintenance of existing and planned Regional Infrastructure through the use of buffers and setbacks; b. protect the amenity, health and safety of people and property; c. identify, protect and manage key infrastructure sites and corridors; d. result in increased safety and amenity, and avoid the potential for complaints, or a requirement for measures to be introduced to reduce potential impacts on surrounding areas; and e. minimise overlooking of and visual exposure to the infrastructure sites and corridors. <p>Editor's note - Road Investigation Corridors are for the preservation of road corridors which may be required at some stage in the future to support road network efficiency. The identification of these corridors does not commit the local government nor State government to deliver the roads within a specific timeframe. They do not represent State Government planned or funded infrastructure projects.</p>
<p><i>Social Infrastructure</i></p>	<ol style="list-style-type: none"> 1. Open space is located and designed to:

- a. meet the recreation and sporting needs of the community;
 - b. form a network that links the natural landscape and community facilities wherever possible; and
 - c. contribute to the biodiversity, character and identity of communities.
2. Social infrastructure and community services are located and designed to:
 - a. meet the demographic needs of the community;
 - b. maximise access and connectivity; and
 - c. be integrated and co-located with compatible uses and activities wherever possible.
 3. Social infrastructure and community services are supported and encouraged at appropriate locations, particularly when delivered by the private sector and non-profit sectors.

Part 4 Local Government Infrastructure Plan



4.1 Preliminary

1. This local government infrastructure plan has been prepared in accordance with the requirements of the *Planning Act 2016*.
2. The purpose of the local government infrastructure plan is to:
 - a. integrate infrastructure planning with the land use planning identified in the planning scheme
 - b. provide transparency regarding a local government's intentions for the provision of trunk infrastructure
 - c. enable a local government to estimate the cost of infrastructure provision to assist its long term financial planning
 - d. ensure that trunk infrastructure is planned and provided in an efficient and orderly manner and
 - e. provide a basis for the imposition of conditions about infrastructure on development approvals.
3. The local government infrastructure plan:
 - a. states in **Section 2 Planning Assumptions** the assumptions about future growth and urban development including the assumptions of demand for each trunk infrastructure network
 - b. identifies in **Section 3 Priority Infrastructure Area** the prioritised area to accommodate urban growth up to 2031
 - c. states in **Section 4 Desired Standards of Service** for each trunk infrastructure network the desired standard of performance
 - d. identifies in **Section 5 Plans for Trunk Infrastructure** the existing and future trunk infrastructure for the following networks¹:
 - i. transport
 - ii. parks and land for community facilities
 - iii. stormwater and
 - e. provides a list of supporting documents that assist in the interpretation of the local government infrastructure plan in the **Editor's note — Extrinsic Material** at the end of Section 5.
4. This Part comprises the following components:
 - 4.1 Preliminary
 - 4.2 Planning Assumptions
 - 4.2.1 Population and Employment Growth
 - 4.2.2 Development
 - 4.2.3 Infrastructure Demand
 - 4.3 Priority Infrastructure Area
 - 4.4 Desired Standards of Service
 - 4.4.1 Stormwater Network
 - 4.4.2 Transport Network
 - 4.4.2.1 Road Network
 - 4.4.2.2 Footpath and Shared Path Network
 - 4.4.3 Public Parks and Land for Community Facilities Network
 - 4.4.3.1 Public Parks Network

4.4.3.2 Land for Community Facilities Network

4.5 Plans for Trunk Infrastructure

4.5.1 Plans for Trunk Infrastructure Maps

4.5.2 Schedules of Works

Editor's Note — Extrinsic Material

Appendix 1 —Definitions

Appendix 2 — Local Government Infrastructure Plan Mapping and Tables

Ap2.1 Planning Assumption Tables

Ap2.2 Schedules of Works

Ap2.3 Local Government Infrastructure Plan Maps

Note—¹*Water supply and sewerage trunk network information is outlined in Queensland Urban Utilities' (QUU) Water Netserv Plan which can be assessed at www.urbanutilities.com.au".*

4.2 Planning assumptions

1. The planning assumptions state the assumptions about:
 - a. population and employment growth and
 - b. the type, scale, location and timing of development including the demand for each trunk infrastructure network.
2. The planning assumptions together with the desired standards of service form a basis for the planning of the trunk infrastructure networks and the determination of the priority infrastructure area and
3. The planning assumptions have been prepared for:
 - a. the base date December 2014 and the following projection years to accord with future Australian Bureau of Statistics census years:
 - i. mid 2016
 - ii. mid 2021
 - iii. mid 2026
 - iv. mid 2031
 - b. the LGIP development types in column 2 that include the uses in column 3 of Table 1. and
 - c. the projection areas identified on Local Government Infrastructure Plan Map - PIA Key in Appendix 2— Local government infrastructure plan mapping and tables.

Table 1—Relationship between LGIP development categories, LGIP development types and uses

Column 1 LGIP development category	Column 2 LGIP development type	Column 3 Uses
Residential development	Attached dwelling	Caretaker's accommodation Community residence Dual occupancy Dwelling unit Home based business Multiple dwelling Nature-based tourism Non-resident workforce accommodation Relocatable home park Resort complex Retirement facility Rooming accommodation Rural workers' accommodation Short-term accommodation Tourist park
	Detached dwelling	Dwelling house Party house Sales office
Non-residential development	Commercial	Garden centre Hardware and trade supplies Outdoor sales Showroom
	Community purpose	Cemetery Club Community care centre Community use Crematorium Detention facility Emergency services

	<ul style="list-style-type: none"> Funeral parlour Hospital Outstation Place of worship Residential care facility
Industry	<ul style="list-style-type: none"> Brothel Bulk landscape supplies Extractive industry Low impact industry High impact industry Marine industry Medium impact industry Research and technology industry Special industry Transport Depot Warehouse
Retail	<ul style="list-style-type: none"> Adult store Bar Car wash Childcare centre Educational establishment Food and drink outlet Function facility Health care service Hotel Indoor sport and recreation Major sport, recreation and entertainment facility Market Motor sport facility Nightclub entertainment facility Office Outdoor sport and recreation Parking station Service industry Service station Shop Shopping centre Theatre Tourist attraction Veterinary services
Rural	<ul style="list-style-type: none"> Agricultural supplies store Animal husbandry Animal keeping Aquaculture Cropping Intensive animal industry Intensive horticulture Permanent plantation Roadside stall Rural industry Wholesale nursery Winery
Other	<ul style="list-style-type: none"> Air services Environment facility Landing

	Major electricity infrastructure Park Port service Renewable energy facility Substation Telecommunication facility Utility installation
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4. Details of the methodology used to prepare the planning assumptions are stated in the extrinsic material.

4.2.1 Population and employment growth

1. A summary of the assumptions about population and employment growth for the local government area is stated in Table 2—Population and employment assumptions summary.

Table 2—Population and employment assumptions summary

Column 1 Description	Column 2 Assumptions					
	Base date 2014	2016	2021	2026	2031	Ultimate development
Population	39874	40348	45265	51918	58318	79820
Employment	13800	14152	15381	16828	18491	21745

2. Detailed assumptions about growth for each projection area and LGIP development type category are identified in the following tables in Appendix 2 Local government infrastructure plan mapping and tables:

- for population, Table 5—Existing and projected population
- for employment, Table 6—Existing and projected employees.

4.2.2 Development

- The developable area is identified on Local Government Infrastructure Plan Map LGIP- Developable Area Maps 1 to 10 in Appendix 2—Local government infrastructure plan mapping and tables.
- The planned density for future development is stated in Table 7 Planned density and demand generation rate for a trunk infrastructure network in Appendix 2-Local government infrastructure plan mapping and tables.
- A summary of the assumptions about future residential and non-residential development for the local government area is stated in Table 3—Residential dwellings and non-residential floor space assumptions summary.

Table 3—Residential dwellings and non-residential floor space assumptions summary

Column 1 Description	Column 2 Assumptions					
	Base date 2014	2016	2021	2026	2031	Ultimate development
Residential dwellings	16,719	16,928	18,898	21,568	24,166	33,438
Non-residential floor space (m ² GFA)	610,560	614,387	662,464	725,686	805,066	956,118

4. Detailed assumptions about future development for each projection area and LGIP development type are identified in the following tables in Appendix 2 Local government infrastructure plan mapping and tables:
 - a. for residential development, Table 8 Existing and projected residential dwellings
 - b. for non-residential development, Table 9 Existing and projected non-residential floor space.

4.2.3 Infrastructure demand

1. The demand generation rate for a trunk infrastructure network is stated in Column 4 of Table 7 Planned density and demand generation rate for a trunk infrastructure network in Appendix 2 Local government infrastructure plan mapping and tables.
2. A summary of the projected infrastructure demand for each service catchment is stated in:
 - a. for the stormwater network, Table 4—Existing and projected demand for the stormwater network
 - b. for the transport network, Table 5—Existing and projected demand for the transport network and
 - c. for the parks and land for community facilities network, Table 6—Existing and projected demand for the parks and land for community facilities network.

4.3 Priority infrastructure area

1. The priority infrastructure area identifies the area prioritised for the provision of trunk infrastructure to service the existing and assumed future urban development up to 2031.
2. The priority infrastructure area is identified on Local Government Infrastructure Plan Map - PIA Key, PIA 1 to 5.

4.4 Desired standards of service

1. This section states the key standards of performance for a trunk infrastructure network.
2. Design standards for trunk infrastructure networks are identified in the extrinsic material.

4.4.1 Stormwater network

The desired standard of service for the stormwater network is to:

1. service development
2. integrate with the existing and planned stormwater infrastructure
3. manage stormwater flows from future development to create no net worsening effect and protects life, property and the environment, and does not increase the stormwater flow rate or deteriorate existing flood conditions, for all flood events up to and including a one per cent annual exceedance probability (AEP) flood event
4. protect receiving water quality in accordance with the Healthy Waterways and Catchments Guidelines
5. retain natural waterways, wetlands and riparian corridors and where works are necessary, use natural channel design principles
6. minimise any change to the frequency of disturbance to aquatic ecosystems and avoid channel bed and bank erosion
7. locate stormwater infrastructure in accessible, safe and functional locations
8. appropriately integrate stormwater infrastructure into open space to maximise benefit to the community and natural environment and
9. design the stormwater network in accordance with:
 - a. Planning scheme policy on Infrastructure
 - b. Queensland Urban Drainage Manual
 - c. Australian Rainfall and Runoff and
 - d. Water by Design Guidelines.

4.4.2 Transport network

4.4.2.1 Road network

The desired standard of service for the road network is to:

1. integrate local government roads and state-controlled roads in accordance with the road network identified in planning scheme policy on infrastructure in the planning scheme
2. plan and design local government roads to facilitate the efficient movement of pedestrians, cyclists, public transport and vehicles in accordance with planning scheme policy on infrastructure in the planning scheme
3. public transport
 - a. bus connecting to Brisbane (route 540) with bus stops at every 400m interval
 - b. school and community transport for inter-town movement through www.scenicrimtransport.com

Table 4.4.2.1.1 - Desired Standards for trunk roads

Trunk road	Maximum volume to capacity ratio	Max Catchment Size
Trunk Collector	100%	>3000
Collector	100%	1000 - 3000
Industrial Trunk Collector	100%	>3000
Industrial Collector	100%	1000 - 3000

Table 4.4.2.1.2 - Trunk road intersection standards

Trunk road	Intersection type	Max Control Delays (seconds)	Degree of saturation
Trunk Collector	Priority	30 < d < 45	0.9
	Controlled	40 < d < 60	0.85
Collector	Priority	30 < d < 45	0.9
	Controlled	40 < d < 60	0.85
Industrial Trunk Collector	Priority	30 < d < 45	0.9
	Controlled	40 < d < 60	0.85
Industrial Collector	Priority	30 < d < 45	0.9
	Controlled	40 < d < 60	0.85

4.4.2.2 Footpath and Shared path network

The desired standard of service for the footpath and shared path network is to:

1. plan the network to provide safe, attractive, efficient, sustainable and legible connectivity in accordance with planning scheme policy on infrastructure in the planning scheme
2. design the footpath and shared network to comply with the design standards for footpaths and shared paths in accordance with planning scheme policy on infrastructure in the planning scheme.

Table 4.4.2.2.1 - Footpath and Shared path standards

Trunk road	Pedestrian path	Shared path
Trunk Collector	Yes	Yes
Collector	Yes	Yes
Industrial Trunk Collector	No	Yes
Industrial Collector	No	Yes

4.4.3 Public parks and land for community facilities network

4.4.3.1 Public Parks network

The desired standard of service for the park network is to:

1. plan the network to:
 - a. service development in accordance with the:
 - i. rate of land provision stated in column 3 of Table 1—Rate of land provision for the park network
 - ii. accessibility standard stated in column 3 of Table 2—Accessibility standard for the park network and
 - iii. minimum land size stated in column 2 of Table 3 - Minimum land size of park.
 - b. integrate with, protect and enhance the park network
 - c. provide park network connectivity
 - d. ensure flood protection for safe, accessible and usable facilities and
 - e. have regard to the planning of the pedestrian network.
2. design parks to comply with design standards for parks in accordance with planning scheme policy on infrastructure.

Table 4.4.3.1.1 - Rate of land provision for the park network

Column 1	Column 2

Park type*	Rate of land provision (hectares / 1,000 persons)
Corridor	1.0
Premier	0.2
Recreation	1.4
Sports	1.8
Total	4.4

Table 4.4.3.1.2 - Accessibility standard for the park network

Column 1 Park type	Column 2 Accessibility standard (size of catchment)
Corridor	1km
Premier	Not applicable
Recreation	0.5km (Local) 2km (District)
Sports	5km

Table 4.4.3.1.3 - Minimum land size of the park

Column 1 Park type	Column 2 Minimum park areas (hectares)
Corridor	Minimum 30m preferable, may be narrower when associated with a waterway or environmental corridor.
Premier	1 - 20
Recreation	0.5 - 1.0 (Local) 1 - 2 (District)
Sport	5-10

*Park types (e.g. environmental) other than listed above are considered as non-trunk parks.

4.4.3.2 Land for Community Facilities network

The desired standard of service for land for community facilities network is to provide land for a connected and accessible network of community facilities that meets the needs of the residents in accordance with the:

1. rate of provision stated in column 3 of Table 4 Land for community facilities network; and
2. minimum land size stated in column 4 of Table 4 Land for community facilities network.

Table 4.4.3.2.1 —Land for community facilities network

Column 1 Facility type	Column 2 Facility hierarchy	Column 3 Rate of provision (Facility : EP)	Column 4 Minimum land size (Land area/Facility GFA)
Community/Civic facility			
General community space	Local	1:10000	Town Residential : 1000m ² / 200m ²
			Rural Residential : not applicable
Community centre	Region	1:30000	Town Residential : 2000m ² / 300m ²

			Rural Residential : not applicable
Cultural facility			
Library	Region	1:30000	Town Residential : 3000m ² / 1800m ²
			Rural Residential : not applicable
Art gallery or dedicated art space	Region	1:30000	2000m ² / 500m ²
Museum	Region	1:30000	4000m ² / 1200m ²
Sporting facility			
Indoor sports facility	Region	1:30000	4000m ² / 500m ²
Aquatic centre	Region	1:30000	5000m ² (land area)

4.5 Plans for trunk infrastructure

1. The plans for trunk infrastructure identify the trunk infrastructure networks intended to service the existing and assumed future urban development at the desired standard of service.

4.5.1 Plans for trunk infrastructure maps

1. The existing and future trunk infrastructure networks are shown on the following maps in **Appendix 2—Local Government Infrastructure Plan Mapping and Tables**:
 - a. Local Government Infrastructure Plan Map - PFTI S-1 to S-4 Plan for trunk stormwater infrastructure
 - b. Local Government Infrastructure Plan Map - PFTI T-1 to T-7 Plan for trunk transport infrastructure
 - c. Local Government Infrastructure Plan Map - PFTI P-1 to P-8 Plan for trunk parks and land for community facilities infrastructure
2. The state infrastructure forming part of transport trunk infrastructure network has been identified using information provided by the relevant state infrastructure supplier.

4.5.2 Schedules of works

1. Details relating to the existing and future trunk infrastructure networks are identified in the electronic Excel Schedule Of Works (SOW) model which can be viewed here: <http://www.scenicrim.qld.gov.au/planning-schemes>.
2. The future trunk infrastructure, derived from the SOW model, is summarised in the following tables in **Appendix 2—Local Government Infrastructure Plan Mapping and Tables**:
 - a. for the stormwater network, Table 7—Stormwater network schedule of works;
 - b. for the transport network, Table 8—Transport network schedule of works; and
 - c. for the parks and land for community facilities network, Table 9—Parks and land for community facilities schedule of works

Editor's note - Extrinsic material

The below table identifies the documents that assist in the interpretation of the local government infrastructure plan and are extrinsic material under the Statutory Instruments Act 1992.

List of extrinsic material

Column 1 Title of document	Column 2 Date
Planning Assumptions - Extrinsic Material for LGIP	Oct 2017
Employment Implications of the Development of Bromelton by Economic Associates	Aug 2016
SEQ Employment and Economic Activity Forecasting Project LGA Summary Report: Scenic Rim Regional Council	Feb 2015
Extrinsic Material on Schedule of Works Model	Sep 2017
Infrastructure Planning - Extrinsic Material	Sep 2017
Scenic Rim Regional Council's 10 year Capital Works Program for 2016/17	Jun 2016
Scenic Rim Regional Council's Financial Asset Register	Jun 2014
Land Valuation Report by John Olive & Associates	Jul 2017
Parks & Amenities Strategy	2015

Scenic Rim Regional Libraries Space Review by Architect Peter Moeck	Jul 2016
Flood and Slope Analysis for Spring Creek by Aurecon	Jul 2016
Playground Strategy	Dec 2016
Embellishment Unit Rates Report by Xyst	Jul 2017
Rate Build-up for Council Standards Road Sections by AECOM	Sep 2014
Transport Infrastructure Review by Veitch Lister Consulting	Sep 2015
Supplementary Assessments of Brisbane/William Street Intersection by Veitch Lister Consulting	Aug 2016
Stormwater System Assessment & Improvement Plan Kalbar Study Area by CDM Smith	Aug 2016
Stormwater System Assessment & Improvement Plan Canungra Study Area by CDM Smith	Aug 2016
Boonah Stormwater System Assessment & Improvement Plan by Aurecon	Dec 2014
Beaudesert Stormwater System Assessment & Improvement Plan by Aurecon	Dec 2014

Appendix 1 —Definitions

1. No new definitions are proposed.
2. Terms used in this part are defined in **Schedule 1 - Definitions**

Appendix 2 — Local government infrastructure plan mapping and tables

AP2.1 Planning assumption tables

Table 4.5—Existing and projected population

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected population					
		Dec 2014	2016	2021	2026	2031	Ultimate development
Beauesert PIA	Single Dwelling	6068	6235	9370	13783	17822	18802
	Multiple Dwelling	995	1066	1269	1433	1466	2124
	Other Dwelling	14	14	14	14	14	14
	Total	7077	7315	10653	15230	19302	20940
Kooralbyn PIA	Single Dwelling	13	44	123	408.2	407	403
	Multiple Dwelling	532	532	532	531.6	595	595
	Other Dwelling	1	1	1	1	1	1
	Total	546	577	655	941	1002	999
Canungra PIA	Single Dwelling	704	847	1221	1656	2267	2624
	Multiple Dwelling	51	51	51	51.48	51	51
	Other Dwelling	4	4	4	4	4	4
	Total	759	903	1277	1712	2322	2679
Kalbar PIA	Single Dwelling	672	718	952	1031	1085	1076
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	2	2	2	2	2	2
	Total	674	720	954	1033	1087	1078
Boonah PIA	Single Dwelling	2514	2529	2915	3378	3658	4039
	Multiple Dwelling	77	77	77	77	77	77
	Other Dwelling	7	7	7	7	7	7
	Total	2598	2613	2999	3461	3742	4123
Inside priority infrastructure area (total)	Single Dwelling	9971	10374	14581	20255	25239	26944
	Multiple Dwelling	1655	1726	1929	2093	2189	2846
	Other Dwelling	28	28	28	28	28	28
	Total	11654	12128	16537	22376	27455	29819
Outside priority infrastructure area (total)	Single Dwelling	27243	27243	27750	28532	29851	48362
	Multiple Dwelling	564	565	564	595	595	1204
	Other Dwelling	413	413	413	415	416	436
	Total	28220	28221	28728	29542	30863	50001
Scenic Rim Regional Council	Single Dwelling	37214	37617	42331	48787	55090	75306
	Multiple Dwelling	2219	2291	2493	2688	2784	4050

	Other Dwelling	441	441	441	443	444	464
	Total	39874	40349	45265	51918	58318	79820

Table 4.6—Existing and projected employees

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected employees					
		2011	2016	2021	2026	2031	Ultimate developmen t
Beaudesert SA2	Commercial	299	313	342	410	462	565
	Community Purposes	1464	1663	1981	2550	3131	4244
	Industrial	1502	1486	1892	2458	2941	4222
	Retail	1837	2030	2397	3174	3991	5505
	Rural	661	609	655	751	742	759
	Other	29	34	36	39	41	48
	Total	5792	6135	7303	9382	11308	15343
Boonah SA2	Commercial	202	211	201	171	156	120
	Community Purposes	569	650	702	642	624	579
	Industrial	1045	953	1041	1007	1021	785
	Retail	1187	1319	1356	1276	1234	1192
	Rural	835	742	636	530	511	467
	Other	6	4	4	3	3	2
	Total	3844	3879	3940	3629	3549	3145
Tamborine - Canungra SA2	Commercial	212	218	212	189	176	137
	Community Purposes	858	879	842	768	699	629
	Industrial	831	723	768	702	729	567
	Retail	2005	2111	2119	1986	1859	1762
	Rural	246	200	190	166	165	159
	Other	12	7	7	6	6	3
	Total	4164	4138	4138	3817	3634	3257
Scenic Rim Regional Council	Commercial	713	742	755	770	794	822
	Community Purposes	2891	3192	3525	3960	4454	5452
	Industrial	3378	3162	3701	4167	4691	5574
	Retail	5029	5460	5872	6436	7084	8459
	Rural	1742	1551	1481	1447	1418	1385
	Other	47	45	47	48	50	53
	Total	13800	14152	15381	16828	18491	21745

Table 4.7—Planned density and demand generation rate for a trunk infrastructure network

Column 1 Planning scheme zones	Column 2 Planning scheme precincts	Column 3 Planned density	Column 4 Demand generation rate for a trunk infrastructure network
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		Non-residential plot ratio (floor space in m ² /employee)	Residential density (dwellings/dev ha)	Transport network (vpd/dev ha)	Parks and land for community facilities network (ha/1000 persons)	Stormwater network (imp ha/dev ha)
Residential development type						
Low Density Residential	(Where no precinct applies)	0	10	60	4.4	0.6
	Mountain Residential	0	0	0	4.4	0
Low-Medium Density Residential		0	13.5	81	4.4	0.6
Rural	(Where no precinct applies)	0	0.01667	8	4.4	**
	Tamborine Mountain Rural	0	0.01667	8	4.4	**
	Rural Escarpment Protection	0	0.01667	8	4.4	**
Rural Residential	(Where no precinct applies)	0	3.33	27	4.4	0.1
	Rural Residential A	0	1	8	4.4	0.1
Township	(Where no precinct applies)	0	4	32	4.4	0.1
	Township Residential	0	3.33	27	4.4	0.1
Non-residential or mixed use development type						
Community Facilities		35	0.1	*	0	0.1
Conservation		0	0	0	0	0
District Centre		25 - 45	4	*	4.4	0.6
Industry		55 - 220	0.5	*	0	0.9
Limited Development	Flood Land	0	0	0	0	0
	Historical Subdivision	0	0	0	0	0
Local Centre		25 - 45	2	*	4.4	0.6
Major Centre		25 - 120	4	*	4.4	0.9
Major Tourism		*	0	*	0	0.6
Minor Tourism		*	0	*	0	0.6
Mixed Use	(Where no precinct applies)	25 - 120	4	*	4.4	0.9
	Commercial Industrial	45 - 120	0	*	0	0.9
Neighbourhood Centre		25	0	*	0	0.6
Recreation and Open Space		0	0	0	0	0
Special Purpose	(Where no precinct applies)	0	0	8	4.4	0.6
	Bulk Water Storage	0	0	*	0	0
	Bromelton State Development Area	55 - 220	0.01667	*	4.4	0.9

* assessed by Council on a case by case basis

** an assumption of 500 sqm of impervious area per dwelling is used.

Table 4.8—Existing and projected residential dwellings

Column 1 Projection area	Column 2 LGIP development type	Column 3 Existing and projected residential dwellings					
		Dec 2014	2016	2021	2026	2031	Ultimate developmen t
Beaudesert PIA	Single Dwelling	2325	2389	3590	5301	6881	7316
	Multiple Dwelling	726	778	926	1046	1070	1550
	Other Dwelling	14	14	14	14	14	14
	Total	3065	3181	4530	6361	7965	8880
Kooralbyn PIA	Single Dwelling	5	17	47	157	157	157
	Multiple Dwelling	388	388	388	388	434	434
	Other Dwelling	1	1	1	1	1	1
	Total	394	406	436	546	592	592
Canungra PIA	Single Dwelling	275	331	477	647	889	1037
	Multiple Dwelling	39	39	39	39	39	39
	Other Dwelling	4	4	4	4	4	4
	Total	318	374	520	690	932	1080
Kalbar PIA	Single Dwelling	273	292	387	419	443	443
	Multiple Dwelling	0	0	0	0	0	0
	Other Dwelling	2	2	2	2	2	2
	Total	275	294	389	421	445	445
Boonah PIA	Single Dwelling	1022	1028	1185	1373	1493	1662
	Multiple Dwelling	61	61	61	61	61	61
	Other Dwelling	7	7	7	7	7	7
	Total	1090	1096	1253	1441	1561	1730
Inside priority infrastructure area (total)	Single Dwelling	3900	4057	5686	7897	9863	10615
	Multiple Dwelling	1214	1266	1414	1534	1604	2084
	Other Dwelling	28	28	28	28	28	28
	Total	5142	5351	7128	9459	11495	12727
Outside priority infrastructure area (total)	Single Dwelling	10736	10736	10929	11242	11803	19353
	Multiple Dwelling	428	428	428	452	452	922
	Other Dwelling	413	413	413	415	416	436
	Total	11577	11577	11770	12109	12671	20711
Scenic Rim Regional Council	Single Dwelling	14636	14793	16615	19139	21666	29968
	Multiple Dwelling	1642	1694	1842	1986	2056	3006
	Other Dwelling	441	441	441	443	444	464
	Total	16719	16928	18898	21568	24166	33438

Table 4.9—Existing and projected non-residential floor space

Column 1 Projection area	Column 2 LGIP	Column 3 Existing and projected non-residential floor space (m ² GFA)
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	development type	2014	2016	2021	2026	2031	Ultimate development
Beaudesert SA2	Commercial	13833	14085	15390	18450	20790	25425
	Community Purposes	58050	60956	72237	92352	112996	152304
	Industrial	130264	131963	162328	207870	255011	366327
	Retail	58521	60848	72107	95403	119673	164477
	Rural	630	609	655	751	742	759
	Other	3840	4080	4320	4680	4920	5760
	Total		265139	272541	327037	419506	514132
Boonah SA2	Commercial	9333	9495	9045	7695	7020	5400
	Community Purposes	21937	22998	24825	22617	21991	20348
	Industrial	112773	109093	104151	94363	89846	64898
	Retail	37935	39484	40448	38010	36769	35474
	Rural	779	742	636	530	511	467
	Other	576	480	480	360	360	240
	Total		183333	182292	179585	163575	156497
Tamborine - Canungra SA2	Commercial	9702	9810	9540	8505	7920	6165
	Community Purposes	31173	31261	29954	27372	24874	22176
	Industrial	59910	56142	53909	48592	47276	34702
	Retail	60005	61301	61409	57250	53482	50677
	Rural	218	200	190	166	165	159
	Other	1080	840	840	720	720	360
	Total		162088	159554	155842	142605	134437
Scenic Rim Regional Council	Commercial	32868	33390	33975	34650	35730	36990
	Community Purposes	111161	115215	127016	142341	159861	194828
	Industrial	302947	297198	320388	350825	392133	465927
	Retail	156461	161633	173964	190663	209924	250628
	Rural	1627	1551	1481	1447	1418	1385
	Other	5496	5400	5640	5760	6000	6360
	Total		610560	614387	662464	725686	805066

Table 4.10—Existing and projected demand for the stormwater network

Column 1 Service catchment ¹	Column 2 Existing and projected demand (imp ha)					
	2014	2016	2021	2026	2031	Ultimate development
Beaudesert	62	62	72	103	128	160.90
Boonah	57	57	66	77	85	157.20
Canungra	8	8	8	10	12	15.40

Kalbar	12	12	13	13	14	30.14
Total	139	139	159	202	238	364

Note—² Table 4.10 Column 1 The service catchments for the stormwater network are identified on Local Government Infrastructure Plan Map PFTI S-1 to S-4 (Plan for trunk stormwater infrastructure) in Schedule 3 (local government infrastructure mapping and tables).

Table 4.1—Existing and projected demand for the transport network

Column 1 Service catchment ²	Column 2 Existing and projected demand (vpd)					
	2014	2016	2021	2026	2031	Ultimate development
Beautesert PIA	18,390	19,086	27,180	38,166	47,790	53,280
Kooralbyn PIA	2,364	2,436	2,616	3,276	3,552	3,552
Canungra PIA	1,908	2,244	3,120	4,140	5,592	6,480
Kalbar PIA	1,650	1,764	2,334	2,526	2,670	2,670
Boonah PIA	6,540	6,576	7,518	8,646	9,366	10,380
Outside priority infrastructure area (total)	92,616	92,616	94,160	96,872	101,368	165,688
Scenic Rim Regional Council	123,468	124,722	136,928	153,626	170,338	242,050

Note—³ Table 4.11 Column 1 The service catchments for the transport network are identified on Local Government Infrastructure Plan Map PFTI T-1 to T-7 (Plan for trunk transport infrastructure) in Schedule 3 (local government infrastructure mapping and tables).

Table 4.2—Existing and projected demand for the parks and land for community facilities network

Column 1 Service catchment ³	Column 2 Existing and projected demand (ha) for population					
	2014	2016	2021	2026	2031	Ultimate development
Beautesert	60.5	61.6	77.7	101.7	124.3	161.1
Boonah	52.0	52.2	56.0	59.1	61.9	114.0
Tamborine - Canungra	63.0	63.7	65.5	67.6	70.4	76.1
Scenic Rim Regional Council	175.4	177.5	199.2	228.4	256.6	351.2

Note—⁴ Table 4.12 Column 1 The service catchments for the parks and land for community facilities network are identified on Local Government Infrastructure Plan Map PFTI P-1 to P-8 (Plan for trunk parks and land for community facilities infrastructure) in Schedule 3 (local government infrastructure mapping and tables).

AP2.2 Schedules of works

Table 4.3—Stormwater network schedule of works

Column 1 Map reference	Column 2 Trunk infrastructure	Column 3 Estimated timing	Column 4 Establishment cost ⁴
A	Devine Drive Detention Basin A	2021	\$128,333
B	Devine Drive Detention Basin B	2026	\$320,833
C	Devine Drive Detention Basin C	2031	\$483,000

D	Town Drain - Brisbane St & Short St	2026	\$1,870,000
TOTAL			\$2,802,166

Note—⁵. Table 4.3 Column 4 The establishment cost, which is land valuation and baseline valuation for an asset, is expressed in current cost terms as at the base date.

Table 4.14—Transport network schedule of works

Column 1 Map reference	Column 2 Trunk infrastructure			Column 3 Estimated timing	Column 4 Establishment cost ⁵
	Asset Class	Asset Name	Description		
F1	Footpaths	High Street	Upgrade of existing footpath high st to park st	2016	\$ 330,255
F2	Footpaths	High Street	Upgrade of existing footpath park st to high st	2016	\$ 305,606
R1	Rural Roads	Veresdale Scrub Road	Veresdale Scrub Road chainage 1980 - 2580	2016	\$ 872,433
B1	Bridge	Church Bank	Upgrade of Timber bridge to Concrete bridge	2017	\$ 1,911,843
F3	Footpaths	Mt Lindsay Hwy	New shared pathway stage 3	2017	\$ 711,690
F4	Footpaths	Railway street	Railway Street to Yeates Av to High Street	2017	\$ 563,388
F5	Footpaths	Anna street	various sections length 300m	2017	\$ 104,425
F6	Footpaths	Church street	High street to Oliver street	2017	\$ 119,569
F7	Footpaths	Yeates Ave	Yeates Ave - Railway Street	2017	\$ 244,113
F8	Footpaths	McKee Street	McKee Street to Brisbane Street	2017	\$ 126,687
F9	Footpaths	High Street	Upgrade of existing footpath	2017	\$ 32,645
R2	LRRS Roads	Munbilla Road	Ch14,297 to Ch 15.491 - Either side Greenwood Rd	2017	\$ 1,697,336
R3	Rural Roads	Kilmoylar Road	Undullah Rd to Teviot Brook stage 1 1800 - 2830	2017	\$ 1,948,191
R4	Rural Roads	Veresdale Scrub Road	chainage - 2580 - 3035 Stage 3	2017	\$ 743,898
B2	Bridge	Church Bank	Upgrade of Timber bridge to Concrete bridge	2018	\$ 808,157
B3	Bridge	Ferguson Reserve	Upgrade of Timber bridge to Concrete bridge	2018	\$ 1,200,000
B4	Bridge	S. Todd	Upgrade of Timber bridge to Concrete bridge	2018	\$ 2,150,000
F10	Footpaths	Brookland Drive	Junior Chambers Park to Retirement Village	2018	\$ 45,000
F11	Footpaths	Edward Street	60m west Settlers Dr (end existing path) to Ann Street (existing path)	2018	\$ 212,000
F12	Footpaths	Long Road	Curtis Road to Hartley Road	2018	\$ 500,000
R5	LRRS Roads	Kooralbyn Road	Seal Change to Kooralbyn Drive -Chainage Ch7,776 - Ch7,915	2018	\$ 350,000
R6	LRRS Roads	Beechmont Road	Millie Court to Upper Coomera Road - Chainage Ch1,795 - Ch2,563	2018	\$ 1,170,000
R7	LRRS Roads	Beechmont Road	Coomera River to Seal Change -Chainage Ch3,245 - Ch3,888	2018	\$ 1,030,000
R8	LRRS Roads	Beechmont Road	Seal Change to Tucker Lane -Chainage Ch3,888 - Ch4,809	2018	\$ 1,474,000
R9	LRRS Roads	Christmas Creek Road	Chainage Ch3,889 - Ch4,279	2018	\$ 700,000

R10	LRRS Roads	Christmas Creek Road	Chainage Ch4,279 - Ch4,643	2018	\$ 655,000
R11	LRRS Roads	Christmas Creek Road	Chainage Ch3,411 - Ch3,889	2018	\$ 860,000
R12	Rural Roads	Kilmoylar Road	Undullah Rd to Teviot Brook stage 2 630 - 1800	2018	\$ 1,450,000
R13	SRRC Streets	Beacon Road	Chainage Ch186 - Ch1121	2018	\$ 500,000
R14	SRRC Streets	Beacon Road	Chainage Ch186 - Ch1121	2018	\$ 800,000
R15	SRRC Streets	Macquarie street	Chainage Ch497 - Ch698	2018	\$ 200,000
B5	Bridge	Back Creek	Upgrade of Timber bridge to Concrete bridge	2019	\$ 1,500,000
B6	Bridge	Spring Creek	Upgrade of Timber bridge to Concrete bridge	2019	\$ 1,500,000
F13	Footpaths	Long Road	Curtis Road to Hartley Road	2019	\$ 125,000
F14	Footpaths	Holt Road	Hartley Road to High School	2019	\$ 247,000
R16	LRRS Roads	Beechmont Road	Upper Coomera Road to Coomera River - Chainage Ch2,563 - Ch3,245	2019	\$ 1,090,000
R17	Rural Roads	Kilmoylar Road	Undullah Rd to Teviot Brook stage 2 -80 - 630	2019	\$ 2,000,000
B7	Bridge	Botan Creek	Upgrade of Timber bridge to Concrete bridge	2020	\$ 1,775,000
F15	Footpaths	Highbury street	School Entrance to Leonard street	2020	\$ 105,000
R18	LRRS Roads	Christmas Creek Road	Jim Brown Bridge to Rudd Lane -Chainage Ch10,391 - Ch11,138	2020	\$ 1,300,000
R19	LRRS Roads	Kerry Road	Seal Change to Spring Creek Bridge - Chainage Ch10,836 - Ch12,662	2020	\$ 2,158,000
R20	LRRS Roads	Kerry Road	Spring Creek Bridge to Pave Change - Chainage Ch12,662 - Ch13,416	2020	\$ 1,210,000
B8	Bridge	Jerome	Upgrade of Timber bridge to Concrete bridge	2021	\$ 1,800,000
B9	Bridge	Teese	Upgrade of Timber bridge to Concrete bridge	2021	\$ 300,000
F16	Footpaths	Alpine Terrace	White Road to CH 240 (existing footpath)	2021	\$ 118,000
F17	Footpaths	Cunningham Highway	Adam Drive access road reserve (180m south Shell Service Station) to Charlwood Road	2021	\$ 120,000
R21	LRRS Roads	Kerry Road	Brolga Road to Seal Change -Chainage Ch2,907 - Ch3,708	2021	\$ 1,441,000
F18	Footpaths	Beechmont Road	McInnes Court to State School	2022	\$ 500,000
R22	LRRS Roads	Kerry Road	Seal Change to Nindooindah House Road - Chainage Ch3,708 - Ch5,548	2022	\$ 3,100,000
R23	LRRS Roads	Kooralbyn Road	Chainage Ch5,444 - Ch6151	2022	\$ 920,000
F19	Footpaths	Beechmont Road	McInnes Court to State School	2023	\$ 250,000
R24	Rural Roads	Upper Coomera Road	Jerome Bridge to Flying Fox Road -Chainage Ch3,989 - Ch4,627	2023	\$ 670,000
B10	Bridge	Flying Fox	Upgrade of Timber bridge to Concrete bridge	2024	\$ 2,000,000
B11	Bridge	Freeman	Upgrade of Timber bridge to Concrete bridge	2024	\$ 1,000,000
R25	LRRS Roads	Christmas Creek Road	Seal Change to Jim Brown Bridge -Chainage Ch9,535 - Ch10,391	2024	\$ 1,370,000
R26	Rural Roads	Brookland Road	Change to Barnes Road - Chainage Ch502 - Ch2024	2024	\$ 2,435,000
F20	Footpaths	Milford Road	Boonah Rathdowney Road to Bruckner Hill Road	2025	\$ 80,000

F21	Footpaths	Wongawallen Road	Gallery Walk to Tamborine Mt Heritage Centre	2025	\$ 250,000
R27	Rural Roads	Allan Creek Road	Mt Lindesay Highway to Bromelton House Road - Chainage Ch0 - Ch1,166	2025	\$ 2,100,000
R28	SRRC Streets	Peak Crossing Churchbank Weir Road	Chainage Ch0 - Ch290	2025	\$ 400,000
F22	Footpaths	Beechmont Road	Windabout Road to State School Entrance	2026	\$ 600,000
F23	Footpaths	Church Street	Macquarie Street to Macdonald Street	2027	\$ 203,000
F24	Footpaths	Arthur Street	Albert Street to Southern School Boundary	2028	\$ 93,000
F25	Footpaths	Albert Street	William Street to Brisbane Street	2029	\$ 167,000
R29	LRRS Roads	Eastern Ring Road	Land acquisition from Beaudesert Nerang Road to Kerry Rd (40 mt wide)	2029	\$ 184,000
R29	LRRS Roads	Eastern Ring Road	Construction from Beaudesert Nerang Road to Kerry Road	2029	\$ 6,016,000
F26	Footpaths	Hoya Road	Road reserve south of Pocock Road	2030	\$ 180,000
R30	LRRS Roads	Eastern Ring Road	Land acquisition from Tubber street to Beaudesert Nerang Road (40 mt wide)	2030	\$ 92,000
R30	LRRS Roads	Eastern Ring Road	Construction from Tubber street to Beaudesert Nerang Road	2030	\$ 4,173,600
F27	Footpaths	Hoya Road	Devin Drive north to realignment rail trail route	2031	\$ 440,000
R31	LRRS Roads	Eastern Ring Road	Land acquisition from Telemon street to Ludwig Road (5mt width)	2031	\$ 13,480
R32	LRRS Roads	Eastern Ring Rd	Land acquisition from PIA boundary to Brisbane Street	2031	\$ 90,160
R32	LRRS Roads	Eastern Ring Road	Construction from PIA boundary to Brisbane Street	2031	\$ 3,647,200
F28	Footpaths	Alpine Terrace	Fern Street to School Crossing	2032	\$ 235,000
R31	LRRS Roads	Eastern Ring Road	Construction from Telemon street to Ludwig Road (12mt width)	2032	\$ 5,068,480
R33	LRRS Roads	Eastern Ring Road	Land acquisition from Ludwig Road to Spring Creek (5mt width)	2032	\$ 7,510
F29	Footpaths	Bromelton Street	School to 100m west Hopkins Street	2033	\$ 233,000
R34	LRRS Roads	Eastern Ring Road	Land acquisition from Tubber street to PIA boundary	2033	\$ 164,000
R33	LRRS Roads	Eastern Ring Road	Construction from Ludwig Road to Kerry Road (12mt width)	2033	\$ 5,880,640
F30	Footpaths	Knoll Road	Depot to National Park	2034	\$ 40,000
R34	LRRS Roads	Eastern Ring Road	Construction from Tubber street to PIA boundary	2034	\$ 7,783,200
F31	Footpaths	Brisbane Street	Beaudesert State School to Mill Street	2035	\$ 555,000
F32	Footpaths	Brisbane Street	Mill Street to Tubber Street	2036	\$ 500,000
TOTAL					\$92,046,506

Note—⁶. Table 4.14—Transport network schedule of works Column 4 The establishment cost, which is land valuation and baseline valuation for an asset, is expressed in current cost terms as at the base date.

Table 4.15—Parks and land for community facilities schedule of works

Column 1 Map reference	Column 2 Trunk infrastructure			Column 3 Estimated timing	Column 4 Establishment cost ⁶
	Asset Class	Description	Location		
80	Premier Park	Botanic Gardens - capital funding	Tamborine Mountain	2016	\$33,000
38	Premier Park	Springleigh Park - New Toilet, Disabled Car park & bollard fencing	Boonah	2016	\$6,068
10	Recreation Park	Lions Bicentennial Park Upgrade carpark	Beaudesert	2017	\$18,846
66	Sports Park	Middle Park - replace steel panel fence and gate	Tamborine	2017	\$10,944
53	Premier Park	Peak Mountain View Park	Peak Crossing	2017	\$370,318
23	Recreation Park	New recreation park Billabong	Kooralbyn	2017	\$51,965
33	Sports Park	Coronation Park	Boonah	2017	\$23,260
126	Civic Space	Long Road Civic Space (3RP166156)	Tamborine Mountain	2017	\$623,700
80	Premier Park	Botanic Gardens	Tamborine Mountain	2017	\$33,000
7	Premier Park	Jubilee Park - playground	Beaudesert	2017	\$136,724
53	Premier Park	Peak Mountain View Park - upgrade effluent system & bollards	Peak Crossing	2017	\$24,026
70	Recreation Park	Guanaba Park	Tamborine Mountain	2018	\$16,000
78	Recreation Park	Rosser Park	Tamborine Mountain	2018	\$16,000
79	Recreation Park	Staffsmith Park	Tamborine Mountain	2018	\$25,000
7	Premier Park	Jubilee Park- playground	Beaudesert	2018	\$443,276
23	Recreation Park	Billabong Park - Playground	Kooralbyn	2018	\$180,000
45	Recreation Park	Harrisville Memorial Park	Harrisville	2018	\$40,000
NC2	Corridor Park	New corridor park Spring Creek	Beaudesert	2018	\$250,592
44	Recreation Park	Lions Rotary Park	Harrisville	2018	\$16,000
27	Recreation Park	Rathdowney Memorial Grounds	Rathdowney	2018	\$16,000
80	Premier Park	Botanic Gardens	Tamborine Mountain	2018	\$32,592
27	Recreation Park	Rathdowney Memorial Park - playground shade	Rathdowney	2018	\$27,500
60	Premier Park	D J Smith Park - Playground	Canungra	2018	\$400,000
74	Sports Park	Long Road Sports Complex - Playground	Tamborine Mountain	2018	\$140,000
NP1	Premier Park	VATV Main street Tamborine	Tamborine Mountain	2018	\$1,470,000
NP2	Premier Park	VATV High street Boonah	Boonah	2019	\$1,390,000
53	Premier Park	Peak Mountain View Park	Peak Crossing	2019	\$32,000
80	Premier Park	Botanic Gardens	Tamborine Mountain	2019	\$32,592

53	Premier Park	Peak Mountain View Park - playground shade	Peak Crossing	2019	\$27,500
38	Premier Park	Springleigh Park - Playground	Boonah	2019	\$400,000
29	Sports Park	Moffatt Memorial Park - Playground	Aratula	2019	\$100,000
NP3	Premier Park	VATV Brisbane street Beaudesert	Beaudesert	2020	\$1,800,000
NC3	Corridor Park	New Corridor Park Waters Creek	Beaudesert	2020	\$437,000
80	Premier Park	Botanic Gardens	Tamborine Mountain	2020	\$32,592
74	Sports Park	Long Road Sports Complex - Playground shade	Tamborine Mountain	2020	\$27,500
NR4	Recreation Park	New recreation park Beaudesert east	Beaudesert	2021	\$506,006
NS2	Sports Park	New sports park Spring Creek	Beaudesert	2021	\$4,110,671
NC6	Corridor Park	New Corridor Park Teviot Brook 2	Boonah	2021	\$296,150
101	Library	Beaudesert Library operational works	Beaudesert	2021	\$909,000
68	Recreation Park	Tamborine Memorial Park	Tamborine	2021	\$20,000
80	Premier Park	Botanic Gardens	Tamborine Mountain	2021	\$32,592
8	Recreation Park	Junior chamber park- playground shade	Beaudesert	2021	\$27,500
7	Premier Park	Jubilee Park	Beaudesert	2022	\$38,000
79	Recreation Park	Staffsmith Park	Tamborine Mountain	2022	\$180,000
80	Premier Park	Botanic Gardens	Tamborine Mountain	2022	\$32,592
16	Sports Park	Selwyn park- playground shade	Beaudesert	2022	\$27,500
27	Recreation Park	Rathdowney Memorial Grounds - playground	Rathdowney	2022	\$250,000
7	Premier Park	Jubilee Park	Beaudesert	2023	\$16,000
78	Recreation Park	Rosser Park	Tamborine Mountain	2023	\$180,000
80	Premier Park	Botanic Gardens	Tamborine Mountain	2023	\$32,592
3	Recreation Park	Cedar drive park- playground shade	Beaudesert	2023	\$27,500
45	Recreation Park	Memorial park - Playground	Harrisville	2023	\$250,000
49	Recreation Park	Kalbar Civic Centre	Kalbar	2024	\$180,000
80	Premier Park	Botanic Gardens	Tamborine Mountain	2024	\$32,592
7	Premier Park	Jubilee Park - playground shade	Beaudesert	2024	\$27,500
51	Recreation Park	Bowman Park - Playground	Mount Alford	2024	\$250,000
NR8	Recreation Park	new recreation park Prelate	Gleneagle	2025	\$150,170
80	Premier Park	Botanic Gardens	Tamborine Mountain	2025	\$32,592
49	Recreation Park	Kalbar Civic Centre - Playground shade	Kalbar	2025	\$27,500
8	Recreation Park	Junior Chamber Park - Playground	Beaudesert	2025	\$250,000
NC1	Corridor Park	New Corridor Park East Beaudesert	Beaudesert	2026	\$1,054,100
NC7	Corridor Park	New Corridor Park Teviot Brook 3	Dugandan	2026	\$422,480

NS4	Sports Park	New sports park Prelate	Gleneagle	2026	\$3,748,023
NR7	Recreation Park	New recreation park Fields	Veresdale	2026	\$505,310
NS1	Sports Park	Embellishment and development of new sports park Canungra	Canungra	2027	\$3,250,617
NR5	Recreation Park	New recreation park Oaklands	Beaudesert	2028	\$323,946
NR1	Recreation Park	New recreation park Boonah	Boonah	2028	\$581,376
NC8	Corridor Park	New Corridor Park Purga Creek	Peak Crossing	2028	\$148,450
NC4	Corridor Park	New corridor park Spring Creek 2	Beaudesert	2028	\$250,519
NR3	Recreation Park	New Recreation park Beaudesert south	Beaudesert	2028	\$273,320
NS3	Sports Park	new sports park spring creek 2	Beaudesert	2028	\$3,066,980
NS5	Sports Park	New sports park Fields	Veresdale	2029	\$3,139,276
61	Sports Park	Moriarty Park	Canungra	2029	\$30,000
NR6	Recreation Park	New recreation park Beaudesert north	Beaudesert	2030	\$1,025,805
4	Civic Space	Central Place	Beaudesert	2030	\$20,000
33	Sports Park	Coronation Park	Boonah	2030	\$35,000
77	Sports Park	North Tamborine Sports Oval	Tamborine Mountain	2030	\$80,000
NC5	Corridor Park	New Corridor Park Teviot Brook	Boonah	2031	\$838,265
NR2	Recreation Park	New recreation park Kooralbyn	Kooralbyn	2031	\$356,651
16	Sports Park	Selwyn Park	Beaudesert	2031	\$549,000
58	Sports Park	Graceleigh Park	Beechmont	2031	\$24,000
62	Sports Park	Moriarty Park	Canungra	2031	\$350,000
21	Sports Park	Everdell Park	Gleneagle	2031	\$60,000
TOTAL					\$36,703,569

Note—7. Table 15 Column 4 The establishment cost, which is land valuation and baseline valuation for an asset, is expressed in current cost terms as at the base date.

AP2.3 Local government infrastructure plan maps

1. Local Government Infrastructure Plan Map PIA Key & PIA 1 to 5 Priority infrastructure area and projection areas map
2. Local Government Infrastructure Plan Map 1 to 10 Developable area map
3. Local Government Infrastructure Plan Map PFTI S-1 to S-4 Plan for trunk stormwater infrastructure
4. Local Government Infrastructure Plan Map PFTI T-1 to T-7 Plan for trunk transport infrastructure
5. Local Government Infrastructure Plan Map PFTI P-1 to P-8 Plan for trunk parks and land for community facilities infrastructure

Part 5 Tables of Assessment

5.1 Preliminary

The tables in this part identify the category of development, the category of assessment (where assessable development) and assessment benchmarks for development in the planning scheme area.

5.2 Reading the Tables

The tables identify the following:

1. the categories of development that is accepted or assessable and the categories of assessment for assessable development, being code or impact assessment;
2. the categories of development and categories for assessment (where assessable development) in:
 - a. a zone and, where used, a precinct of a zone;
 - b. a local plan where used and, where used, a precinct of a local plan;
 - c. an overlay where used;
3. the assessment benchmarks for development, including:
 - a. whether a zone code or specific provisions in the zone code apply (shown in the 'assessment benchmarks' column);
 - b. if there is a local plan, whether a local plan code or specific provisions in the local plan code apply (shown in the 'assessment benchmarks' column);
 - c. if there is an overlay:
 - i. whether an overlay code applies (shown in **Table 5.10.1—Assessment Benchmarks for Overlays**);
 - ii. whether the assessment benchmarks as shown on the overlay map (noted in the 'assessment benchmarks' column) applies;
 - d. any other applicable code(s) (shown in the 'assessment benchmarks' column);
4. any variation to the category of development or category of assessment (shown as an 'if' in the 'categories of development and assessment' column) that applies to the development.

Note - Development will only be taken to be prohibited development under the planning scheme if it is identified in Schedule 10 of the Regulation.

Editor's note - Examples of a matters that can vary the category of assessment are gross floor area, height, numbers of people or precinct provisions.

5.3 Categories of Development and Assessment

5.3.1 Process for determining the categories of development and assessment

The process for determining a category of development and category of assessment (where assessable development) is:

1. for a material change of use, establish the use by reference to the use definitions in **Schedule 1**;
2. for all development, identify the following:
 - a. the zone or zone precinct that applies to the premises, by reference to the zone map in **Schedule 2**
 - b. if an overlay applies to the premises, by reference to the overlay map in **Schedule 2**;
3. determine if the development has a prescribed category of development under the Regulation;
4. if the development does not have a prescribed category of development under the Regulation, determine the initial category of development and category of assessment (where assessable development) by reference to the tables in:
 - section 5.5 **Categories of Development and Assessment—Material Change of Use**
 - section 5.6 **Categories of Development and Assessment—Reconfiguring a Lot**
 - section 5.7 **Categories of Development and Assessment—Building Work**
 - section 5.8 **Categories of Development and Assessment—Operational Work**
5. a precinct of a zone may change the categories of development or assessment and this will be shown in the 'categories of development and assessment' column of the tables in **5.5, 5.6, 5.7 and 5.8**;
6. if an overlay applies refer to section **5.10 Categories of Development and Assessment —Overlays** to determine if the overlay further changes the category of assessment.

5.3.2 Determining the categories of development and assessment

1. A material change of use is impact assessable:
 - a. unless the table of assessment states otherwise;
 - b. if a use is not listed or defined;
 - c. unless otherwise prescribed in the Act or the Regulation.
2. Reconfiguring a lot is assessable development requiring code assessment unless the tables of assessment state otherwise or unless otherwise prescribed in the Act or the Regulation.
3. Building work and operational work are accepted development, unless the tables of assessment state otherwise or unless otherwise prescribed in the Act or the Regulation.
4. Where an aspect of development is proposed on premises included in more than one zone or overlay, the category of development and category of assessment (where assessable development) for that aspect is the highest category under each of the applicable zones or overlays.
5. Where development is proposed on premises partly affected by an overlay, the category of development and category of assessment (where assessable development) for the overlay only relates to the part of the premises affected by the overlay.
6. For the purposes of Schedule 6, Part 2, 2(2) of the Regulation, an overlay does not apply to the premises if the development meets the acceptable outcomes for accepted development of the relevant overlay code.
7. If development is identified as having a different category of development or category of assessment (where assessable development) under a zone than under an overlay, the highest category of development and assessment applies as follows:
 - a. accepted development subject to requirements prevails over accepted development;
 - b. code assessment prevails over accepted development subject to requirements and accepted development;
 - c. impact assessment prevails over code assessment, accepted development where subject to requirements and accepted development.

Note — Where a development is comprised of a number of defined uses the highest category of development and assessment applies.

8. Provisions of **Part 10 Other Plans** may override any of the above.

9. Categories of development prescribed under the Regulation, override all other categories of development or assessment for that development under the planning scheme to the extent of any inconsistency.
10. Despite all of the above, if development is prescribed as prohibited development under the Regulation, a development application cannot be made.

Note - Development is to be taken to be prohibited development under the planning scheme only if it is prescribed under the Regulation.

5.3.3 Determining the assessment benchmarks

1. The following rules apply in determining assessment benchmarks for each level of assessment.
2. Accepted development:
 - a. may be required to comply with assessment benchmarks;
 - b. where required, is to be assessed against all of the acceptable outcomes of the assessment benchmarks identified in the assessment benchmarks column;
 - c. that complies with the identified acceptable outcomes complies with the applicable assessment benchmarks;
 - d. that does not comply with one or more identified acceptable outcomes of the applicable assessment benchmark becomes code assessable development unless otherwise specified.
3. Code assessable development:
 - a. is to be assessed against all the assessment benchmarks identified in the assessment benchmarks column
 - b. that occurs as a result of development becoming code assessable pursuant to sub-section 5.3.3.2.d, must:
 - i. be assessed against the assessment benchmarks for the development application, limited to the subject matter of the required acceptable outcomes that were not complied with or were not capable of being complied with under sub-section 5.3.3.2.d. (that is, the performance outcome(s) corresponding to the relevant acceptable outcome(s))
 - ii. comply with all required acceptable outcomes identified in sub-section 5.3.3.2.b. other than those mentioned in sub-section 5.3.3.2.d.
 - c. that complies with:
 - i. the purpose and overall outcomes of an assessment benchmark (e.g. code) complies with the assessment benchmark
 - ii. the performance or acceptable outcomes complies with the purpose and overall outcomes of the assessment benchmark (e.g. code).
4. Impact assessable development is to be assessed against:
 - a. the identified assessment benchmarks in the assessment benchmarks column (where relevant)
 - b. the planning scheme, to the extent relevant.

Note - The first row of each table of assessment is to be checked to confirm if there are assessment benchmarks that commonly apply to general scenarios in the zone, local plan or overlay.

5.4 Prescribed Categories of Development and Assessment

The regulated categories of development and assessment prescribed by the Regulation have not been included in the planning scheme. Please refer to the relevant Schedules of the Regulation for this information.

5.5 Categories of Development and Assessment - Material Change of Use

The following tables identify the categories of development and assessment for development in a zone for making a material change of use.

5.5.1 Community Facilities Zone

Table 5.5.1.1 - Community Facilities Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Air services	Code assessment	
	If for a helipad for Emergency services	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code
Animal husbandry	Accepted	
		Not applicable
Caretaker's accommodation	Accepted subject to requirements	
	If not exceeding 100m ² GFA	Caretaker's Accommodation Code
	Code assessment	
	If not Accepted subject to requirements	Caretaker's Accommodation Code
Child care centre	Code assessment	
	If obtaining access from a higher order road	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Club	Accepted subject to requirements	
	If; 1. located in an existing commercial building not exceeding 200m ² GFA; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community care	Accepted subject to requirements	

centre	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Community use	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Cropping	Accepted	
		Not applicable
Educational establishment	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving accommodation.	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Emergency services	Code assessment	
		Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code

Environment facility	Code assessment	
		Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Health care service	Code assessment	
	If not exceeding 200m ² GFA	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Indoor sport and recreation	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work);and 3. obtaining access from a sealed road.	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	
	Code assessment	
	If not accepted	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code
	Code assessment	
	If not Accepted subject to requirements	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code

		Parking and Access Code
Outdoor sales	Code assessment	
	If involving a livestock saleyard	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Outdoor sport and recreation	Code assessment	
	If not involving a rifle or shooting range	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Parking station	Code assessment	
		Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Permanent plantation	Accepted	
		Not applicable
Place of worship	Code assessment	
	If involving an extension to an existing Place of worship	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Renewable energy facility	Code assessment	
		Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code
Roadside Stall	Accepted subject to requirements	
	If not exceeding 9m ² in total sales area	Roadside Stall Code
	Code assessment	
	If not Accepted subject to requirements	Roadside Stall Code

Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Code assessment	
	If not Accepted	Community Facilities Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the "Categories of development and assessment" column.		
Any other undefined use		

Editor's note -

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.5.2 Conservation Zone

Table 5.5.2.1 - Conservation Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal husbandry	Code Assessment	
		Conservation Zone Code Animal Keeping Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code
Caretaker's accommodation	Accepted subject to requirements	
	If not exceeding 100m ² GFA	Caretaker's Accommodation Code
	Code assessment	
	If not Accepted subject to requirements	Caretaker's Accommodation Code
Environment facility	Code assessment	
		Conservation Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Tourism Uses Code
Nature-based tourism	Code assessment	
	Where involving an extension to an existing lawful Nature-based tourism use.	Conservation Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Park	Accepted	
		Not applicable
Permanent plantation	Code assessment	
		Conservation Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Telecommunications	Code assessment	

facility		Conservation Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's note;

- 1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and*
- 2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.*

5.5.3 District Centre Zone

Table 5.5.3.1 - District Centre Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Adult store	Code assessment	
		District Centre Zone Code Adult Store Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Agricultural supplies store	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Bar	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Car wash	Code assessment	
	If not located on Tamborine Mountain.	District Centre Zone Code

		Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Child care centre	Code assessment	
		District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Club	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community care centre	Accepted	
	If not involving building work (other than minor building work)	Not applicable.
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Community Use	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	

	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Dwelling unit	Accepted subject to requirements	
	If located above the ground storey or behind a Commercial activity	Parking and Access Code
Educational establishment	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving accommodation.	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Emergency services	Code assessment	
		District Centre Zone Code Earthworks, Construction and Water Quality Code Infrastructure Design Code Parking and Access Code General Development Provisions Code
Food and drink outlet	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving a drive through facility in the North Tamborine District Centre.	Not applicable
	Code assessment	
	If; 1. not Accepted; and 2. not involving a drive through facility in the North Tamborine District Centre.	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Function facility	Code assessment	

		District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Funeral parlour	Code assessment	
		District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Garden centre	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Hardware and trade supplies	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted subject to requirements	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Health care service	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	

	If not Accepted subject to requirements	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Hotel	Code assessment	
		District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Indoor sport and recreation	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Low impact industry	Code assessment	
	If; 1. located in the North Tamborine District Centre; or 2. located in the Boonah District Centre excluding lots fronting High Street.	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code
	Code assessment	
	If not Accepted subject to requirements	District Centre Zone Code

		Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Market Code Parking and Access Code
Nightclub entertainment facility	Code assessment	
	If located in the Boonah District Centre	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Office	Accepted	
	If, 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Outdoor Sales	Code assessment	
	If located in the Boonah District Centre excluding lots fronting High Street.	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Parking station	Code assessment	
		District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Place of worship	Code assessment	
		District Centre Zone Code

		Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service industry	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service station	Code assessment	
		Service Station Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shop	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shopping centre	Code assessment	
		District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code

Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Showroom	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Telecommunications Facility Code Earthworks, Construction and Water Quality Code Parking and Access Code General Development Provisions Code
Theatre	Code assessment	
		District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Tourist attraction	Code assessment	
		District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code

Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Veterinary service	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	District Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's note;

1. *The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and*
2. *Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.*

5.5.4 Emerging Community Zone

Table 5.5.4.1 - Emerging Community Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal Husbandry	Accepted	
		Not applicable
Cropping	Accepted	
		Not applicable
Caretaker's Accommodation	Accepted subject to requirements	
		Caretaker's Accommodation Code
Dual Occupancy	Accepted	
	If obtaining access from a constructed road	Dual Occupancy Code Emerging Community Zone Code
	Code assessment	
	If not Accepted subject to requirements	Dual Occupancy Code Emerging Community Zone Code
Dwelling house	Accepted subject to requirements	
	If obtaining access from a constructed road	Dwelling House Code
	Code assessment	
	If not Accepted subject to requirements	Dwelling House Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Park	Accepted	
		Not applicable
Roadside stall	Accepted subject to requirements	
	If not exceeding 9m ² in total sales area	Roadside Stall Code
	Code assessment	
	If not Accepted subject to requirements	Roadside Stall Code
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable

Telecommunications facility	Code assessment	
		Telecommunications Facility Code Earthworks, Construction and Water Quality Code Parking and Access Code General Development Provisions Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's note;

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.5.5 Industry Zone

Table 5.5.5.1 - Industry Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Agricultural supplies store	Code assessment	
		Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Bulk landscape supplies	Code assessment	
		Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Caretaker's accommodation	Accepted subject to requirements	
	If not exceeding 100m ² GFA	Caretaker's Accommodation Code
	Code assessment	
	If not Accepted subject to requirements	Caretaker's Accommodation Code
Car wash	Code assessment	
		Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Crematorium	Code assessment	
		Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Emergency	Code assessment	

services		Industry Zone Code Earthworks, Construction and Water Quality Code Infrastructure Design Code Parking and Access Code General Development Provisions Code
Food and drink outlet	Code assessment	
	If; 1. not exceeding 200m ² GFA; and 2. not involving a drive through facility.	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Funeral parlour	Code assessment	
		Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Hardware and trade supplies	Code assessment	
		Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Indoor sport and recreation	Code assessment	
		Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Low impact industry	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
If not Accepted subject to requirements	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code	

Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
	Code assessment	
	If not Accepted	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Medium Impact industry	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Outdoor Sales	Code assessment	
	If not involving motor vehicle sales	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not Applicable
Parking station	Code assessment	
		Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Research and technology industry	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code

		Parking and Access Code
Sales office	Code assessment	
		Industry Zone Code Sales Office Code Earthworks, Construction and Water Quality Code Parking and Access Code General Development Provisions Code
Service industry	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service station	Code assessment	
		Service Station Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Substation	Accepted	
		Not Applicable
Telecommunications facility	Code assessment	
		Telecommunications Facility Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Transport depot	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable

	Impact assessment	
	If not Accepted	The Planning Scheme
Warehouse	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Winery	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Industry Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Impact assessment		
	Any other use not listed in the table	The Planning Scheme
	Any other use in this table and not meeting the description listed in the categories of development and assessment column.	
	Any other undefined use	

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.5.6 Limited Development Zone

Editor's Note - See Table 5.5.6.2 for Flood Land Precinct and Table 5.5.6.3 for Historical Subdivision Precinct, for categories of development and assessment.

Table 5.5.6.1 - Limited Development Zone - (Where no precinct applies)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal Husbandry	Accepted	
		Not applicable
Cropping	Accepted	
		Not applicable
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Park	Accepted	
		Not applicable
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed in the level of assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

Table 5.5.6.2 - Limited Development Zone - Flood Land Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal Husbandry	Accepted	
		Not applicable
Cropping	Accepted	

		Not applicable
Park	Accepted	
		Not applicable
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed in the level of assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

Table 5.5.6.3 - Limited Development Zone - Historical Subdivision Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal Husbandry	Accepted	
		Not applicable
Cropping	Accepted	
		Not applicable
Dwelling house	Accepted subject to requirements	
	If; 1. obtaining access from a constructed road and the lot is a minimum of 2ha; or 2. where located in Harrisville and obtaining access from a constructed road and the lot is a minimum of 4000m ² .	Dwelling House Code
	Code assessment	
	If; 1. not obtaining access from a constructed road and the lot is a minimum of 2ha; or 2. where located in Harrisville and not obtaining access from a constructed road and the lot is a minimum of 4000m ² .	Limited Development Zone Code Dwelling House Code
Home based business	Accepted subject to requirements	
	If not involving Industrial Activities other	Home Based Business Code

	than minor industrial activities	
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Park	Accepted	
		Not applicable
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
Roadside stall	Accepted subject to requirements	
	If not exceeding 9m ² in total sales area	Roadside Stall Code
	Code assessment	
	If not Accepted subject to requirements	Roadside Stall Code
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the level of assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.5.7 Local Centre Zone

Table 5.5.7.1 - Local Centre Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Adult store	Code assessment	
		Adult Store Code Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Agricultural supplies store	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Bar	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Car wash	Code assessment	
	Local Centre Zone Code	

		Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Child care centre	Code assessment	
		Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Club	Code assessment	
		Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community care centre	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community use	Accepted	
	If not involving building work (other than minor building work)	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not Applicable

Dwelling unit	Accepted subject to requirements	
	If located above the ground storey or behind a Commercial activity	Parking and Access Code
Educational establishment	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving accommodation.	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Emergency services	Code assessment	
		Local Centre Zone Code Earthworks, Construction and Water Quality Code Infrastructure Design Code Parking and Access Code General Development Provisions Code
Food and drink outlet	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Function facility	Code assessment	
		Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Funeral parlour	Code assessment	

		Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Garden centre	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Hardware and trade supplies	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Health care service	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Home based	Accepted subject to requirements	

business	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Hotel	Code assessment	
		Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Indoor sport and recreation	Code assessment	
		Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code
	Code assessment	
	If not Accepted subject to requirements	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code Parking and Access Code
Office	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	

		Not Applicable
Parking station	Code assessment	
		Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Place of worship	Code assessment	
		Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service industry	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service station	Code assessment	
		Local Centre Zone Code Service Station Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shop	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water

		Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shopping centre	Code assessment	
		Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Showroom	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Telecommunications Facility Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	

	If not Accepted	The Planning Scheme
Veterinary service	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Local Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

- 1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and*
- 2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.*

5.5.8 Low Density Residential Zone

Table 5.5.8.1 - Low Density Residential Zone - (Where no precinct applies)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal keeping	Accepted subject to requirements	
	If; 1. a cattery; a. not exceeding 10 cats; and b. not involving the boarding of cats; or 2. an aviary.	Animal Keeping Code
	Code assessment	
	If a cattery; 1. not exceeding 20 cats; and 2. does not involve the boarding of cats.	Animal Keeping Code General Development Provisions Code
Child care centre	Code Assessment	
	If obtaining access from a higher order road	Low Density Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Dual occupancy	Accepted subject to requirements	
	If: 1. on a lot 1000m ² or greater; or 2. on a corner lot 800m ² or greater with legal dual road access	Low Density Residential Zone Code Dual Occupancy Code
	Code assessment	
	If on a lot 700m ² or greater	Low Density Residential Zone Code Dual Occupancy Code
	Impact assessment	
	If not Accepted subject to requirements or Code assessment	The Planning Scheme
Dwelling house	Accepted subject to requirements	
		Dwelling House Code
Emergency	Code assessment	

services		Low Density Residential Zone Code Earthworks, Construction and Water Quality Code Infrastructure Design Code Parking and Access Code General Development Provisions Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Multiple Dwelling	Code assessment	
	If involving 3 dwelling units	Low Density Residential Zone Code Medium Density Residential Code Earthworks, Construction and Water Quality Code Infrastructure Design Code Parking and Access Code Landscaping Code General Development Provisions Code
Park	Accepted	
		Not applicable
Residential Care Facility	Code assessment	
	If involving 10 bedrooms or less	Low Density Residential Zone Code Medium Density Residential Uses Code Earthworks, Construction and Water Quality Code Parking and Access Code Infrastructure Design Code Landscaping Code General Development Provisions Code
Retirement facility	Code assessment	
	If involving 10 bedrooms or less	Low Density Residential Zone Code Medium Density Residential Uses Code Earthworks, Construction and Water Quality Code Parking and Access Code Infrastructure Design Code Landscaping Code General Development Provisions Code
Sales office	Code assessment	
		Low Density Residential Zone Code Sales Office Code Earthworks, Construction and Water Quality Code Parking and Access Code General Development Provisions Code

Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
Substation	Code assessment	
		Low Density Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Telecommunications facility	Code assessment	
		Telecommunications Facility Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's note;

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

Table 5.5.8.2 - Low Density Residential Zone - Mountain Residential Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal keeping	Accepted subject to requirements	
	If involving; <ol style="list-style-type: none"> 1. a cattery: <ol style="list-style-type: none"> a. not exceeding 20 cats; and b. not involving the boarding of cats; or 2. an aviary not exceeding 200m² GFA; or	Animal Keeping Code

	3. a stable; or 4. outdoor horse training tracks or arenas.	
	Code assessment	
	If; 1. not Accepted subject to requirements; and 2. not involving a kennel.	Animal Keeping Code General Development Provisions Code
Community residence	Accepted	
		Not applicable
Dwelling house	Accepted subject to requirements	
		Dwelling House Code
Emergency services	Code assessment	
		Low Density Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Park	Accepted	
		Not applicable
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
Substation	Code assessment	
		Low Density Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable

Impact assessment	
If not Accepted	The Planning Scheme
Impact assessment	
Any other use not listed in the table	The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.	
Any other undefined use	

Editor's note;

3. *The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and*
4. *Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.*

5.5.9 Low-Medium Density Residential Zone

Table 5.5.9.1 - Low-Medium Density Residential Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal keeping	Accepted subject to requirements	
	If; 1. a cattery; a. not exceeding 10 cats; and b. not involving the boarding of cats; or 2. an aviary.	Animal Keeping Code
	Code assessment	
	If a cattery; 1. not exceeding 20 cats; and 2. not involving the boarding of cats.	Animal Keeping Code General Development Provisions Code
Childcare centre	Code assessment	
	If obtaining access from a higher order road	Low-Medium Density Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Dual occupancy	Accepted subject to requirements	
	If on a lot 900m ² or greater.	Low-Medium Density Residential Zone Code Dual Occupancy Code
	Code assessment	
	If on a lot 700m ² or greater	Low-Medium Density Residential Zone Code Dual Occupancy Code
Dwelling house	Accepted subject to requirements	
		Dwelling House Code
Emergency services	Code assessment	
		Low-Medium Density Residential Zone Code Earthworks, Construction and Water

		Quality Code Infrastructure Design Code Parking and Access Code General Development Provisions Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Multiple dwelling	Code assessment	
	If not exceeding 6 dwellings	Low-Medium Density Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Higher Density Residential Uses Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Residential Care Facility	Code assessment	
	If involving 10 bedrooms or less	Low-Medium Density Residential Zone Code Higher Density Residential Uses Code Earthworks, Construction and Water Quality Code Infrastructure Design Code Landscaping Code Parking and Access Code General Development Provisions Code
Retirement Facility	Code assessment	
	If involving 10 bedrooms or less	Low-Medium Density Residential Zone Code Higher Density Residential Uses Code Earthworks, Construction and Water Quality Code Infrastructure Design Code Landscaping Code Parking and Access Code General Development Provisions Code
Sales office	Code assessment	
		Low-Medium Density Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code

		Sales Office Code
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
Substation	Code assessment	
		Low Medium Density Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Telecommunications facility	Code assessment	
		Telecommunications Facility Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.5.10 Major Centre Zone

Table 5.5.10.1 - Major Centre Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted subject to requirements	
	If a local utility	Not applicable
Adult store	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Adult Store Code
	Code assessment	
	If not Accepted subject to requirements	Adult Store Code Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Agricultural supplies store	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Bar	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code

		General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Car wash	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Child care centre	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Club	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community care centre	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community	Accepted	

residence		Not applicable
Community use	Accepted	
	If: 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Dwelling unit	Accepted subject to requirements	
	If located above the ground storey of a Commercial activity	Parking and Access Code
Educational establishment	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving accommodation.	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Emergency services	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Food and drink outlet	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	

	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Function facility	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Funeral parlour	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Garden centre	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Hardware and trade supplies	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code

		Parking and Access Code
Health care service	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Hotel	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Indoor sport and recreation	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code
	Code assessment	

	If not Accepted subject to requirements	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Multiple dwelling	Code assessment	
	If located above the ground storey of a Commercial activity	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Medium Density Residential Uses Code Infrastructure Design Code Landscaping Code Parking and Access Code
Nightclub entertainment facility	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Office	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Parking station	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Place of worship	Code assessment	
		Major Centre Zone Code

		Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Rooming accommodation	Code assessment	
	If located above the ground storey of a Commercial activity	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Medium Density Residential Uses Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service industry	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service station	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code Service Station Code
Shop	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code

		Landscaping Code Parking and Access Code
Shopping centre	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Short-term accommodation	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Showroom	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Telecommunications Facility Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Theatre	Code assessment	
		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Tourist attraction	Code assessment	

		Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Veterinary service	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Impact assessment		
	Any other use not listed in the table	The Planning Scheme
	Any other use in this table and not meeting the description listed in the categories of development and assessment column.	
	Any other undefined use	

Editor's notes;

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.5.11 Major Tourism Zone

Table 5.5.11.1 - Major Tourism Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Air Service	Code assessment	
	If not involving an airstrip or helipad	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Animal husbandry	Accepted	
		Not applicable
Animal keeping	Accepted subject to requirements	
	If involving; <ol style="list-style-type: none"> 1. a cattery; <ol style="list-style-type: none"> a. not exceeding 10 cats; and b. not involving the boarding of cats; or 2. stables; or 3. outdoor horse training tracks and arenas; or 4. an aviary. 	Animal Keeping Code
	Code assessment	
	If a cattery; <ol style="list-style-type: none"> 1. not exceeding 20 cats; and 2. not involving the boarding of cats. 	Animal Keeping Code
Bar	Accepted	
	If; <ol style="list-style-type: none"> 1. located in an existing commercial building; and 2. not involving building work (other than minor building work). 	Not Applicable
	Code assessment	
	If not Accepted	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code

Caretaker's accommodation	Accepted subject to requirements	
	If not exceeding 100m ² GFA	Caretaker's Accommodation Code
	Code assessment	
	If not Accepted subject to requirements	Caretaker's Accommodation Code
Club	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community use	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Cropping	Accepted	
		Not applicable
Educational establishment	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving accommodation.	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code

		Landscaping Code Parking and Access Code
Emergency services	Code assessment	
		Major Tourism Zone Code Earthworks, Construction and Water Quality Code Infrastructure Design Code Parking and Access Code General Development Provisions Code
Environment facility	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Major Tourism Zone Code Tourism Uses Code Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Major Tourism Zone Code Tourism Uses Code Earthworks, Construction and Water Quality Code Parking and Access Code General Development Provisions Code
Food and drink outlet	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Function facility	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not exceeding 500m ² GFA.	Not Applicable
	Code assessment	
	If not Accepted	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code

Hotel	Code assessment	
		Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Indoor sport and recreation	Code assessment	
		Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code
	Code assessment	
	If not Accepted subject to requirements	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code Parking and Access Code
Nature-based tourism	Accepted subject to requirements	
	If; 1. not exceeding a total of 2 tourist accommodation sites for any use; or 2. a tourist activity not involving building work (other than minor building work).	Major Tourism Zone Code Parking and Access Code Tourism Uses Code
	Code assessment	
	If not Accepted subject to requirements	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Nightclub entertainment facility	Code assessment	
		Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code

		Infrastructure Design Code Landscaping Code Parking and Access Code
Outdoor sport and recreation	Code assessment	
	If not involving a rifle or shooting range	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Shop	Code Assessment	
	Where not involving convenience retail, department store, discount department store, full-line supermarket or supermarket	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shopping Centre	Code Assessment	
	Where not involving convenience retail, a department store, discount department store, full-line supermarket or supermarket	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Short-term accommodation	Code assessment	
		Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Telecommunications Facility Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Theatre	Code assessment	
		Major Tourism Zone Code Earthworks, Construction and Water Quality Code

		General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Tourist attraction	Code assessment	
		Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code Tourism Uses Code
Tourist park	Code assessment	
	If not exceeding 25 tourist accommodation sites	Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code Tourist Park Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Winery	Code assessment	
		Major Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's note;

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.5.12 Minor Tourism Zone

Table 5.5.12.1 - Minor Tourism Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal Husbandry	Accepted	
		Not applicable
Animal keeping	Accepted subject to requirements	
	If; 1. located on a site with an existing Dwelling house; and 2. a cattery; a. not exceeding 10 cats; and b. does not involve the boarding of cats; or 3. an aviary.	Animal Keeping Code
	Code assessment	
	If; 1. located on a site with an existing dwelling house; and 2. a cattery; a. not exceeding 20 cats; and b. does not involve the boarding of cats.	Animal Keeping Code General Development Provisions
Bar	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. where not located on Main Western Road	Parking and Access Code
	Code assessment	
	If; 1. not Accepted subject to requirements; and 2. not located on Main Western Road.	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community use	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and	Parking and Access Code

	2. not involving building work (other than minor building work).	
	Code assessment	
	If not Accepted subject to requirements	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Cropping	Accepted	
		Not applicable
Dwelling house	Accepted subject to requirements	
		Dwelling House Code
Dwelling unit	Accepted subject to requirements	
		Minor Tourism Zone Code Parking and Access Code
Environment facility	Code assessment	
	If not exceeding 500m ² TUA	Minor Tourism Zone Code Tourism Uses Code Earthworks, Construction and Water Quality Code Parking and Access Code General Development Provisions Code
Food and drink outlet	Accepted	
	If; 1. not involving a drive through facility; and 2. located in an existing commercial building; and 3. not involving building work (other than minor building work).	
	Code assessment	
	If; 1. not Accepted; and 2. not involving a drive through facility	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Function facility	Code assessment	
	Where; 1. located in a permanent commercial building not exceeding 500m ² GFA; and 2. not located on Main Western Road.	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code

Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code
	Code assessment	
	If not Accepted subject to requirements	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Market Code Parking and Access Code
Nature-based tourism	Accepted subject to requirements	
	If not exceeding a total of 2 tourist accommodation sites.	Minor Tourism Zone Code General Development Provisions Code Parking and Access Code Tourism Uses Code
	Code assessment	
	If; 1. not Accepted subject to requirements; and 2. not exceeding a total of 6 tourist accommodation sites; or 3. a tourist activity not exceeding 500m ² TUA.	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Park	Accepted	
		Not applicable
Parking station	Code assessment	
		Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shop	Code assessment	
	If; 1. not exceeding 500m ² GFA; and 2. involving the sale of speciality goods to tourists; and 3. not involving convenience retail or a	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code

	department store, discount department store, full-line supermarket or supermarket.	Landscaping Code Parking and Access Code
Shopping centre	Code assessment	
	If; 1. not exceeding 500m ² GFA; and 2. involving the sale of speciality goods to tourists; and 3. not involving convenience retail or a department store, discount department store, full-line supermarket or supermarket.	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
	Code assessment	
	If not Accepted and; 1. not exceeding 6 tourist accommodation sites; or 2. tourist accommodation not exceeding 750m ² GFA.	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code Tourism Uses Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Tourist attraction	Code assessment	
	If not exceeding 500m ² TUA	Minor Tourism Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code Tourism Uses Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable.
	Impact assessment	
	If not Accepted	The Planning Scheme
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed		

in the categories of development and assessment column.	
Any other undefined use	

Editor's notes;

- 1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and*
- 2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.*

5.5.13 Mixed Use Zone

Editor's Note - See Table 5.5.12.2 for Commercial Industrial Precinct categories of development and assessment

Table 5.5.13.1 - Mixed Use Zone - (Where no precinct applies)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Adult store	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Adult Store Code
	Code assessment	
	If not Accepted subject to requirements	Adult Store Code Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Agricultural supplies store	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Bar	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code

Car wash	Code assessment	
	Where not located on Tamborine Mountain	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Child care centre	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Club	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Standard Development Provisions Code Parking and Access Code
Community care centre	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Standard Development Provisions Code Parking and Access Code
Community use	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code

		Standard Development Provisions Code Parking and Access Code
Dwelling unit	Accepted subject to requirements	
	If located above the ground storey of a Commercial activity	Parking and Access Code
Educational establishment	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving accommodation.	Not applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Emergency services	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code
Food and drink outlet	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving a drive through facility on Tamborine Mountain; and 3. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If; 1. not Accepted; and 2. not involving a drive through facility on Tamborine Mountain.	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Function facility	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code

		Landscaping Code Parking and Access Code
Funeral parlour	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Garden centre	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Hardware and trade supplies	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Health care service	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code Assessable	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code

		Infrastructure Design Code Landscaping Code Parking and Access Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Indoor sport and recreation	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a Calendar month	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code Parking and Access Code
Multiple Dwelling	Code assessment	
	Where not exceeding 6 dwellings	Mixed Use Zone Code Medium Density Residential Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Office	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code

		Infrastructure Design Code Landscaping Code Parking and Access Code
Outdoor Sales	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Parking station	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Residential Care Facility	Code assessment	
	Where involving 10 bedrooms or less	Mixed Use Zone Code Medium Density Residential Uses Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Infrastructure Design Code
Retirement facility	Code assessment	
	Where involving 10 bedrooms or less	Mixed Use Zone Code Medium Density Residential Uses Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Infrastructure Design Code
Service industry	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code

		Infrastructure Design Code Landscaping Code Parking and Access Code
Service station	Code assessment	
	Where not located on Tamborine Mountain	Service Station Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shop	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving convenience retail or a department store, discount department store, full-line supermarket or supermarket.	Not applicable
	Code assessment	
	If; 1. not Accepted; and 2. not involving convenience retail or a department store, discount department store, full-line supermarket or supermarket.	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shopping centre	Code assessment	
	If not involving convenience retail or a department store, discount department store, full-line supermarket or supermarket.	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Short term accommodation	Accepted	
	If involving a holiday home	Not applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Showroom	Accepted	
	If;	Not Applicable

	1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	
Code assessment		
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
Impact assessment		
	If not Accepted	The Planning Scheme
Veterinary service	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not Applicable
Code assessment		
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the

requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

Table 5.5.13.2 - Mixed Use Zone - Commercial Industrial Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Adult store	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Adult Store Code Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Adult Store Code Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Agricultural supplies store	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Air service	Code assessment	
	If located on Lot 142 RP182609	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Bar	Accepted subject to requirements	
	If;	Parking and Access Code

	1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Bulk landscape supplies	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Caretaker's accommodation	Accepted subject to requirements	
	If not exceeding 100m ² GFA	Caretaker's Accommodation Code
	Code assessment	
	If not Accepted subject to requirements	Caretaker's Accommodation Code
Car wash	Code assessment	
	Where not located on Tamborine Mountain	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Club	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community care centre	Code assessment	
		Mixed Use Zone Code

		Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community use	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Educational establishment	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving accommodation.	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Emergency services	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code
Food and drink outlet	Accepted	
	If; 1. located in an existing commercial building; 2. not involving a drive through facility on Tamborine Mountain; and 3. not involving building work (other than minor building work).	
	Code assessment	
	If; 1. not Accepted; and 2. not involving a drive through facility on Tamborine Mountain.	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code

		Landscaping Code Parking and Access Code
Function facility	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Funeral parlour	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Garden centre	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Hardware and trade supplies	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Health care service	Accepted subject to requirements	
	If; 1. located in an existing commercial	Parking and Access Code

	building; and 2. not involving building work (other than minor building work).	
Code assessment		
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Indoor sport and recreation	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Low impact industry	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a Calendar month	Market Code
Code assessment		
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code Parking and Access Code
Office	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
Code assessment		

	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Outdoor sales	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Parking station	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Research and technology industry	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service industry	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service station	Code assessment	
	Where not located on Tamborine Mountain	Service Station Code

		Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shop	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work) and 3. not involving convenience retail or a department store, discount department store, full-line supermarket or supermarket.	
	Code assessment	
	If; 1. not Accepted; and 2. not involving convenience retail or a department store, discount department store, full-line supermarket or supermarket.	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shopping centre	Code assessment	
	If not involving convenience retail or a department store, discount department store, full-line supermarket or supermarket	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Showroom	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Substation	Accepted	
		Not applicable
Telecommunications	Code assessment	

facility		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Transport depot	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Veterinary service	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Warehouse	Code assessment	
		Mixed Use Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

- 1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and*
- 2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.*

5.5.14 Neighbourhood Centre Zone

Table 5.5.14.1 - Neighbourhood Centre Zone

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Bar	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Car wash	Code assessment	
	If not located on Tamborine Mountain	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Child care centre	Code assessment	
		Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Club	Code assessment	
		Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community care	Accepted	

centre	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Community use	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Dwelling unit	Accepted subject to requirements	
	If located above the ground storey or behind a Commercial activity	Parking and Access Code
Educational establishment	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving accommodation.	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Emergency	Code assessment	

services		Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code Infrastructure Design Code Parking and Access Code General Development Provisions Code
Food and drink outlet	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving a drive through facility on Tamborine Mountain; and 3. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If; 1. not Accepted; and 2. not involving a drive through facility on Tamborine Mountain.	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Function facility	Code assessment	
		Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Garden centre	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. GFA does not exceed 250m ² .	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements and GFA does not exceed 250m ² .	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Hardware and trade supplies	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than	Parking and Access Code

	minor building work); and 3. GFA does not exceed 250m ² .	
	Code assessment	
	If not Accepted subject to requirements and GFA does not exceed 250m ² .	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Health care service	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Indoor sport and recreation	Code assessment	
		Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code
	Code assessment	
	If not Accepted subject to requirements	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code

		Parking and Access Code
Office	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not Applicable
Parking station	Code assessment	
		Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service industry	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service station	Code assessment	
	Where not located on Tamborine Mountain	Neighbourhood Centre Zone Code Service Station Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code

Shop	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. GFA does not exceed 250m ² .	Not Applicable
	Code assessment	
	If not Accepted and if; 1. involving a supermarket with a GFA not exceeding 1,500m ² ; 2. where other than a supermarket, GFA does not exceed 250m ² .	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shopping centre	Code assessment	
	If; 1. involving a supermarket with a GFA not exceeding 1,500m ² ; 2. any other tenancy where GFA does not exceed 250m ² .	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Telecommunications Facility Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Veterinary services	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Neighbourhood Centre Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code

	Parking and Access Code
Impact assessment	
Any other use not listed in the table	The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.	
Any other undefined use	

Editor's notes

- 1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and*
- 2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.*

5.5.15 Recreation and Open Space Zone

Table 5.5.15.1 - Recreation and Open Space Zone - (Where no precinct applies)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal husbandry	Accepted	
		Not applicable
Caretaker's accommodation	Accepted subject to requirements	
	If not exceeding 100m ² GFA	Caretaker's Accommodation Code
	Code assessment	
	If not Accepted subject to requirements	Caretaker's Accommodation Code
Club	Accepted subject to requirements	
	If; 1. located in an existing building not exceeding 200m ² GFA; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community use	Accepted	
	If not involving building work (other than minor building work)	Not applicable
	Code assessment	
	If not Accepted	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Cropping	Accepted	
		Not applicable
Emergency services	Code assessment	
		Recreation and Open Space Zone Code

		Earthworks, Construction and Water Quality Code Infrastructure Design Code Parking and Access Code General Development Provisions Code
Environment facility	Code assessment	
		Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code Tourism Uses Code
Food and drink outlet	Code assessment	
	If; 1. not exceeding 200m ² GFA; and 2. not involving a drive through facility on Tamborine Mountain.	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Indoor sport and recreation	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
	Code assessment	
	If not Accepted	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code
	Code assessment	
	If not Accepted subject to requirements	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code

		Market Code Parking and Access Code
Outdoor sales	Code assessment	
	If involving a livestock saleyard	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Outdoor sport and recreation	Accepted subject to requirements	
	If; 1. involving sporting fields; or 2. not exceeding 150m ² GFA; and 3. not involving a rifle or shooting range.	Recreation and Open Space Zone Code Parking and Access Code
	Code assessment	
	If: 1. not Accepted subject to requirements; and 2. not involving a rifle or shooting range	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Parking station	Code assessment	
		Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Permanent plantation	Accepted	
		Not applicable
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Tourist park	Code assessment	
	If not exceeding 50 tourist accommodation sites	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code

		Parking and Access Code Tourist Park Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

Table 5.5.15.2 - Recreation and Open Space Zone - Passive Recreation Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal husbandry	Accepted	
		Not applicable
Caretaker's accommodation	Accepted subject to requirements	
	If not exceeding 100m ² GFA	Caretaker's Accommodation Code
	Code assessment	
	If not Accepted subject to requirements	Caretaker's Accommodation Code
Cropping	Accepted	
		Not applicable
Environment facility	Code assessment	
		Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code Tourism Uses Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable

	Code assessment	
	If not Accepted	Recreation and Open Space Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Park	Accepted	
		Not applicable
Permanent plantation	Accepted	
		Not applicable
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.5.16 Rural Residential Zone

Editor's Note - See Table 5.5.16.2 for Rural Residential A Precinct categories of development and assessment

Table 5.5.16.1 - Rural Residential Zone - (Where no precinct applies)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal husbandry	Accepted	
		Not applicable
Animal keeping <i>Editor's Note - Please refer to the Local Laws for additional animal keeping requirements.</i>	Accepted subject to requirements	
	If involving; 1. a cattery: a. not exceeding 20 cats; and b. not involving the boarding of cats; or 2. an aviary not exceeding 200m ² GFA; or 3. a stable; or 4. outdoor horse training tracks or arenas.	Animal Keeping Code
	Code assessment	
	If; 1. not Accepted subject to requirements; and 2. not involving a kennel.	Animal Keeping Code
Community residence	Accepted	
		Not applicable
Cropping	Accepted	
		Not applicable
Dual occupancy	Accepted subject to requirements	
	If; 1. on a lot 8000m ² or greater; and 2. where not located in the Mountain Community.	Rural Residential Zone Code Dual Occupancy Code
	Code assessment	
	If; 1. not Accepted subject to requirements; 2. on a lot 4000m ² or greater; and 3. where not located in the Mountain Community	Rural Residential Zone Code Dual Occupancy Code
Dwelling house	Accepted subject to requirements	

		Dwelling House Code
Emergency services	Code assessment	
		Rural Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Park	Accepted	
		Not applicable
Roadside stall	Accepted subject to requirements	
	If not exceeding 9m ² in total sales area	Roadside Stall Code
	Code assessment	
	If not Accepted subject to requirements	Roadside Stall Code
Sales office	Code assessment	
		Rural Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code Sales Office Code
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
Substation	Code assessment	
		Rural Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable

Impact assessment	
If not Accepted	The Planning Scheme
Impact assessment	
Any other use not listed in the table	The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.	
Any other undefined use	

Editor's note;

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

Table 5.5.16.2 - Rural Residential Zone - Rural Residential A Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal husbandry	Accepted	
		Not applicable
Animal keeping	Accepted subject to requirements	
	If involving; <ol style="list-style-type: none"> 1. a cattery: <ol style="list-style-type: none"> a. not exceeding 20 cats; and b. not involving the boarding of cats; or 2. an aviary not exceeding 200m² GFA; or 3. a stable. 	Rural Residential Zone Code Animal Keeping Code Parking and Access Code
	Code assessment	
	If; <ol style="list-style-type: none"> 1. not Accepted subject to requirements; and 2. a kennel of up to 5 dogs on land exceeding 2ha; or 3. a kennel of up to 10 dogs on land exceeding 4ha; or 4. any other animal keeping not specified in 1. to 3. above (excluding a kennel). 	Rural Residential Zone Code Animal Keeping Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Aquaculture	Code assessment	
	If minor aquaculture	Rural Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code

Community residence	Accepted	
		Not applicable
Cropping	Accepted	
		Not applicable
Dual occupancy	Accepted subject to requirements	
	If; 1. on a lot 2 ha or greater; and 2. where not located in a Mountain Community	Rural Residential Zone Code Dual Occupancy Code
	Code assessment	
	If; 1. not Accepted subject to requirements; 2. on a lot 1 ha or greater; and 3. where not located in a Mountain Community.	Rural Residential Zone Code Dual Occupancy Code
Dwelling house	Accepted subject to requirements	
		Dwelling House Code
Emergency Services	Code assessment	
		Rural Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Intensive horticulture	Code assessment	
	If not exceeding a 500m ² GFA	Rural Residential Zone Code General Development Provisions Code Intensive Horticulture and Wholesale Nursery Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Park	Accepted	
		Not applicable
Roadside stall	Accepted subject to requirements	
	If not exceeding 9m ² in total sales area	Roadside Stall Code
	Code assessment	
	If not Accepted subject to requirements	Roadside Stall Code
Sales office	Code assessment	

		Rural Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code Sales Office Code
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
Substation	Code assessment	
		Rural Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Transport depot	Accepted	
	If not exceeding 2 heavy vehicles.	Not applicable
	Code assessment	
	If; 1. not Accepted; and 2. not exceeding 4 heavy vehicles.	Rural Residential Zone Code General Development Provisions Code Parking and Access Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Veterinary service	Code assessment	
		Rural Residential Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Wholesale nursery	Code assessment	
	If not exceeding a 500m ² TUA	Rural Residential Zone Code General Development Provisions Code Intensive Horticulture and Wholesale Nursery Code Landscaping Code Parking and Access Code
Impact assessment		

Any other use not listed in the table	The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.	
Any other undefined use	

Editor's notes

- 1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and*
- 2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.*

5.5.17 Rural Zone

Editor's Note - See **Table 5.5.17.2** for Rural Escarpment Protection Precinct and **Table 5.5.17.3** for Tamborine Mountain Rural Precinct levels of assessment.

Table 5.5.17.1 - Rural Zone - (Where no precinct applies)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Agricultural supplies store	Code assessment	
	If: 1. not exceeding 750m ² GFA; and 2. obtaining access from a higher order road.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Animal Husbandry	Accepted	
		Not applicable
Animal keeping	Accepted subject to requirements	
	If involving; 1. a cattery; a. not exceeding 20 cats; and b. not involving the boarding of cats; or 2. an aviary; or 3. a stable; or 4. outdoor horse training tracks and arenas limited to domestic use.	Animal Keeping Code
	Code assessment	
	If; 1. not Accepted subject to requirements; and 2. a cattery; or 3. a kennel of up to 5 dogs on land exceeding 2ha; or 4. a kennel of up to 10 dogs on land exceeding 4ha; or 5. animal keeping other than a kennel specified in 3. and 4. above.	Animal Keeping Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Aquaculture	Accepted	
	If minor aquaculture	Not applicable
	Code assessment	
	If not Accepted	Rural Zone Code Earthworks, Construction and Water

		Quality Code General Development Provisions Code Parking and Access Code
Bulk landscape supplies	Code assessment	
	If; 1. involving a development footprint not exceeding 1ha; and 2. on a site exceeding 10ha; and 3. obtaining access from a higher order road.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Cropping	Accepted	
		Not applicable
Dual occupancy	Accepted subject to requirements	
	If; 1. on a lot 8000m ² or greater; and 2. obtaining access from a constructed road.	Rural Zone Code Dual Occupancy Code
	Code Assessment	
	If on a lot 4000m ² or greater	Rural Zone Code Dual Occupancy Code
Dwelling house	Accepted subject to requirements	
	If obtaining access from a constructed road	Dwelling House Code
	Code assessment	
	If not Accepted subject to requirements	Dwelling House Code
Emergency services	Code assessment	
		Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code
Environment facility	Code assessment	
		Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code Tourism Uses Code
Extractive industry	Code assessment	
	If; 1. extracting less than 5,000 tonnes of quarry material per annum; or 2. involving groundwater extraction.	Rural Zone Code Earthworks, Construction and Water Quality Code Extractive Industries Code General Development Provisions Code Landscaping Code

		Parking and Access Code
Food and drink outlet	Code assessment	
	If; 1. not exceeding 200m ² GFA; and 2. not involving a drive-through facility.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Garden centre	Accepted	
	If; 1. not exceeding a 50m ² TUA ; and 2. operating in conjunction with an existing lawful Wholesale nursery or Intensive horticulture; and 3. obtaining access from a sealed road.	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Home based business	Accepted subject to requirements	
		Home Based Business Code
Intensive animal industry	Accepted subject to requirements	
	If; 1. not exceeding the animal numbers in Column 1 of Table 9.3.9.3.2 'Standards for Accepted subject to requirements Intensive animal industry'; and 2. on a site not less than the minimum area in Column 2 of Table 9.3.9.3.2 'Standards for Accepted subject to requirements Intensive animal industry' Editor's Note - Refer to the Intensive Animal Industry Code for details the numbers and specifications of animals that may be kept as Accepted subject to requirements development	Intensive Animal Industry Code
	Code assessment	
	If not Self or Impact assessable	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Intensive Animal Industry Code Landscaping Code Parking and Access Code
	Impact assessment	
	If involving an Environmentally Relevant Activity	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Intensive Animal Industry Code Landscaping Code

		Parking and Access Code
Intensive horticulture	Accepted subject to requirements	
	If; 1. not exceeding 5,000m ² GFA; and 2. on a site greater than 5ha; and 3. not involving mushroom farming.	Intensive Horticulture and Wholesale Nursery Code
	Code assessment	
	If not Accepted subject to requirements	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Intensive Horticulture and Wholesale Nursery Code Landscaping Code Parking and Access Code
Low impact industry	Code assessment	
	If on a site greater than 4ha in area <i>Editor's Note - The Category of Assessment for urban activities in the Regional Landscape and Rural Production Area prevails over the Category of Assessment identified in the planning scheme.</i>	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
	Code assessment	
	Where not Accepted.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Market	Accepted subject to requirements	
	If; 1. not exceeding 2 markets in a calendar month; and 2. access is obtained from a sealed road.	Market Code
	Code assessment	
	If not Accepted subject to requirements	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code Parking and Access Code
Medium impact industry	Code assessment	
	If involving concrete batching where operating in association with a lawful Extractive industry being a quarry.	Rural Zone Code Earthworks, Construction and Water Quality Code

	<i>Editor's Note - The Category of Assessment for urban activities in the Regional Landscape and Rural Production Area prevails over the Category of Assessment identified in the planning scheme.</i>	General Development Provisions Code Landscaping Code Parking and Access Code
Nature-based tourism	Accepted subject to requirements	
	If; 1. on a site greater than 2 ha and not exceeding a total of 2 tourist accommodation sites; and 2. obtaining access from a constructed road.	Rural Zone Code Parking and Access Code Tourism Uses Code
	Code assessment	
	If not Accepted subject to requirements and; 1. not exceeding a total of 6 tourist accommodation sites; or 2. a tourist activity not exceeding 500m ² TUA.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Outdoor sales	Code assessment	
	If involving a livestock saleyard	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Outdoor sport and recreation	Code assessment	
	If; 1. not exceeding 1000m ² GFA; and 2. not involving a rifle or shooting range.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Permanent plantation	Accepted	
		Not applicable
Place of worship	Code assessment	
	If; 1. involving an extension to an existing Place of worship; and 2. the extension does not exceed 200m ² GFA.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Renewable energy facility	Code assessment	
		Rural Zone Code

		Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code
Roadside stall	Accepted subject to requirements	
	If not exceeding 9m ² in total sales area	Roadside Stall Code
	Code assessment	
	If not Accepted subject to requirements	Roadside Stall Code
Rural industry	Accepted subject to requirements	
	If not exceeding 200m ² GFA.	Rural Zone Code Parking and Access Code
	Code assessment	
	If, 1. not Accepted subject to requirements; and 2. not exceeding 500m ² GFA.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Rural workers' accommodation	Code assessment	
		Medium Density Residential Uses Code
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
	Accepted subject to requirements	
	If; 1. on a site greater than 2 ha; and 2. not exceeding 2 cabins.	Rural Zone Code Parking and Access Code Tourism Uses Code
	Code assessment	
	If not exceeding 6 cabins	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Tourist attraction	Code assessment	
	If not exceeding 500m ² GFA.	Rural Zone Code Earthworks, Construction and Water

		Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Tourist park	Accepted subject to requirements	
	If; 1. not more than 5 tourist accommodation sites; and 2. on a site greater than 20 ha.	Rural Zone Code Parking and Access Code Tourist Park Code
	Code assessment	
	If not exceeding 25 tourist accommodation sites	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourist Park Code
Transport depot	Accepted	
	If; 1. not more than 4 heavy vehicles; and 2. on a site greater than 2 ha.	Not applicable
	Code assessment	
	If; 1. not Accepted development; and 2. not more than 15 heavy vehicles; and 3. on a site greater than 10ha.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Code assessment	
	If involving groundwater extraction for the supply of water for domestic purposes	Rural Zone Code General Development Provisions Code Landscaping Code Parking and Access Code
	Impact assessment	
	If not Accepted or Code Assessment	The Planning Scheme
Veterinary service	Code assessment	
		Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Wholesale nursery	Accepted subject to requirements	
	If;	Rural Zone Code

	1. on a site greater than 5ha; and 2. involving a development footprint not exceeding 5,000m ² .	Intensive Horticulture and Wholesale Nursery Code Parking and Access Code
Code assessment		
	If not Accepted subject to requirements	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Intensive Horticulture and Wholesale Nursery Code Landscaping Code Parking and Access Code
Winery	Code assessment	
		Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

Table 5.5.17.2 - Rural Zone - Rural Escarpment Protection Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal husbandry	Accepted	
		Not applicable
Animal Keeping	Accepted subject to requirements	
	If involving; <ol style="list-style-type: none"> 1. a cattery; <ol style="list-style-type: none"> a. not exceeding 20 cats; and b. not involving the boarding of cats; or 2. an aviary; or 3. a stable. 	Animal Keeping Code

	Code assessment	
	If not Accepted subject to requirements and involving: 1. a cattery not involving boarding; or 2. other animal keeping not being a kennel.	Animal Keeping Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Aquaculture	Code assessment	
	If minor aquaculture	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Cropping	Code assessment	
		Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code
Dwelling house	Accepted subject to requirements	
	If obtaining access from a constructed road	Dwelling House Code
	Code assessment	
	If not Accepted subject to requirements	Dwelling House Code
Environment facility	Code assessment	
	If not exceeding 200m ² TUA	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code Tourism Uses Code
Food and drink outlet	Code assessment	
	If: 1. not exceeding 200m ² GFA; and 2. not involving a drive through facility.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Home based business	Accepted subject to requirements	
		Home Based Business Code
Intensive animal industry	Code assessment	
	If: 1. involving poultry and less than 1000 birds; and 2. on a site not less than the minimum	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code

	<p>area in Column 2 of Table 9.3.9.3.2 'Standards for Accepted subject to requirements Intensive animal industry'.</p> <p>Editor's Note - Refer to the Intensive Animal Industry Code for details the numbers and specifications of animals that may be kept as Accepted subject to requirements development</p>	<p>Parking and Access Code Intensive Animal Industry Code</p>
Nature-based tourism	Code assessment	
	<p>If;</p> <ol style="list-style-type: none"> on a site greater than 2 ha and not exceeding a total of 4 tourist accommodation sites; or a tourist activity not exceeding 200m² TUA. 	<p>Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code</p>
Park	Accepted	
		Not applicable
Permanent plantation	Code assessment	
		<p>Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code</p>
Roadside stall	Accepted subject to requirements	
	If not exceeding 9 m ² in total sales area	Roadside Stall Code
	Code assessment	
	If not Accepted subject to requirements	Roadside Stall Code
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
Substation	Accepted	
		Not applicable
Telecommunications facility	Code Assessment	
		<p>Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code</p>
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact Assessment	
	If not Accepted	The Planning Scheme
Impact assessment		
Any other use not listed in the table		The Planning Scheme

Any other use in this table and not meeting the description listed in the categories of development and assessment column.	
Any other undefined use	

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

Table 5.5.17.3 - Rural Zone - Tamborine Mountain Rural Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal Husbandry	Accepted	
		Not applicable
Animal keeping	Accepted subject to requirements	
	If involving; <ol style="list-style-type: none"> 1. a cattery; <ol style="list-style-type: none"> a. not exceeding 20 cats; and b. not involving the boarding of cats; or 2. an aviary; or 3. a stable; or 4. outdoor horse training tracks and arenas limited to domestic use. 	Animal Keeping Code
	Code assessment	
	If; <ol style="list-style-type: none"> 1. not Accepted subject to requirements; and 2. a cattery; or 3. a kennel of up to 5 dogs on land exceeding 2ha; or 4. a kennel of up to 10 dogs on land exceeding 4ha; or 5. animal keeping other than a kennel not specified in 3. and 4. above. 	Animal Keeping Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Aquaculture	Accepted	
	If minor aquaculture	Not applicable
	Code assessment	
	If not Accepted	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code

Club	Code assessment	
	If; 1. located in an existing commercial building not exceeding 200m ² GFA; and 2. not involving a liquor licence; and 3. obtaining access from a higher order road.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Cropping	Accepted	
		Not applicable
Dwelling house	Accepted subject to requirements	
	If obtaining access from a constructed road	Dwelling House Code
	Code assessment	
	If not Accepted subject to requirements	Dwelling House Code
Emergency services	Code assessment	
		Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code
Environment facility	Code assessment	
		Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Parking and Access Code Tourism Uses Code
Food and drink outlet	Code assessment	
	If; 1. not exceeding 200m ² GFA; and 2. not involving a drive-through facility.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Garden centre	Accepted	
	If; 1. not exceeding 50m ² TUA; and 2. operating in conjunction with an existing lawful Wholesale nursery or Intensive horticulture; and 3. obtaining access from a sealed road.	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Home based	Accepted subject to requirements	

business		Home Based Business Code
Intensive animal industry	Accepted subject to requirements	
	If: 1. involving poultry and less than 1000 birds; and 2. on a site not less than the minimum area in Column 2 of Table 9.3.9.3.2 'Standards for Accepted subject to requirements Intensive animal industry'. <i>Editor's Note - Refer to the Intensive Animal Industry Code for details the numbers and specifications of animals that may be kept as Accepted subject to requirements development</i>	Intensive Animal Industry Code
Intensive horticulture	Accepted subject to requirements	
	If; 1. not exceeding 5,000m ² GFA; and 2. on a site greater than 5ha; and 3. not involving mushroom farming.	Intensive Horticulture and Wholesale Nursery Code
	Code assessment	
	If: 1. not Accepted subject to requirements; and 2. not involving mushroom farming.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Intensive Horticulture and Wholesale Nursery Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If; 1. not exceeding 2 markets in a calendar month; and 2. access is obtained from a sealed road.	Market Code
	Code assessment	
Nature-based tourism	If not Accepted subject to requirements	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code Parking and Access Code
	If; 1. on a site greater than 2 ha and not exceeding a total of 2 tourist	Rural Zone Code General Development Provisions Code Parking and Access Code

	accommodation sites; and 2. obtaining access from a constructed road.	Tourism Uses Code
Code assessment		
	If not Accepted subject to requirements and; 1. not exceeding a total of 6 tourist accommodation sites; or 2. a tourist activity not exceeding 200m ² TUA.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Outdoor sport and recreation	Code assessment	
	If; 1. on a site greater than 4ha; and 2. not exceeding 200m ² TUA; and 3. not involving a rifle or shooting range.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Permanent plantation	Accepted	
		Not applicable
Roadside stall	Accepted subject to requirements	
	If not exceeding 9m ² in total sales area	Roadside Stall Code
Code assessment		
	If not Accepted subject to requirements	Roadside Stall Code
Rural industry	Code assessment	
	If not exceeding 200m ² GFA	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Short-term accommodation	Accepted	
	If involving a holiday home.	Not applicable
Accepted subject to requirements		
	If; 1. on a site greater than 2 ha; and 2. not exceeding 2 cabins.	Rural Zone Code Parking and Access Code Tourism Uses Code
Code assessment		
	If; 1. not Accepted subject to requirements; and 2. not exceeding 6 cabins.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code

		Tourism Uses Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Tourist attraction	Code assessment	
	If not exceeding 200m ² TUA.	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Tourist park	Code assessment	
	If not exceeding 6 tourist accommodation sites	Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourist Park Code
Transport Depot	Accepted	
	If not exceeding 2 heavy vehicles	Not applicable
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted	The Planning Scheme
Veterinary service	Code assessment	
		Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Wholesale nursery	Accepted subject to requirements	
	If; 1. on a site greater than 5ha; and 2. involving a development footprint not exceeding 5,000m ² .	Rural Zone Code Intensive Horticulture and Wholesale Nursery Code Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Rural Zone Code Earthworks, Construction and Water Quality Code

		General Development Provisions Code Intensive Horticulture and Wholesale Nursery Code Landscaping Code Parking and Access Code
Winery	Code assessment	
		Rural Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

1. *The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and*
2. *Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.*

5.5.18 Special Purposes Zone

Editor's Note - For the Bromelton State Development Area Precinct, refer to Part 10 - Other Plans for information on the assessment of development for a Material Change of Use.

Table 5.5.18.1 - Special Purposes Zone - Bulk Water Storage Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal husbandry	Accepted	
		Not applicable
Caretaker's accommodation	Accepted subject to requirements	
	If not exceeding 100m ² GFA	Caretaker's Accommodation Code
	Code assessment	
	If not Accepted subject to requirements	Caretaker's Accommodation Code
Club	Code assessment	
		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community use	Code assessment	
		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Cropping	Accepted	
		Not applicable
Emergency services	Code assessment	
		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code
Environment	Code assessment	

facility		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
	Code assessment	
Indoor sport and recreation		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
	Code assessment	
Landing		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
	Code assessment	
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
	Code assessment	
	If not Accepted	Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code
Major sport, recreation and entertainment facility	Code assessment	
		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code
	Code assessment	
	If not Accepted subject to requirements	Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code

		Parking and Access Code
Nature-based tourism	Code assessment	
		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Parking and Access Code Tourism Uses Code
Outdoor sport and recreation	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Special Purpose Zone Code Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Permanent plantation	Accepted	
		Not applicable
Renewable energy facility	Code assessment	
		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code
Short-term accommodation	Code assessment	
		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code Tourism Uses Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code

Tourist attraction	Code assessment	
		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Tourist park	Code assessment	
		Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code Tourist Park Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Code Assessment	
	If not Accepted subject to requirements	Special Purpose Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code
Impact assessment		
Any other use not listed in the table	The Planning Scheme	
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.5.19 Township Zone

Note - See Table 5.5.19.2 for Township Zone (Township Residential Precinct)

Table 5.5.19.1 - Township Zone - (Where no precinct applies)

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Adult store	Code assessment	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Adult Store Code Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Agricultural supplies store	Accepted	
	If; 3. located in an existing commercial building; and 4. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Bar	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Car wash	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code

		Landscaping Code Parking and Access Code
Child care centre	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Club	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community care centre	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Community use	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code

Dual occupancy	Accepted subject to requirements	
	If; 1. on a lot 2000m ² or greater where connected to the reticulated sewerage network; or 2. on a lot 8000m ² or greater where not connected to the reticulated sewerage network.	Township Zone Code Dual Occupancy Code
	Code Assessment	
	If not Accepted subject to requirements; and; 1. on a lot 1000m ² or greater where connected to the reticulated sewerage network; or 2. on a lot 4000m ² or greater where not connected to the reticulated sewerage network.	Township Zone Code Dual Occupancy Code
Dwelling house	Accepted subject to requirements	
		Dwelling House Code
Dwelling unit	Accepted subject to requirements	
	If located above the ground storey or behind a Commercial activity	Township Zone Code Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Township Zone Code Parking and Access Code
Educational establishment	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work); and 3. not involving accommodation.	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Emergency services	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code
Food and drink	Accepted	

outlet	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Function facility	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Funeral parlour	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Garden centre	Accepted	
	If; 1. located in an existing commercial building not exceeding 250m ² GFA; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If; 1. not Accepted; and 2. not exceeding 250m ² GFA.	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Hardware and trade supplies	Accepted	
	If; 1. located in an existing commercial building not exceeding 250m ² GFA; and 2. not involving building work (other than	Not applicable

	minor building work).	
	Code assessment	
	If; 1. not Accepted; and 2. not exceeding 250m ² GFA.	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Health care service	Accepted subject to requirements	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Indoor sport and recreation	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Low impact industry	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Market	Accepted subject to requirements	
	If not exceeding 2 markets in a calendar month	Market Code

	Code assessment	
	If not Accepted subject to requirements	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Landscaping Code Market Code Parking and Access Code
Office	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Outdoor sales	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Park	Accepted	
		Not applicable
Parking station	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Residential care facility	Code assessment	
	If involving 10 bedrooms or less	Township Zone Code Medium Density Residential Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code

Retirement facility	Code assessment	
	If involving 10 bedrooms or less	Township Zone Code Medium Density Residential Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service industry	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Service station	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shop	Accepted	
	If; 1. located in an existing commercial building not exceeding 250m ² GFA; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If; 1. not Accepted; and 2. not exceeding 250m ² GFA.	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Shopping centre	Code assessment	
	If each tenancy does not exceed 250m ² GFA	Township Zone Code Earthworks, Construction and Water Quality Code

		General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
	Code assessment	
	If not Accepted subject to requirements	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Medium Density Residential Code Infrastructure Design Code Landscaping Code Parking and Access Code
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Theatre	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Tourist attraction	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Tourist park	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code Tourist Park Code
Transport depot	Accepted	

	If involving not more than 2 heavy vehicles	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted subject to requirements	The Planning Scheme
Veterinary service	Accepted	
	If; 1. located in an existing commercial building; and 2. not involving building work (other than minor building work).	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Warehouse	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Impact assessment		
	Any other use not listed in the table	The Planning Scheme
	Any other use in this table and not meeting the description listed in the categories of development and assessment column.	
	Any other undefined use	

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

Table 5.5.19.2 - Township Zone - Township Residential Precinct

Use	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All uses	Accepted	
	If a local utility	Not applicable
Animal keeping	Accepted subject to requirements	
	If; 1. a cattery; a. not exceeding 10 cats; and b. does not involve the boarding of cats; or 2. an aviary.	Animal Keeping Code
	Code assessable	
	If a cattery; 1. not exceeding 20 cats; and 2. does not involve the boarding of cats.	Animal Keeping Code General Development Provisions Code
Child care centre	Code assessment	
	If obtaining access from a higher order road	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Club	Code assessment	
	If not involving a liquor licence	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community care centre	Accepted subject to requirements	
	If not involving building work (other than minor building work)	Parking and Access Code
	Code assessment	
	If not Accepted subject to requirements	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Community residence	Accepted	
		Not applicable
Community use	Accepted	

	If not involving building work (other than minor building work)	Not applicable
	Code assessment	
	If not Accepted	Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
Dual occupancy	Accepted subject to requirements	
	If; 1. on a lot 2000m ² or greater where connected to the reticulated sewerage network; or 2. on a lot 8000m ² or greater where not connected to the reticulated sewerage network.	Township Zone Code Dual Occupancy Code
	Code Assessment	
	If not Accepted subject to requirements; and; 1. on a lot 1000m ² or greater where connected to the reticulated sewerage network; or 2. on a lot 4000m ² or greater where not connected to the reticulated sewerage network.	Township Zone Code Dual Occupancy Code
Dwelling house	Accepted subject to requirements	
		Dwelling House Code
Emergency services	Code assessment	
		Township Zone Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code
Home based business	Accepted subject to requirements	
	If not involving Industrial activities other than minor industrial activities	Home Based Business Code
Major electricity infrastructure	Accepted	
	Where proposed as underground infrastructure	Not applicable
Park	Accepted	
		Not applicable
Residential care	Code assessment	

facility	If involving 10 bedrooms or less	Township Zone Code Medium Density Residential Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
	Code assessment	
Retirement facility	If involving 10 bedrooms or less	Township Zone Code Medium Density Residential Code Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Landscaping Code Parking and Access Code
	Code assessment	
Short-term accommodation	Accepted	
	If involving a holiday home	Not applicable
Substation	Accepted	
		Not applicable
Telecommunications facility	Code assessment	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Telecommunications Facility Code
Utility installation	Accepted	
	If involving a minor utility installation	Not applicable
	Impact assessment	
	If not Accepted subject to requirements	The Planning Scheme
Impact assessment		
Any other use not listed in the table		The Planning Scheme
Any other use in this table and not meeting the description listed in the categories of development and assessment column.		
Any other undefined use		

Editor's notes

1. The above categories of development and assessment apply unless otherwise prescribed within the Act or the Regulation; and
2. Uses may be subject to requirements, standards and approvals specified in other laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a use to be conducted. Potential operators should conduct a due diligence assessment prior to the commencement of a use.

5.6 Categories of Development and Assessment - Reconfiguring a Lot

The following table identifies the categories of development and assessment for reconfiguring a lot.

Table 5.6.1—Reconfiguring a Lot

Zone	Categories of development and of assessment	Assessment benchmarks for assessable development and requirements for accepted development
All Zones	Code assessment	
	If involving a boundary realignment and no new lots are created.	The relevant Zone Code Reconfiguring a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code
All Zones	Code assessment	
	If limited to the creation of an access easement	The relevant Zone Code Reconfiguring a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code
Limited Development Zone - Historical Subdivision Precinct	Code assessment	
	If; 1. all proposed lots are 2 hectares or greater where not located in Harrisville; or 2. all proposed lots are 4000m ² or greater where located in Harrisville.	Limited Development Zone Code Reconfiguring a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code
	Impact assessment	
If not code assessment	The Planning Scheme	
Low Density Residential Zone	Code assessment	
	If all proposed residential lots meet the minimum average lot size specified in Table 9.4.6.3.2 - Minimum Lot Size and Design for the Low Density Residential Zone.	Low Density Residential Zone Code Reconfiguring a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code
	Impact assessment	
If not code assessment	The Planning Scheme	
Low-medium Density Residential Zone	Code assessment	
	If all proposed residential lots meet the minimum average lot size specified in Table 9.4.6.3.2 - Minimum Lot Size and Design for	Low-medium Density Residential Zone Code Reconfiguring a Lot Code Earthworks, Construction and Water

	the Low-medium Density Residential Zone.	Quality Code Infrastructure Design Code
	Impact assessment	
	If not code assessment	The Planning Scheme
Rural Residential Zone - (Where no precinct applies)	Code assessment	
	If; 1. identified on Minimum Lot Size Overlay Map OM-13 ; and 2. all proposed residential lots are 4000m ² or greater.	Rural Residential Zone Code Reconfiguring a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code
	Impact assessment	
	If not code assessment	The Planning Scheme
Rural Residential Zone - Rural Residential A Precinct	Code assessment	
	If; 1. identified on Minimum Lot Size Overlay Map OM-13 ; and 2. all proposed residential lots are 1ha or greater.	Rural Residential Zone Code Reconfiguring a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code
	Impact assessment	
	If not code assessment	The Planning Scheme
Rural Zone - Where not in the Rural Escarpment Protection Precinct or Tamborine Mountain Rural Precinct	Code assessment	
	If; 1. all proposed lots are 100ha or greater; or 2. lots are identified on Minimum Lot Size Overlay Map OM-13 and where: a. in the Rural 60ha Precinct, all proposed lots are 60ha or greater; or b. in the Rural 40ha Precinct, all proposed lots are 40ha or greater	Rural Zone Code Reconfiguration of a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code
	Impact assessment	
	If not code assessment	The Planning Scheme
Rural Zone - Rural Escarpment Protection Precinct	Code assessment	
	If all proposed lots are 100ha or greater	Rural Zone Code Reconfiguration of a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code
	Impact assessment	
	If not code assessment	The Planning Scheme
Rural Zone - Tamborine Mountain Rural Precinct	Code assessment	
	If all proposed lots are 100ha or greater	Rural Zone Code Reconfiguration of a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code
	Impact assessment	
	If not code assessment	The Planning Scheme
Community Facilities Zone	Code assessment	

<p>Conservation Zone District Centre Zone Industry Zone Limited Development Zone - (Where no precinct applies) Limited Development Zone - Flood Land Precinct Local Centre Zone Major Centre Zone Major Tourism Zone Minor Tourism Zone Mixed Use Zone Mixed Use Zone - Commercial Industry Precinct Neighbourhood Centre Zone Recreation and Open Space Zone - (Where no precinct applies) Recreation and Open Space Zone - Passive Recreation Precinct Special Purpose Zone - (Where no precinct applies) Special Purpose Zone - Bromelton State Development Area Precinct Special Purpose Zone - Bulk Water Storage Facilities Precinct Township Zone - (Where no precinct applies) Township Zone - Township Residential Precinct</p>	<p>Where involving all other reconfiguring a lot</p>	<p>The relevant Zone Code Reconfiguring a Lot Code Earthworks, Construction and Water Quality Code Infrastructure Design Code</p>
<p>Emerging Community Zone</p>	<p>Impact Assessment</p>	
	<p>Where involving all other reconfiguring a lot</p>	<p>The Planning Scheme</p>

Editor's note - The above levels of assessment and categories of assessment apply unless otherwise prescribed in the Act or the Regulation.

5.7 Categories of Development and Assessment - Building Work

There is no building work regulated by the planning scheme.

Editor's note - *The above levels of assessment apply unless otherwise prescribed in the Act or the Regulation.*

5.8 Categories of Development and Assessment - Operational Work

The following table identifies the categories of development and assessment for operational work.

Table 5.8.1- Operational Work

Zone	Categories of development and Assessment	Assessment benchmarks for assessable development and requirements for accepted development
Advertising Device		
District Centre Zone Industry Zone Local Centre Zone Major Centre Zone Major Tourism Zone Mixed Use Zone - Commercial Industrial Precinct only Recreation and Open Space Zone (Where no precinct applies) Rural Zone (Where no precinct applies) Township Zone (Where no precinct applies)	Accepted	
	If a local utility	Not applicable
	Code assessable	
If: 1. A pylon sign; or 2. A third party billboard sign.	Advertising Devices Code Relevant Zone Code	
Zones not specified above.	Impact Assessable	
	If: 1. A pylon sign; or 2. A third party billboard sign.	The Planning Scheme
Car Park		
All Zones	Accepted	
	If carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; 1. has not lapsed; and 2. states that a development approval for operational works for a car park is not required.	Not applicable
	Code assessable	
If: 1. not Accepted; and 2. involving an impervious area for vehicle parking for 8 spaces or more in total on a site.	Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code Parking and Access Code	

Filling or Excavation		
All Zones	Accepted	
	If: <ol style="list-style-type: none"> 1. a local utility; or 2. minor filling and excavation; or 3. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; <ol style="list-style-type: none"> a. has not lapsed; and b. states that a development approval for operational works for filling or excavation is not required. <p>Editor's Note - Overlays may prescribe a higher level of assessment, or have different criteria, than above, and must be considered when determining the appropriate categories of development and assessment for filling or excavation.</p>	Not applicable
	Code assessable	
	Code assessable if not Accepted	Earthworks, Construction and Water Quality Code General Development Provisions Code
Operational Work for Reconfiguring a Lot		
All Zones	Code assessable	
		Earthworks, Construction and Water Quality Code General Development Provisions Code Infrastructure Design Code
Undertaking Roadworks on a Local Government Road		
All Zones	Accepted	
	If: <ol style="list-style-type: none"> 1. a local utility and undertaken by or on behalf of Council; or 2. involving only a driveway crossover. <p>Editor's Note - Approval pursuant to Councils Local Laws is required for a driveway crossover not associated with other roadworks and authorised by an Operational Works Permit</p>	Not applicable
	Code assessable	
	If not Accepted	Earthworks, Construction and Water

		Quality Code General Development Provisions Code Infrastructure Design Code
Accepted		
Any other operational work not listed in this table.		
<i>Editor's Note - Overlays may prescribe a higher level of assessment than above, and must be considered when determining the appropriate categories of development for operational work.</i>		

Editor's note - The above levels of assessment apply unless otherwise prescribed in the Act or the Regulation.

5.9 Categories of Development and Assessment - Local Plans

There are no local plans in the planning scheme.

5.10 Categories of Development and Assessment - Overlays

The following table identifies the categories of development and assessment and the relevant assessment benchmarks where an overlay applies to development.

Table 5.10.1—Overlays

Development	Categories of development and assessment	Assessment benchmarks for assessable development and requirements for accepted development
All Overlays		
<p>Material Change of Use if a local utility. Reconfiguring a Lot if a local utility. Operational Work if a local utility.</p> <p><i>Note - If not a local utility, the category of assessment identified for each Overlay below applies.</i></p>	Accepted	Not applicable
Agricultural Land Agricultural Land Overlay Map OM-01		
<p>Material Change of Use located in the Agricultural Land Classification (Class A and Class B) or Agricultural Land Buffer Area and involving:</p> <ul style="list-style-type: none"> a. Animal husbandry; or b. Animal keeping; or c. Cropping; or d. Dual occupancy; or e. Dwelling house; or f. Home based business; or g. Intensive animal industry (excluding buildings); or h. Intensive horticulture; or i. Market; or j. Roadside stall; or k. Rural industry; or l. Wholesale nursery. 	Accepted	Not applicable
<p>Material Change of Use located in the Agricultural Land Classification (Class A and Class B) or Agricultural Land Buffer Area and;</p> <ul style="list-style-type: none"> 1. on a site 5ha or less; or 2. involving: <ul style="list-style-type: none"> a. Emergency services; or b. Environment facility; or c. Nature-based tourism; or d. Short-term accommodation; or e. Tourist attraction; or f. Tourist park; or g. Transport depot; and 	Accepted	Not applicable

3. the total area of the development footprint in Agricultural Land Classification (Class A and Class B) or Agricultural Land Buffer Area is equal to or less than 750m ² .		
Material Change of Use where not Accepted Development and for any other use in the Agricultural Land Classification (Class A and Class B) or Agricultural Land Buffer Area	Code assessment	Agricultural Land Overlay Code
Reconfiguring a Lot involving land in the Agricultural Land Classification (Class A and Class B) or Agricultural Land Buffer Area	Code assessment	Agricultural Land Overlay Code
Airport Environs and Defence Land Overlay Airport Environs and Defence Land Overlay Map OM-02		
Material Change of Use in the: 1. Height Restriction Zone; or 2. Wildlife Buffer Area; or 3. Building Restricted Area.	Accepted subject to requirements	Airport Environs and Defence Land Overlay Code
Building Work not associated with a Material Change of Use in the: 1. Height Restriction Zone; or 2. Wildlife Buffer Area; or 3. Building Restricted Area.	Accepted subject to requirements	Airport Environs and Defence Land Overlay Code
Operational Work not associated with a Material Change of Use in the: 1. Height Restriction Zone; or 2. Wildlife Buffer Area; or 3. Building Restricted Area.	Accepted subject to requirements	Airport Environs and Defence Land Overlay Code
Material Change of Use involving Animal Husbandry or Cropping in the Defence Land Buffer Area	Accepted	Not applicable
Material Change of Use for all other uses in the Defence Land Buffer Area	Code assessment	Airport Environs and Defence Land Overlay Code
Reconfiguring a Lot involving land in a Defence Land Buffer Area	Code assessment	Airport Environs and Defence Land Overlay Code
Bushfire Hazard Overlay Bushfire Hazard Overlay Map OM-03		
Material Change of Use in a Bushfire Hazard Area and involving: a. Animal husbandry; or b. Cropping; or c. domestic outbuildings associated with a Dwelling house or a Dual occupancy; or d. Dual Occupancy or Dwelling House on a lot less than 2000m ² in a residential zone; or e. Home based business not involving a	Accepted	Not applicable

<p>bed and breakfast or home based childcare;</p> <p>f. Roadside stall; or</p> <p>g. Development that complies with an existing Bushfire Management Plan (BMP) referenced in a development approval for the reconfiguration of a lot.</p>		
<p>Material Change of Use in a Bushfire Hazard Area and involving:</p> <ol style="list-style-type: none"> 1. Caretaker's accommodation; or 2. Dual occupancy (where not Accepted development); or 3. Dwelling house (where not Accepted development); or 4. Home based business not involving a bed and breakfast or home based child care. 	Accepted subject to requirements	Bushfire Hazard Overlay Code
<p>Material Change of Use for any other use in a Bushfire Hazard Area</p> <p><i>Note - includes Home based business if involving a bed and breakfast or home based child care.</i></p>	Code assessment	Bushfire Hazard Overlay Code
<p>Reconfiguring a Lot involving land in a Bushfire Hazard Area</p>	Code assessment	Bushfire Hazard Overlay Code
<p>Environmental Significance Overlay Environmental Significance Overlay Map- Biodiversity OM-04-A</p>		
<p>Material Change of Use where involving exempt clearing</p>	Accepted	Not Applicable
<p>Material Change of Use where not Accepted Development above and located in:</p> <ol style="list-style-type: none"> 1. Regulated Vegetation (as defined in the SPP); or 2. Protected Areas. 	Code assessment	Environmental Significance Overlay Code
<p>Reconfiguring a Lot involving land in:</p> <ol style="list-style-type: none"> 1. Regulated Vegetation (as defined in the SPP); or 2. Protected Areas. 	Code assessment	Environmental Significance Overlay Code
<p>Operational Work where:</p> <ol style="list-style-type: none"> 1. involving exempt clearing; or 2. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which: <ol style="list-style-type: none"> a. has not lapsed; and b. states that a development approval for operational works is not required. 	Accepted	Not Applicable

Operational Work where not Accepted Development above and located in: 1. Regulated Vegetation (as defined in the SPP); or 2. Protected Areas.	Code assessment	Environmental Significance Overlay Code
Environmental Significance Overlay Environmental Significance Overlay Map - Local Biodiversity OM-04-B		
Material Change of Use where involving exempt clearing.	Accepted	Not Applicable
Material Change of Use where not Accepted Development above and located in a: 1. Core Corridor; or 2. Node Corridor; or 3. Stepping Stone; or 4. Critical Linkage.	Code assessment	Environmental Significance Overlay Code
Reconfiguring a Lot involving land in a: 1. Core Corridor; or 2. Node Corridor; or 3. Stepping Stone; or 4. Critical Linkage.	Code assessment	Environmental Significance Overlay Code
Operational Work where: 1. involving exempt clearing; or 2. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; a. has not lapsed; and b. states that a development approval for operational works is not required.	Accepted	Not Applicable
Operational work where not Accepted Development above and located in a: 1. Core Corridor; or 2. Node Corridor; or 3. Stepping Stone; or 4. Critical Linkage.	Code assessment	Environmental Significance Overlay Code
Environmental Significance Overlay Environmental Significance Overlay Map - Priority Species OM-04-C		
Material Change of Use where involving exempt clearing.	Accepted	Not Applicable
Material Change of Use where not Accepted Development and located in State Significant Species.	Code assessment	Environmental Significance Overlay Code
Reconfiguring a Lot involving land in State Significant Species.	Code assessment	Environmental Significance Overlay Code
Operational Work where: 1. involving exempt clearing; or 2. carried out in compliance with a	Accepted	Not Applicable

<p>material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which;</p> <ul style="list-style-type: none"> a. has not lapsed; and b. states that a development approval for operational works is not required; or <p>3. involving filling or excavation less than 10m³.</p>		
<p>Operational Work where not accepted development above and located in State Significance Species.</p>	Code assessment	Environmental Significance Overlay Code
<p>Environmental Significance Overlay Environmental Significance Overlay Map - Wetlands and Waterways OM-04-D</p>		
<p>Material Change of Use involving a Dwelling house, Animal husbandry (excluding dairy), Cropping or Home based business (where in an existing building) and located in Matters of State Environmental Significance - Waterways and Wetlands</p>	Accepted	Not Applicable
<p>Material Change of Use, where not Accepted Development above and located in Matters of State Environmental Significance - Waterways and Wetlands.</p>	Code assessment	Environmental Significance Overlay Code
<p>Reconfiguring a Lot involving land in Matters of State Environmental Significance - Waterways and Wetlands.</p>	Code assessment	Environmental Significance Overlay Code
<p>Operational Work in Waterways and Wetlands Buffer Area and where:</p> <ul style="list-style-type: none"> 1. involving filling or excavation less than 10m³; or 2. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; <ul style="list-style-type: none"> a. has not lapsed; and b. states that a development approval for operational works is not required. 	Accepted	Not Applicable
<p>Operational Work in Waterways and Wetlands Buffer Area and where not Accepted Development above.</p>	Code assessment	Environmental Significance Overlay Code
<p>Operational Work located in:</p> <ul style="list-style-type: none"> 1. High Ecological Value Waters (Watercourse); or 2. High Ecological Value Waters (Wetland); or 3. High Ecological Significance 	Code assessment	Environmental Significance Overlay Code

Wetlands.		
Environmental Significance Overlay Environmental Significance Overlay Map - Local Watercourses OM-04-E		
Material Change of Use involving Dwelling house, Animal husbandry (excluding dairy), Cropping or Home based business (where in an existing building) and located in: 1. Watercourse Buffer Area A; or 2. Watercourse Buffer Area B; or 3. Watercourse Buffer Area C.	Accepted	Not Applicable
Material Change of Use where not Accepted Development and located within: 1. 10m from the high or outer bank of the watercourse located in Watercourse Buffer Area A; 2. 25m or more from the high or outer bank of the watercourse located in Watercourse Buffer Area B; or 3. 50m or more from the high or outer bank of the watercourse located in Watercourse Buffer Area C.	Code assessment	Environmental Significance Overlay Code
Reconfiguring a Lot involving land in: 1. Watercourse Buffer Area A; or 2. Watercourse Buffer Area B; or 3. Watercourse Buffer Area C.	Code assessment	Environmental Significance Overlay Code
Operational Work where located in Watercourse Buffer Area A, B or C and: 1. involving exempt clearing; or 2. involving filling or excavation less than 10m ³ ; or 3. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; a. has not lapsed; and b. states that a development approval for operational works is not required.	Accepted	Not Applicable
Operational Work where not Accepted Development above and located in: 1. Watercourse Buffer Area A; or 2. Watercourse Buffer Area B; or 3. Watercourse Buffer Area C.	Code assessment	Not Applicable
Environmental Significance Overlay Environmental Significance Overlay Map - Vegetation Management Area OM-04-F		
Material Change of Use where involving Exempt Clearing	Accepted	Not Applicable
Material Change of Use where not Accepted Development above and located	Code Assessable If not Accepted Development	Environmental Significance Overlay Code

in the Vegetation Management Area.		
Reconfiguring a Lot where involving land in the Vegetation Management Area	Code Assessable	Environmental Significance Overlay Code
Operational Work involving: 1. exempt clearing; or 2. involving filling or excavation less than 10m ³ ; or 3. where carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which: a. has not lapsed; and b. states that a development approval for operational work for the clearing of native vegetation is not required.	Accepted	Not Applicable
Operational Work where not Accepted Development above and located in the Vegetation Management Area	Code Assessable If not Accepted Development	Environmental Significance Overlay Code
Extractive Resources Overlay Extractive Resources Overlay Map OM-05		
Material Change of Use involving Animal husbandry or Cropping in a Key Resource Area	Accepted	Not Applicable
Material Change of Use where not Accepted Development and for any other use in a Key Resource Area	Code assessment	Extractive Resources Overlay Code
Reconfiguring a Lot involving land in a Key Resource Area	Code Assessment	Extractive Resources Overlay Code
Flood Hazard Overlay Flood Hazard Overlay Map - Hazard Area OM-06-A		
Material Change of Use involving Animal Husbandry, Cropping or Roadside Stall in a Flood Hazard Area and where not involving Building Work	Accepted	Not Applicable
Material Change of Use where not Accepted Development and for any other use in a Flood Hazard Area	Code assessment	Flood Hazard Overlay Code
Operational Work involving filling or excavation in a Flood Hazard Area and where: 1. less than 10m ³ in an urban area; or 2. less than 50m ³ in a non-urban area; or 3. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; a. has not lapsed; and	Accepted	Not Applicable

b. states that a development approval for operational works for filling and excavation is not required.		
Operational Work involving filling or excavation in a Flood Hazard Area and where: 1. 10m ³ or greater in an urban area; or 2. 50m ³ or greater in a non-urban area; and where: a. not consistent with, or does not have, a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; i. has not lapsed; and ii. states that a development approval for operational works for filling and excavation is not required.	Code assessment	Flood Hazard Overlay Code
Operational Work involving exempt clearing in a Flood Hazard Area	Accepted	Not Applicable
Operational Work involving the clearing of native vegetation other than exempt clearing in a Flood Hazard Area	Code assessment	Flood Hazard Overlay Code
Reconfiguring a Lot involving land in a Flood Hazard Area	Code assessment	Flood Hazard Overlay Code
Landslide Hazard and Steep Slope Overlay Landslide Hazard and Steep Slope Overlay Map - Steep Slope OM-07-A		
Material Change of Use in a: 1. 'Slope Hazard 15.1-20%' area; or 2. 'Slope Hazard 20.1-25%' area; and where involving: a. Animal husbandry; or b. Cropping; or c. domestic outbuildings associated with a Dwelling house or Dual occupancy; or d. Roadside stall.	Accepted	Not Applicable
Material Change of Use in a: 1. 'Slope Hazard 15.1-20%' area; or 2. 'Slope Hazard 20.1-25%' area; and where involving: 1. Caretaker's accommodation; or 2. Dual occupancy; or 3. Dwelling house; or 4. Home based business not involving a bed and breakfast or home based child care.	Accepted subject to requirements	Landslide Hazard and Steep Slope Overlay Code
Material Change of Use for any other use	Code assessment	Landslide Hazard and Steep

in a Steep Slope Area		Slope Overlay Code
<p>Operational Work involving filling or excavation in a Steep Slope Area and where:</p> <ol style="list-style-type: none"> 1. less than 100m³; or 2. less than 0.5m in height above or below natural ground level; or 3. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; <ol style="list-style-type: none"> a. has not lapsed; and b. states that a development approval for operational works for filling and excavation is not required. 	Accepted	Not applicable
<p>Operational work involving filling or excavation in a Steep Slope Area and where:</p> <ol style="list-style-type: none"> 1. 100m³ or greater; or 2. 0.5m or greater in height above or below natural ground level; and 3. where: <ol style="list-style-type: none"> a. not consistent with, or does not have, a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; <ol style="list-style-type: none"> i. has not lapsed; and ii. states that a development approval for operational works for filling and excavation is not required. 	Code assessable	Landslide Hazard and Steep Slope Overlay Code
<p>Operational Work involving the clearing of vegetation where:</p> <ol style="list-style-type: none"> 1. in a 'Slope Hazard 15.1-20%' area; or 2. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; <ol style="list-style-type: none"> a. has not lapsed; and b. states that a development approval for operational works for filling and excavation is not required. 	Accepted	Not applicable
<p>Operational Work involving the clearing of vegetation where:</p> <ol style="list-style-type: none"> 1. in a 'Slope Hazard 20.1-25%' area; or 2. in a 'Slope Hazard over 25%' area; and 3. where; <ol style="list-style-type: none"> a. not consistent with, or does not have, a material change of use development permit or a variation 	Code assessment	Landslide Hazard and Steep Slope Overlay Code

<p>approval (or equivalent approval under superseded legislation) which;</p> <ul style="list-style-type: none"> i. has not lapsed; and ii. states that a development approval for operational works for vegetation is not required. 		
<p>Reconfiguring a Lot involving land in a Steep Slope Area</p>	<p>Code assessment</p>	<p>Landslide Hazard and Steep Slope Overlay Code</p>
<p>Landslide Hazard and Steep Slope Overlay Landslide Hazard and Steep Slope Overlay Map - Landslide Hazard Area OM-07-B</p>		
<p>Material Change of Use in a Landslide Hazard Area and involving the following uses:</p> <ul style="list-style-type: none"> 1. Animal husbandry; or 2. Animal keeping; or 3. Cropping; and <p>where not involving building work.</p>	<p>Accepted</p>	<p>Not applicable</p>
<p>Material Change of Use where not Accepted Development and for any other use in a Landslide Hazard Area</p>	<p>Code assessment</p>	<p>Landslide Hazard and Steep Slope Overlay Code</p>
<p>Operational Work involving filling or excavation in a Landslide Hazard Area and where:</p> <ul style="list-style-type: none"> 1. less than 10m³; or 2. less than 0.5m in height above or below natural ground level; or 3. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which: <ul style="list-style-type: none"> a. has not lapsed; and b. states that a development approval for operational works for filling and excavation is not required. 	<p>Accepted</p>	<p>Not applicable</p>
<p>Operational work involving filling or excavation in a Landslide Hazard Area and where:</p> <ul style="list-style-type: none"> 1. 10m³ or greater; or 2. 0.5m or greater in height above or below natural ground level; and 3. where: <ul style="list-style-type: none"> a. not consistent with, or does not have, a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; <ul style="list-style-type: none"> i. has not lapsed; and ii. contains a condition stating that a development approval for operational works for filling 	<p>Code assessment</p>	<p>Landslide Hazard and Steep Slope Overlay Code</p>

and excavation is not required.		
Operational Work involving the clearing of vegetation in a Landslide Hazard Area where carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which; 1. has not lapsed; and 2. states that a development approval for operational works for vegetation clearing is not required.	Accepted	Not applicable
Operational Work involving the clearing of vegetation in a Landslide Hazard Area not consistent with, or does not have, a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which— 1. has not lapsed; and 2. states that a development approval for operational works for vegetation is not required.	Code assessment	Landslide Hazard and Steep Slope Overlay Code
Reconfiguring a Lot involving land in a Landslide Hazard Area	Code assessment	Landslide Hazard and Steep Slope Overlay Code
Local Heritage Overlay Local Heritage Overlay Map OM-08		
Material Change of Use in a Local Heritage Place	Code assessment	Local Heritage Overlay Code
Reconfiguring a Lot involving land in a Local Heritage Place	Code assessment	Local Heritage Overlay Code
Building Work not associated with a Material Change of Use in a Local Heritage Place	Code assessment	Local Heritage Overlay Code
Operational Work not associated with a Material Change of Use in a Local Heritage Place	Code assessment	Local Heritage Overlay Code
Regional Infrastructure Overlay Regional Infrastructure Overlay Map - Water and Wastewater Infrastructure OM-09-A and Regional Infrastructure Overlay Map - Electricity, Roads and Rail Infrastructure OM-09-B		
Material Change of Use if involving Animal husbandry or Cropping and in a: 1. Wastewater Treatment Plant Buffer Area; or 2. Bulk Water Supply Buffer Area; or 3. Major Electricity Infrastructure Buffer Area; or 4. Road Investigation Corridor; or 5. Rail Buffer Area.	Accepted	Not Applicable

<p>Material Change of Use for any other use in a:</p> <ol style="list-style-type: none"> 1. Wastewater Treatment Plant Buffer Area; or 2. Bulk Water Supply Buffer Area; or 3. Major Electricity Infrastructure Buffer Area; or 4. Road Investigation Corridor; or 5. Rail Buffer Area. 	<p>Accepted subject to requirements</p>	<p>Regional Infrastructure Overlay Code</p>
<p>Reconfiguring a Lot involving land in a:</p> <ol style="list-style-type: none"> 1. Wastewater Treatment Plant Buffer Area; or 2. Bulk Water Supply Buffer Area; or 3. Major Electricity Infrastructure Buffer Area; or 4. Road Investigation Corridor; or 5. Rail Buffer Area. 	<p>Code assessment</p>	<p>Regional Infrastructure Overlay Code</p>
<p>Operational Work involving excavation and filling:</p> <ol style="list-style-type: none"> 1. in a: <ol style="list-style-type: none"> a. Wastewater Treatment Plant Buffer Area; or b. Bulk Water Supply Buffer Area; or c. Major Electricity Infrastructure Buffer Area; or d. Road Investigation Corridor; or e. Rail Buffer Area; and 2. carried out in compliance with a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which— <ol style="list-style-type: none"> a. has not lapsed; and b. states that a development approval for operational works for excavation and filling is not required. 	<p>Accepted</p>	<p>Not applicable</p>
<p>Operational Work involving excavation and filling:</p> <ol style="list-style-type: none"> 1. in a: <ol style="list-style-type: none"> a. Wastewater Treatment Plant Buffer Area; or b. Bulk Water Supply Buffer Area; or c. Major Electricity Infrastructure Buffer Area; or d. Road Investigation Corridor; or e. Rail Buffer Area; and 2. not consistent with, or does not have, a material change of use development permit or a variation approval (or equivalent approval under superseded legislation) which— <ol style="list-style-type: none"> a. has not lapsed; and b. states that a development approval for operational works for 	<p>Code assessment</p>	<p>Regional Infrastructure Overlay Code</p>

excavation and filling is not required.		
Water Resource Catchments Overlay Water Resource Catchments Overlay Map - Catchment Areas OM-10-A		
Material Change of Use in a: 1. Water Supply Buffer Area; or 2. Water Resource Catchment Area; and involving: a. Animal husbandry (excluding a dairy); b. Animal keeping; c. Cropping; d. Dual occupancy; e. Dwelling house; f. Home based business; g. Park; h. Permanent plantation; or i. Roadside stall.	Accepted	Not applicable
Material Change of Use where not Accepted Development or Code Assessable and for any other use in a: 1. Water Supply Buffer Area; or 2. Water Resource Catchment Area.	Accepted subject to requirements	Water Resource Catchments Overlay Code
Material Change of Use in a: 1. Water Supply Buffer Area; or 2. Water Resource Catchment Area; and involving: a. Aquaculture where not minor aquaculture; b. Extractive industry; c. High impact industry; d. Intensive animal industry involving an ERA; e. Intensive horticulture where made assessable development by another table of assessment; f. Major sport, recreation and entertainment facility; g. Marine industry; h. Medium impact industry; i. Motor sport facility; j. Outdoor Sport and Recreation; k. Research and technology industry; l. Service station; m. Special industry; n. Transport depot where made assessable development by another table of assessment; or Utility installation that involves sewerage services, drainage services or stormwater services, waste management facilities.	Code assessment	Water Resource Catchments Overlay Code

Operational Work in a: 1. Water Supply Buffer Area; or 2. Water Resource Catchment Area; and 3. involving the clearing of native vegetation other than exempt clearing.	Accepted subject to requirements	Water Resource Catchments Overlay Code
Operational Work in a: 1. Water Supply Buffer Area; or 2. Water Resource Catchment Area; and 3. involving a non-tidal artificial waterway.	Code assessment	Water Resource Catchments Overlay Code
Operational Work in a Water Supply Buffer Area involving the disturbance of land with an area of 1,000m ² or greater in size.	Accepted subject to requirements	Water Resource Catchments Overlay Code
Reconfiguring a Lot involving the creation of additional lots in a: 1. Water Supply Buffer Area; or 2. Water Resource Catchment Area.	Code assessment	Water Resource Catchments Overlay Code
Master Plan Areas Overlay Master Plan Areas Overlay Map OM-11		
Reconfiguring a Lot involving land in a Master Plan Area.	Code assessment	Master Plan Areas Overlay Code
Transport Noise Corridor Overlay Transport Noise Corridor Overlay Map OM-12		
All development	For information purposes	Not applicable
Minimum Lot Size Overlay Minimum Lot Size Overlay Map OM-13		
All development	For administrative purposes	Not applicable
Higher Order Road Overlay Higher Order Road Overlay Map OM-14		
All development	For administrative purposes	Not applicable
Road Hierarchy Overlay Road Hierarchy Overlay Map OM-15		
All development	For information purposes	Not applicable
Flood Hazard Overlay - Category Area Flood Hazard Overlay - Category Area Map OM-6-B		
All assessable development under the Flood Hazard Overlay - Category Area	For administrative purposes	Not applicable
Water Resource Catchments Overlay Water Resource Catchments Overlay Map - Streams and Dams OM-10-B		
All assessable development under the Water Resource Catchments Overlay Map - Streams and Dams OM-10-B	For administrative purposes	Not applicable

Note - Some overlays may only be included for information purposes. Overlays included for information purposes do not change the category of assessment or assessment benchmark in the planning scheme.

Part 6 Zones

6.1 Preliminary

1. Zones organise the planning scheme area in a way that facilitates the location of preferred or acceptable land uses.
2. Zones are mapped and included in Schedule 2.
3. The categories of development and assessment for development in a zone are in Part 5.
4. Assessment benchmarks for zones are contained in a zone code.
5. A precinct may be identified for part of a zone.
6. Precinct provisions are contained in the zone code.
7. Each zone code identifies the following:
 - a. the purpose of the code
 - b. the overall outcomes that achieve the purpose of the code
 - c. the performance outcomes that achieve the overall outcomes and the purpose of the code
 - d. the acceptable outcomes that achieve the performance and overall outcomes and the purpose of the code
8. The following are the zone codes for the planning scheme:
 - a. Community Facilities Zone
 - b. Conservation Zone
 - c. District Centre Zone
 - d. Emerging Communities Zone
 - e. Industry Zone
 - f. Limited Development Zone
 - i. Flood Land Precinct
 - ii. Historical Subdivision Precinct
 - g. Local Centre Zone
 - h. Low Density Residential Zone
 - i. Mountain Residential Precinct
 - i. Low-Medium Density Residential Zone
 - j. Major Centre Zone
 - k. Major Tourism Zone
 - l. Minor Tourism Zone
 - m. Mixed Use Zone
 - i. Commercial / Industrial Precinct
 - n. Neighbourhood Centre Zone
 - o. Recreation and Open Space Zone
 - i. Passive Recreation Precinct
 - p. Rural Residential Zone
 - i. Rural Residential A Precinct
 - q. Rural Zone
 - i. Tamborine Mountain Rural Precinct
 - ii. Rural Escarpment Protection Precinct
 - r. Special Purpose Zone
 - i. Bromelton State Development Area
 - ii. Bulk Water Storage Precinct
 - s. Township Zone
 - i. Township Residential Precinct

6.2.1 Community Facilities Zone Code



6.2.1.1 Application

This code applies to development:

1. within the Community Facilities Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Community Facilities Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.1.2 Purpose and Overall Outcomes

1. The purpose of the Community Facilities Zone is to provide for community-related uses, activities and facilities, whether publicly or privately owned, including, for example:
 - a. educational establishments;
 - b. hospitals;
 - c. transport and telecommunication networks; and
 - d. utility installations.
2. The purpose of the Community Facilities Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates community services and activities that meet the social, cultural, educational, creative, spiritual, health or lifestyle needs of the community;
 - ii. complements surrounding land uses, particularly where the site adjoins a residential zone, residential activity or the Township Zone;
 - b. **Land uses:**
 - i. include a range of community services activities, infrastructure activities and other specified uses which provide essential services that meets the service needs of the community;
 - ii. can include higher impacting uses only where their location and intensity avoids impacts on the amenity of nearby residential activities and land in a residential zone;
 - iii. where involving Tourism activities, are limited to Environment facilities and Tourist parks (except where located at the Beacon Road Community Facilities Area) and Short term accommodation (where located at the Beacon Road Community Facilities Area and associated with a Place of worship or Function facility);
 - iv. include Outdoor sport and recreation, except where involving a rifle or shooting range;
 - v. where involving residential activities, are limited to Caretaker's accommodation and Community

- residence;
- vi. include:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.1.2.1 Consistent Uses and Potentially Consistent Uses in the Community Facilities Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.1.2.1 Consistent Uses and Potentially Consistent Uses in the Community Facilities Zone** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its impact, scale and intensity, built form and consistency with the character of the zone;
- vii. where not listed in **Table 6.2.1.2.1 Consistent Uses and Potentially Consistent Uses in the Community Facilities Zone** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
 - i. consists of purpose built buildings and structures that vary in function based on the nature of the use;
 - ii. involves development that contributes to creating attractive and functional buildings, streets and public spaces that complements surrounding development;
 - iii. is predominantly low rise and low intensity development that balances the particular operational requirements of the use with the character of the streetscape and surrounding area;
- d. **Built form:**
 - i. where possible, is adaptable to support a range of community functions;
 - ii. complements the scale, height and bulk of surrounding development;
 - iii. has setbacks that are consistent with surrounding development;
 - iv. is designed to ensure outdoor storage, utility, service and loading areas are hidden from public view to maintain the amenity of the street and public spaces;
 - v. incorporates design elements that provide:
 - A. opportunities for casual surveillance of streets and public spaces;
 - B. an attractive and active frontage to all streets and public spaces; and
 - C. buildings that address streets and public spaces;
 - vi. provides landscaping where buildings are set back from the street or a public space;
 - vii. is designed to minimise impacts upon the amenity of nearby land, including where the site adjoins a residential zone or residential activity;
- e. **Lot design:**
 - i. allows land to be used for a variety of community related uses.

Table 6.2.1.2.1 - Consistent Uses and Potentially Consistent Uses in the Community Facilities Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Community Services Activities	
Child care centre (where access is obtained from a higher order road) Club Community care centre Community use Educational establishment Emergency services Place of worship (where involving an extension to an existing Place of worship)	Cemetery Child care centre* Detention facility Hospital Place of worship*
Commercial Activities	
Health care service (where not exceeding 200m ² GFA) Market Outdoor sales (where involving livestock saleyard) Parking station	Function facility Funeral parlour Health care service*
Residential Activities	
Caretaker's accommodation Community residence	Short term accommodation (where associated with a Place of worship or where located at the Beacon Road Community Facilities Area and associated with a Place

	of worship or Function facility)
Tourism Activities	
Environment facility	Tourist park except where located at the Beacon Road Community Facilities Area
Recreational activities	
Indoor sport and recreation Outdoor sport and recreation (excluding rifle or shooting range) Park	
Infrastructure Activities	
Air service (where involving a helipad for Emergency Services) Major electricity infrastructure Renewable energy facility Substation Telecommunications facility Utility installation	Air service*
Rural Activities	
Animal husbandry Cropping Permanent plantation Roadside stall	

* other than as specified in column 1

6.2.1.3 Assessment Benchmarks

Table 6.2.1.3.1— Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes			
Setbacks				
PO1 Building setbacks: 1. allow for access around buildings; 2. contribute to streetscape character; 3. allow for landscaping; 4. are consistent with setbacks of adjoining buildings; 5. allow for on-site car parking; and 6. protect the amenity of an adjoining residential activity or land in a residential zone or the Township Zone. <i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>	AO1 Building setbacks are as follows:			
	Setback	Minimum Distances Measured in Metres (m)		
	Street frontage	6m		
	Side and rear boundary (other than where specified below)	Building Height	Setback	
		Up to 4.5m	1.5m	
For that part between 4.5m - 7.5m		2.0m		
	For that part exceeding 7.5m	An extra 0.5m is added for every 3m in height or part thereof over 7.5m		
Side and rear	Building Height	Setback		

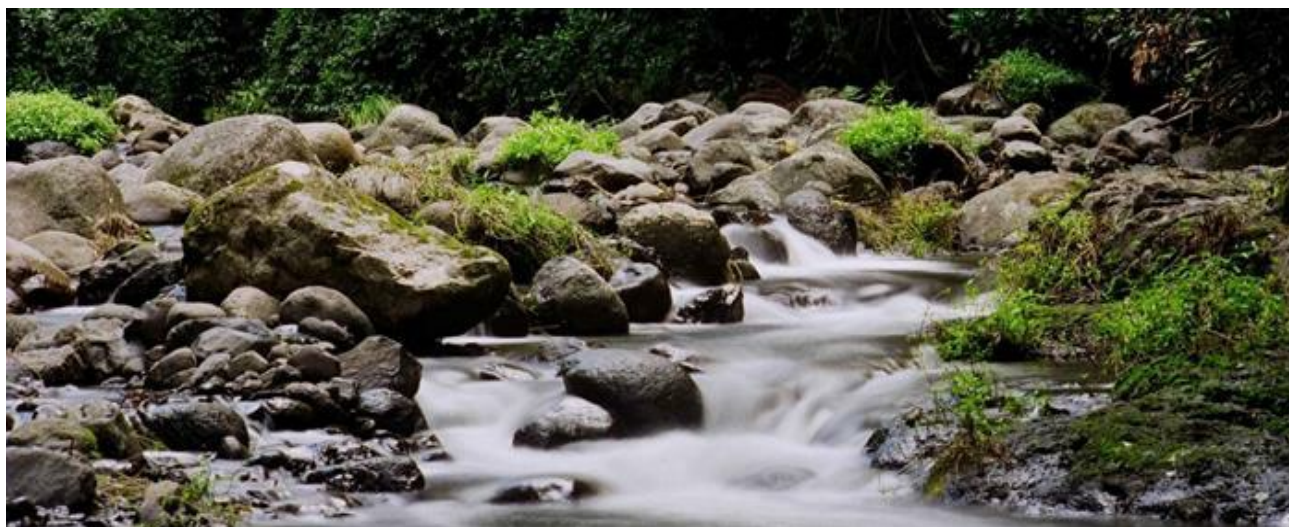
	boundary (where sharing a boundary with a lot that has a residential zone, a residential activity or the Township Zone)	Up to 4.5m	2m
		For that part between 4.5m - 7.5m	2.5m
		For that part exceeding 7.5m	An extra 0.5 m is added for every 3m in height or part thereof over 7.5m
	Side and rear boundary - within the Beacon Road Community Facilities Area and sharing a boundary with a lot that is not within the Community Facilities Zone.	Setback 10 metres	
<i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>			
Height			
PO2 Development is of a height that: 1. is predominantly low rise; 2. avoids impacts on the amenity of an adjoining residential activity or land in a residential zone or the Township Zone.	AO2 Development height: 1. where adjoining a residential zone, a residential activity or the Township Zone does not exceed 2 storeys with a maximum height of 8.5m; or 2. otherwise, does not exceed 11.5m.		

Table 6.2.1.3.2—Assessable Development

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
PO1 Development presents an attractive and active frontage to all streets and public spaces and enhances the character of the area through: 1. ensuring buildings address the street and public spaces; 2. ensuring buildings incorporate design elements that are visually interesting through variation to the external appearance; 3. providing opportunities for casual surveillance of streets and public spaces; 4. clearly defined building entrances.	AO1.1 Buildings achieve visual interest and articulation through a combination of the following: 1. variation in the horizontal plane through the use of recesses, columns or blades; 2. variation in parapet design or roof form; 3. variation in colour, patterns, textures or building materials; and 4. use of canopies, awnings or projections.
	AO1.2 Windows and balconies overlook the street and public spaces to provide opportunities for casual surveillance.
	AO1.3 Building entrances are clearly visible from the street.
	AO1.4 Buildings are designed to address the street and public spaces.

<p>PO2 Where adjacent to land in a residential zone, buildings are designed to have a residential scale and appearance.</p>	<p>AO2 No Acceptable Outcome is prescribed.</p>
<p>PO3 Where possible, development is designed to be adaptable to support a range of community functions.</p>	<p>AO3 No Acceptable Outcome is prescribed.</p>
<p>PO4 Outdoor storage, utility, service and loading areas are screened so they are not visible from the street and public spaces.</p>	<p>AO4 No Acceptable Outcome is prescribed.</p>
<p>PO5 Development provides aesthetic landscaping where set back from the street or a public space to:</p> <ol style="list-style-type: none"> 1. enhance and soften the built form; 2. enhance the streetscape character; and 3. contribute to attractive streets. 	<p>AO5 Development provides aesthetic landscaping that is:</p> <ol style="list-style-type: none"> 1. a minimum width of 1 metre; 2. within the site boundaries adjacent to all street and public place boundaries; and 3. designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design.
<p>Reconfiguration of a Lot</p>	
<p>PO6 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent in the zone.</p>	<p>AO6 Reconfiguring a lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.</p>

6.2.2 Conservation Zone Code



6.2.2.1 Application

This code applies to development:

1. within the Conservation Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Conservation Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.2.2 Purpose and Overall Outcomes

1. The purpose of the Conservation Zone is to provide for the management, protection and restoration of areas that support one or more of the following:
 - a. biological diversity;
 - b. ecological integrity;
 - c. naturally occurring landforms;
 - d. coastal processes.
2. The purpose of the Conservation Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. minimises impacts on the natural environment and complements the bushland and natural landscape setting;
 - ii. supports the management, protection and restoration of land of significant environmental value and natural landscape value and where in public ownership, facilitate the enjoyment of conservation areas by visitors;
 - iii. maintains a high level of amenity;
 - b. **Land uses:**
 - i. are intended to facilitate the conservation, interpretation, restoration and appreciation of areas of significant environmental value and natural landscape value;
 - ii. can include Environment facility and Nature-based tourism only where impacts on the natural environment are minimised;
 - iii. involving residential activities are limited to Caretaker's accommodation;
 - iv. can include Telecommunications facility only where the use cannot be located in another nearby zone and the use minimises impacts on the natural environment;
 - v. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.2.2.1 - Consistent Uses and Potentially Consistent Uses in the Conservation Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.3.2.1 - Consistent Uses and Potentially Consistent Uses in the Conservation Zone** having regard to such matters as

- its impact, scale and intensity, built form and consistency with the character of the zone.
- vi. where not listed in **Table 6.2.2.1 - Consistent Uses and Potentially Consistent Uses in the Conservation Zone** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
 - i. consists of areas of undeveloped land having significant environmental value and natural landscape value;
 - ii. involves buildings and infrastructure that support the management, interpretation and the enjoyment of natural areas by visitors where they integrate with and protect the significant environmental values and landscape character of the zone;
 - d. **Built form:**
 - i. complements the bushland and natural landscape setting;
 - ii. is located and designed to:
 - A. protect areas of significant environmental value;
 - B. minimise the removal of vegetation and natural habitat areas;
 - C. minimise modifications to the natural landform;
 - e. **Lot design:**
 - i. prevents the fragmentation of conservation land by preventing the creation of additional lots.

Table 6.2.2.1 - Consistent Uses in the Conservation Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Recreational Activities	
Park	
Tourism Activities	
Environment facility Nature-based tourism (where involving an extension to an existing Nature-based tourism)	Nature-based tourism*
Residential Activities	
Caretaker's accommodation	
Rural Activities	
Permanent plantation Animal husbandry	
Infrastructure Activities	
Telecommunications facility	

* other than as specified in column 1

6.2.2.3 Assessment Benchmarks

Table 6.2.2.3.1—Assessable Development

Performance Outcomes	Acceptable Outcomes	
Setbacks		
PO1 Building setbacks: 1. minimise the visual dominance of buildings when viewed from the road and adjoining land; and 2. reflect the low intensity character of the zone.	AO1 Building setbacks are as follows:	
	Setback	Minimum Distances Measured in Metres (m)
	Street frontage	10m

Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.	Side and rear boundary	10m
	Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.	
Height		
PO2 Development height is low-rise to complement the natural landscape setting.	AO2 Development height does not exceed 2 storeys with a maximum height of 8.5m.	
Built Form and Urban Design		
PO3 Built form: <ol style="list-style-type: none"> 1. is small scale and designed to complement the natural landscape setting; 2. minimises or avoids excavation and fill, or other modifications to the natural landform; 3. is below tree height when viewed from roads; and 4. is designed to reflect the natural character of the zone, with the use of: <ol style="list-style-type: none"> a. timber or natural materials; b. soft natural exterior colours; and c. patterns and textures. 	AO3 No Acceptable Outcome is prescribed.	
PO4 Development contributes to the rehabilitation of degraded areas.	AO4 No Acceptable Outcome is prescribed.	
Land Uses		
PO5 Tourism activities are: <ol style="list-style-type: none"> 1. limited to Environment facility and Nature based tourism; and 2. located and designed to minimise impacts on the natural environment. 	AO5 No Acceptable Outcome is prescribed.	
PO6 A Telecommunications facility: <ol style="list-style-type: none"> 1. demonstrates the use cannot be practically located in another nearby zone; and 2. is designed and located to minimise impacts on the natural environment. 	AO6 No Acceptable Outcome is prescribed.	
Reconfiguration of a Lot		
PO7 No additional lots are created.	AO7 No Acceptable Outcome is prescribed.	

6.2.3 District Centre Zone Code



6.2.3.1 Application

This code applies to development:

1. within the District Centre Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the District Centre Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.3.2 Purpose and Overall Outcomes

1. The purpose of the District Centre Zone is to provide for a large variety of uses and activities to service a district of the local government area, including, for example, administrative, business, community, cultural, entertainment, professional, residential or retail uses or activities.
2. The purpose of the District Centre Zone code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates a range of shopping and commercial uses, cafes and dining, and community services that supports and services the needs of:
 - A. Boonah and its sub-regional rural catchment; or
 - B. the Tamborine Mountain Plateau catchment;
 - ii. contributes to place making and provides a high level of streetscape amenity;
 - iii. where located on High Street in Boonah, maintains the existing 'high street' character;
 - b. **Land uses:**
 - i. include a range of commercial activities and community services activities that service the needs of the catchment;
 - ii. include Community residences, and Dwelling units where located above the ground floor or behind a commercial activity to maintain the predominant business and retail function of the zone;
 - iii. in the Boonah district centre include Multiple dwellings and Rooming accommodation, where located above the ground floor of a commercial activity to maintain the predominant business and retail function of the zone;
 - iv. include Short-term accommodation and Tourist attractions to service the travelling public;
 - v. include Low impact industry, where not located on lots fronting High Street, Boonah, and that do not detract from the amenity of the centres;
 - vi. include Outdoor sales, where not located on lots fronting High Street, Boonah or in the North Tamborine district centre;
 - vii. do not include Food and drink outlets with drive-through facilities in the North Tamborine district centre;
 - viii. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.3.2.1 - Consistent Uses and Potentially Consistent Uses in the District Centre Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.3.2.1 - Consistent Uses**

and Potentially Consistent Uses in the District Centre Zone where further assessment has determined that the use is appropriate in the zone having regard to such matters as its impact, scale and intensity, built form and consistency with the character of the zone.

ix. not listed in **Table 6.2.3.2.1 Consistent Uses and Potentially Consistent Uses in the District Centre Zone** are inconsistent uses and are not intended to occur in the zone;

c. Character:

- i. consists of a vibrant and active activity centre during the day and night, with attractive and functional buildings, streets and public spaces that provide for the enjoyment and safety of people;
- ii. is predominantly low to medium-rise development where located in the Boonah district centre and low-rise development where located in North Tamborine district centre that does not detract from the amenity of adjacent land in a residential zone;
- iii. consists of compact development that is designed to contribute to a walkable centre;
- iv. involves development that is designed to complement the built form and character within the centre;
- v. retains the existing 'high street' character where located in High Street, Boonah through consistent building design and buildings with little or no setback to the front boundary;

d. Built form:

- i. for development in the Boonah district centre, is low to medium-rise;
- ii. for development in the North Tamborine district centre, is low-rise;
- iii. enhances the streetscape character of the centre by:
 - A. locating buildings close to the street, creating a 'main street' appearance; and
 - B. locating and designing buildings to address the street and public spaces; and
 - C. locating on-site parking behind and/or to the side of buildings; and
 - D. designing attractive building facades that create visual interest;
- iv. incorporates design elements that provide opportunities for casual surveillance of streets and public spaces;
- v. provides a safe and comfortable pedestrian experience through continuous shading along building frontages and designing development that supports the efficient movement of people to streets, public spaces and neighbouring uses;
- vi. is designed to ensure outdoor storage, utility, service and loading areas are hidden from public view to maintain the amenity of the street and public spaces, and adjacent land located in a residential zone;
- vii. provides landscaping where buildings are set back from the street or a public space;
- viii. does not detract from the amenity of adjacent land in a residential zone;

e. Lot design:

- i. supports the flexible range of land uses envisaged in the zone.

Table 6.2.3.2.1 - Consistent Uses and Potentially Consistent Uses in the District Centre Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Commercial Activities	
Adult store Agricultural supplies store Bar Car wash (where not located on Tamborine Mountain) Food and drink outlet (not involving a drive-through facility in the North Tamborine district centre) Function facility Funeral parlour Garden centre Hardware and trade supplies Health care service Hotel Market Nightclub entertainment facility (where located in the Boonah district centre) Office Outdoor sales (where located in the Boonah district centre but excluding lots fronting High Street)	Car wash*

Parking station Service industry Service station Shop Shopping centre Showroom Theatre Veterinary service	
Residential Activities	
Community residence Dwelling unit (where located above the ground floor of a commercial activity or behind a commercial activity) Home based business (If not involving Industrial activities other than minor industrial activities)	Multiple dwelling (where located above the ground floor of a commercial activity in the Boonah district centre) Rooming accommodation (where located above the ground floor of a commercial activity in the Boonah district centre)
Tourism Activities	
Short-term accommodation Tourist attraction	
Community Services Activities	
Child care centre Club Community care centre Community use Educational establishment Emergency services Place of worship	Hospital
Industrial Activities	
Low impact industry (excluding lots that front High Street, Boonah)	
Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (where involving a minor utility installation)	Major electricity infrastructure*
Recreational activities	
Indoor sport and recreation Park	

* other than as specified in column 1

6.2.3.3 Assessment Benchmarks

Table 6.2.3.3.1 — Assessable Development

Performance Outcomes	Acceptable Outcomes
Setbacks	
PO1 Building setbacks:	AO1 Building setbacks are as follows:

<p>1. contribute to the streetscape character and a 'main street' appearance; 2. assist in creating a walkable centre; 3. assist in the protection of adjacent land in a residential zone; and 4. allow for access and landscaping around the building.</p> <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>	Setback		Minimum Distances Measured in Metres (m)		
	Street frontage		0m (Maximum 2m)		
	Side and rear boundary (where sharing a boundary with a lot that has a residential zone)	Building Height		Setback	
		Up to 4.5m		2m	
		For that part between 4.5m - 7.5m		2.5m	
For that part exceeding 7.5m		An extra 0.5 is added for every 3 m in height or part thereof over 7.5m			
<i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>					
Height					
<p>PO2 Development is of a height that:</p> <ol style="list-style-type: none"> is low to medium-rise where located in the Boonah district centre; is low-rise where located in the North Tamborine district centre; and does not impact on the amenity of adjacent land in a residential zone. 	AO2.1 Development height in the Boonah district centre does not exceed 3 storeys and a maximum height of 12m.				
	AO2.2 Development height in North Tamborine district centre does not exceed 2 storeys and a maximum height of 8.5m.				
Built Form and Urban Design					
<p>PO3 Development presents an attractive and active frontage to all streets and public spaces, and enhances the character of the zone through:</p> <ol style="list-style-type: none"> ensuring buildings address the street and public spaces; ensuring buildings are visually interesting through articulation and variation to the external appearance; providing opportunities for casual surveillance; and clearly defined building entrances. 	AO3.1 Buildings are designed to address the street and public spaces.				
	AO3.2 A minimum of 65% of the ground floor facade is windowed.				
	AO3.3 The unarticulated length of any external wall along a street frontage or where buildings front a public space does not exceed 10m.				
	AO3.4 Buildings achieve visual interest and articulation through a combination of the following: <ol style="list-style-type: none"> variation in the horizontal plane through the use of recesses, columns or blades; variation in parapet design or roof form; variation in colour, patterns, textures and building materials; and canopies, awnings or projections. 				
	AO3.5 Windows and balconies located above ground floor overlook the street and public spaces to provide opportunities for casual surveillance.				
	AO3.6				

	Building entrances are clearly visible from the street.
PO4 Development: 1. creates a comfortable pedestrian experience by providing continuous shading along building frontages; and 2. ensures that pedestrians can easily and efficiently access the street and public spaces.	AO4 Buildings provide continuous shade to footpaths through the use of: 1. awnings, verandahs or the like; or 2. an overhanging first floor balcony.
PO5 Development: 1. avoids large areas of hard stand addressing streets and public spaces; and 2. locates parking areas behind and/or to the side of buildings.	AO5 No Acceptable Outcome is prescribed.
PO6 Development located along High Street, Boonah retains the existing 'high street' character through: 1. consistent building design; and 2. buildings with little or no setback to the front boundary.	AO6 No Acceptable Outcome is prescribed.
Amenity	
PO7 Outdoor storage, utility, service and loading areas are screened so they are not visible from: 1. the street and public spaces; and 2. adjacent land in a residential zone.	AO7 No Acceptable Outcome is prescribed.
PO8 Development: 1. does not detract from the amenity of adjoining land in a residential zone; and 2. affords privacy to adjoining land in a residential zone.	AO8 Where adjoining land in a residential zone: 1. development provides buffer landscaping with a minimum width of 2m or solid fencing 1.8m high along the common boundary; and 2. development screens or obscures any window 1.8m above ground level that has a direct view of land in a residential zone.
Land Uses	
PO9 Industrial activities: 1. are not located on lots that front High Street, Boonah; 2. are established where they do not detract from the character and amenity of the district centres; and 3. do not detract from the amenity of adjacent land in a residential zone.	AO9 No Acceptable Outcome is prescribed.
Reconfiguration of a Lot	
PO10 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone.	AO10 Reconfiguring a lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.

6.2.4 Emerging Community Zone Code

6.2.4.1 Application

This code applies to development:

1. within the Emerging Community Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Emerging Community Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.4.2 Purpose and Overall Outcomes

1. The purpose of the Emerging Community Zone is to:
 - a. identify land that is intended for an urban purpose in the future; and
 - b. protect land that is identified for an urban purpose in the future from incompatible uses; and
 - c. provide for the timely conversion of non-urban land to land for urban purposes.
2. The purpose of the Emerging Community Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. does not compromise the future urban development potential of the land until detailed land use and infrastructure planning has been undertaken and approved by the local government.
 - b. **Land uses:**
 - i. consist of low intensity, interim activities including Animal husbandry, Cropping, Dwelling house, Caretaker's accommodation and Park, which do not compromise the future urban development potential of the land.
 - ii. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.4.2.1 Consistent Uses and Potentially Consistent Uses in the Emerging Community Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.4.2.1 Consistent Uses and Potentially Consistent Uses in the Emerging Community Zone** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its impact, scale and intensity, built form and consistency with the character of the zone.
 - iii. where not listed in **Table 6.2.4.2.1 Consistent Uses and Potentially Consistent Uses in the Emerging Community Zone** are inconsistent uses and are not intended to occur in the zone;
 - c. **Character:**
 - i. consists of low intensity and low scale land uses on large expanses of undeveloped land with limited infrastructure;
 - d. **Built form:**
 - i. is low rise and maintains a very low density consistent with the low intensity character of the zone;
 - ii. is sited to protect the amenity of adjacent uses and provide an appropriate level of privacy;
 - e. **Lot design:**
 - i. Does not result in the fragmentation of land prior to its planned development for urban purposes, which is established by the local government.

Table 6.2.4.2.1 - Consistent Uses and Potentially Consistent Uses in the Emerging Community Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Rural Activities	
Animal Husbandry Cropping Roadside Stall	

Infrastructure Activities	
Major electricity infrastructure Telecommunications facility Utility installation (where involving a minor utility installation)	Renewable energy facility Utility installation *
Residential Activities	
Dwelling house Home based business Caretaker's accommodation	
Tourist Activities	
Short-term accommodation (if involving a holiday home)	
Recreational Activities	
Park	

*other than as specified in column 1

6.2.4.3 Assessment Benchmarks

Table 6.2.4.3.1 — Assessable Development

Performance Outcomes	Acceptable Outcomes								
Setbacks									
PO1 Building setbacks: 1. maintain the very low density character of the zone; 2. assist in the protection of adjacent amenity and privacy; 3. allow for access around the buildings; and 4. minimise the potential for land use conflict. Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.	AO1 Building setbacks are as follows:								
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage</td> <td>10m</td> </tr> <tr> <td>Side and rear boundary (other than where specified below)</td> <td>6m</td> </tr> <tr> <td>Side and rear boundary (where involving tourism activities)</td> <td>20m</td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Street frontage	10m	Side and rear boundary (other than where specified below)	6m	Side and rear boundary (where involving tourism activities)	20m
	Setback	Minimum Distances Measured in Metres (m)							
	Street frontage	10m							
	Side and rear boundary (other than where specified below)	6m							
Side and rear boundary (where involving tourism activities)	20m								
	Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.								
Height									
PO2 Development is of a height that: 1. is low-rise; 2. does not detract from the amenity of adjoining premises; and 3. does not compromise the future use of the land for urban purposes.	AO2 Development does not exceed 2 storeys and a maximum height of 8.5m.								
Site Cover									
PO3	AO3								

<p>A building or structure for an interim use has a site cover that protects the visual amenity and is compatible with the landscape character of the zone.</p>	<p>A building or structure for an interim use has a maximum site cover of 10% or 700m², whichever is the greater.</p>
<p>Built Form and Urban Design</p>	
<p>PO3 Development maintains and protects important views to significant landscape features, such as ridgelines.</p>	<p>AO3 Development:</p> <ol style="list-style-type: none"> 1. protects the views from public places of significant landscapes features; 2. avoids building on a ridgeline; and 3. does not obstruct the views to a ridgeline from a road (refer to Figure 1). <div data-bbox="798 600 1417 884" data-label="Image"> </div> <p style="text-align: center;">Figure 1.</p>
<p>Reconfiguration of a Lot</p>	
<p>PO4 Reconfiguration does not result in the fragmentation of land prior to its planned development for urban purposes.</p>	<p>AO4 No Acceptable Outcome is prescribed.</p>

6.2.5 Industry Zone Code



6.2.5.1 Application

This code applies to development:

1. within the Industry Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Industry Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.5.2 Purpose and Overall Outcomes

1. The purpose of the Industry Zone is to provide for:
 - a. a variety of industry activities; and
 - b. other uses and activities that:
 - i. support industry activities; and
 - ii. do not compromise the future use of premises for industry activities.
2. The purpose of the Industry Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates low to medium impact industries on a variety of lot sizes;
 - ii. does not detract from the amenity of nearby non-industrial land, the street and public spaces;
 - iii. protects existing and future industrial land from incompatible uses;
 - b. **Land uses:**
 - i. include industrial activities (excluding High impact industry and Special industry) where they are designed, operated and managed to maintain public safety and avoid impacts on nearby sensitive receivers;
 - ii. do not include High impact industry and Special industry uses due to the proximity of industrial zoned land to sensitive receivers;
 - iii. can include small scale, ancillary and subordinate retailing for the display and sale of goods manufactured on site as part of an industrial activity;
 - iv. include non-industrial activities that directly service, are ancillary to, or compatible with industrial activities where they do not compromise the future use of land in the zone for its intended purpose;
 - v. can include minor Food and drink outlet that directly services industrial areas and where not involving a drive-through facility;
 - vi. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.5.2.1 Consistent Uses and Potentially Consistent Uses in the Industry Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.5.2.1 Consistent Uses**

- and Potentially Consistent Uses in the Industry Zone** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its impact, scale and intensity, built form and consistency with the character of the zone.
- vii. where not listed in **Table 6.2.5.2.1 Consistent Uses and Potentially Consistent Uses in the Industry Zone** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
- i. consists of development that is low to medium rise and does not adversely detract from the amenity of nearby non-industrial land;
 - ii. involves development that contributes to creating visual interest, and provides for the safety of people;
 - iii. involves landscaping that enhances the appearance of buildings, structures, outdoor storage areas and car park areas when viewed from the street or public space;
 - iv. consists of varying lot sizes to accommodate a variety of small, medium and large businesses within the one locality;
- d. **Built form:**
- i. is low to medium rise to allow for the effective operation of industrial activities;
 - ii. is visually interesting through variation in external appearance and buildings that address the street;
 - iii. ensures buildings and structures are sited to provide safe and legible access for pedestrians;
 - iv. provides landscaping where buildings are set back from the street or a public space;
 - v. is designed not to detract from the amenity of nearby sensitive receivers;
 - vi. where located in Boonah, does not compromise aircraft safety in the operational airspace of the adjacent air field;
- e. **Lot design:**
- i. allows for the efficient operation of low to medium impact industrial activities on a mixture of lot sizes.

Table 6.2.5.2.1 - Consistent Uses and Potentially Consistent Uses in the Industry Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Industrial Activities	
Bulk landscape supplies Crematorium Low impact industry Medium impact industry Research and technology industry Transport depot Warehouse Winery	
Commercial Activities	
Agricultural supplies store Car wash Food and drink outlet (not exceeding 200m ² GFA and not involving a drive through facility) Funeral parlour Hardware and trade supplies Outdoor sales (excluding motor vehicle sales yard) Parking station Service industry Service station	
Community Services Activities	
Emergency services	
Infrastructure Activities	
Major electricity infrastructure Substation Telecommunications facility	Renewable energy facility Utility installation *

Utility installation (where involving a minor utility installation)	
Residential Activities	
Caretaker's accommodation Sales office	
Recreational Activities	
Indoor sport and recreation Park	

*other than as specified in column 1

6.2.5.3 Assessment Benchmarks

Table 6.2.5.3.1 — Assessable Development

Performance Outcomes	Acceptable Outcomes				
Setbacks					
PO1 Setbacks: <ol style="list-style-type: none"> reduce the visual dominance of buildings and structures as viewed from the street; allow for landscaping along street frontages; and provide separation to protect the amenity of adjoining sensitive land uses and land in a residential zone. Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.	AO1.1 Setbacks are as follows:				
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage</td> <td>6m</td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Street frontage	6m
	Setback	Minimum Distances Measured in Metres (m)			
	Street frontage	6m			
	Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.				
		AO1.2 Setbacks where adjoining a sensitive land use (other than a Caretaker's accommodation) or land in a residential zone:			
<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Any common boundary</td> <td>10m</td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Any common boundary	10m	
Setback	Minimum Distances Measured in Metres (m)				
Any common boundary	10m				
Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.					
Height					
PO2 Development is of a height that: <ol style="list-style-type: none"> is low to medium rise; does not detract from the amenity of an adjoining premises in a non-industrial zone; and does not create an intrusion into or compromise aircraft safety in the operational airspace of the Boonah Airfield. 	AO2 The height of development; <ol style="list-style-type: none"> does not exceed: <ol style="list-style-type: none"> 15m if: <ol style="list-style-type: none"> greater than 20m from a sensitive land use (excluding Caretaker's residence); and not adjoining land in a non-industrial zone; or 8.5m if: <ol style="list-style-type: none"> within 20m of a sensitive land use (excluding Caretaker's residence); or site adjoins land in a non-industrial zone; and does not encroach into the obstacle limitation surface of the Boonah Airfield. Editors' Note - A copy of the obstacle limitation surface for				

	<i>the Boonah Airfield is available from Council on request.</i>
Built Form and Urban Design	
PO3 Development ensures buildings: <ol style="list-style-type: none"> 1. address the street; and 2. are visually interesting through variation to the external appearance. 	A03.1 Buildings are designed to address the street.
	A03.2 Visual interest is achieved through variation in colour, patterns, textures or building materials.
PO4 Development is designed and located to provide easy and safe access to buildings by pedestrians.	A04 The main entry to any building is: <ol style="list-style-type: none"> 1. easily identifiable and visible from the street; and 2. directly accessible by pedestrians from car park areas, street frontages and public spaces via a sealed surface.
Amenity	
PO5 Development: <ol style="list-style-type: none"> 1. does not detract from the amenity of an adjoining sensitive receiver, which includes land in a residential zone; and 2. affords privacy to adjoining land is located in a residential zone. 	A05 Where adjoining sensitive receivers, which includes land in a residential zone: <ol style="list-style-type: none"> 1. buildings are set back at least 10m from the common boundary; and 2. development provides buffer landscaping with a minimum width of 2m or solid fencing 1.8m high along the common boundary; and 3. development screens or obscures any window 1.8m above ground level that has a direct view of a sensitive receiver, which includes land in a residential zone.
	PO6 Landscaping is provided to: <ol style="list-style-type: none"> 1. enhance the streetscape character; and 2. soften the appearance of the industrial buildings, outdoor storage areas and car parking areas when viewed from the street or a public space.
Land Use	
PO7 Any retail sales function associated with an industrial activity conducted on the site: <ol style="list-style-type: none"> 1. only involves the retailing of products manufactured on site; 2. is an ancillary and subordinate component to the industrial activity carried out on site; 3. is located in an area that is readily visible and safely accessible for visitors to the site; and 4. is small in scale. 	A07.1 Industrial activities involving an ancillary retail sale function only retails products manufactured on site.
	A07.2 The maximum GFA to be used for ancillary retail sales is 30% of the total GFA of the development or 150m ² , whichever is the lesser.
	A07.3 Any retail sales area: <ol style="list-style-type: none"> 1. is sited and orientated towards the street frontage of the site; and 2. provides easily identifiable and sealed pedestrian access between the front boundary and the retail sales area.
PO8 Development involving a Food and drink outlet is of a size that services the needs of the immediate industrial zoned land only.	A08 Development involving a Food and drink outlet does not exceed 200m ² GFA.

Reconfiguration of a Lot

PO9

Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone and provides a mixture of industrial lot sizes.

AO9

Reconfiguring a lot complies with the standards in **Table 9.4.6.3.2 - Minimum Lot Size and Design.**

6.2.6 Limited Development Zone Code



6.2.6.1 Application

This code applies to development:

1. within the Limited Development Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Limited Development Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.6.2 Purpose and Overall Outcomes

1. The purpose of the Limited Development Zone is to identify land that is significantly affected by 1 or more development constraints, including, for example, constraints relating to defence requirements, flooding, historical subdivisions, land contamination, past or future mining activities or topography.

***Editor's Note** - Land included in the Limited Development Zone is not an urban area for the purpose of the Planning Regulation 2017.*

2. The purpose of the Limited Development Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. is responsive to the significant constraints of the land and is limited in the range of land uses that can occur;
 - ii. where located in the Flood Land Precinct, is responsive to the constraints of the land;
 - iii. where located in the Historical Subdivision Precinct, maintains a rural living character and does not create high density residential communities in isolated areas of the region where services and infrastructure are unavailable and are not planned to become available;
3. The purpose of the **Limited Development Zone Code (Where no precinct applies)** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. is responsive to the significant constraints of the land;
 - b. **Land uses:**
 - i. are limited and of a low scale and intensity due to the significant constraints of the land;
 - ii. may include low-impact, small-scale residential living in the form of a Dwelling house where compatible with the surrounding area and where constraints can be appropriately mitigated;
 - iii. are provided with an appropriate level of infrastructure and access;
 - iv. are limited to the uses listed as a consistent use in column 1 of **Table 6.2.6.2.1 - Consistent Uses and Potentially Consistent Uses in the Limited Development Zone (Where no precinct applies)**;
 - v. where not listed in **Table 6.2.6.2.1 Consistent Uses and Potentially Consistent Uses in the**

Limited Development Zone (Where no precinct applies) are inconsistent uses and are not intended to occur in the zone;

- c. **Character:**
 - i. consists of predominantly undeveloped land with an open space character;
- d. **Built form:**
 - i. is limited to open buildings and structures associated with Animal husbandry, Cropping or a Park that are compatible with the constraints of the land;
 - ii. may include Dwelling houses to facilitate small-scale residential living that is designed to reflect the significant constraints of the land and where compatible with the amenity of the area;
- e. **Lot design:**
 - i. does not involve the creation of additional lots; and
 - ii. supports the limited land uses envisaged in the zone where involving a boundary realignment or easement.

Table 6.2.6.2.1 - Consistent Uses and Potentially Consistent Uses in the Limited Development Zone (Where no precinct applies)

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Rural Activities	Residential Activities
Animal husbandry	Dwelling house
Cropping	
Recreational Activities	
Park	
Infrastructure Activities	Infrastructure Activities
Major electricity infrastructure (where proposed as underground infrastructure)	Major electricity infrastructure*

**other than as specified in column 1*

- 4. The purpose of the **Limited Development Zone Code - Flood Land Precinct** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. protects people and property from the significant safety risk of flood by limiting development to non-habitable uses and uses that do not increase the number of people congregating on flood prone land;
 - b. **Land uses:**
 - i. are limited due to the significant flooding constraints of land contained in the precinct and subsequently, the inability to mitigate the risk to people and property to an acceptable level;
 - ii. that increase the number of people congregating or involve the construction of buildings on land having a significant flooding constraint including residential activities, commercial activities, community services activities, industrial activities, infrastructure activities and tourism activities are not supported;
 - iii. do not include the expansion of existing low density residential activities;
 - iv. are limited to the uses listed as a consistent use in column 1 of **Table 6.2.6.2.2 - Consistent Uses in the Limited Development Zone - Flood Land Precinct**;
 - v. where not listed in **Table 6.2.6.2.2 Consistent Uses and Potentially Consistent Uses in the Limited Development Zone - Flood Land Precinct** are inconsistent uses and are not intended to occur in the zone;
 - c. **Character:**
 - i. consists of largely undeveloped land;
 - d. **Built form:**
 - i. is limited to open buildings and structures associated with Animal husbandry, Cropping or a Park that are compatible with the flood constraints of the land;
 - ii. does not impact on the flood characteristics of flood affected areas;
 - iii. directly, indirectly and cumulatively avoids an increase in the exposure or severity of flood hazard on

- the site or other land;
- e. **Lot design:**
 - i. does not involve the creation of additional lots; and
 - ii. supports the limited land uses envisaged in the zone where involving a boundary realignment or easement.

***Editor's Note** - Refer also to the Flood Hazard Overlay Code and mapping for additional requirements that apply to land in a Flood Hazard Area.*

Table 6.2.6.2.2 - Consistent Uses in the Limited Development Zone - Flood Land Precinct

Column 1 Consistent Uses
Rural Activities
Animal husbandry Cropping
Recreational Activities
Park

5. The purpose of the **Limited Development Zone Code - Historical Subdivision Precinct** will be achieved through the following overall outcomes:
- a. **Development:**
 - i. provides a rural living character commensurate with the limited services and infrastructure available in the historical subdivisions of Clumber, Croftby, Fassifern Valley, Munbilla, Rosevale and Warrill View;
 - ii. avoids the creation of medium or high density residential communities in isolated, unserviced and inaccessible areas of the region; and
 - iii. encourages the amalgamation of small lots;
 - b. **Land uses:**
 - i. are compatible with the limited level of infrastructure and service provision;
 - ii. provide for a Dwelling house on a lot at least 2ha (or where in Harrisville, 4000m²) in area where safe and lawful access to a constructed road is obtained;
 - iii. include very low impact rural activities;
 - iv. are limited to the uses listed as a consistent use in column 1 of **Table 6.2.6.2.2 - Consistent Uses in the Limited Development Zone - Historical Subdivision Precinct**;
 - v. where not listed in **Table 6.2.6.2.2 Consistent Uses in the Limited Development Zone - Historical Subdivision Precinct** are inconsistent uses and are not intended to occur in the zone;
 - c. **Character:**
 - i. consists predominantly of Dwelling houses on lots with a minimum area of 2ha (or where in Harrisville, 4000m²) in a rural or natural landscape setting;
 - d. **Built form:**
 - i. is small scale and low-rise and serviced by on-site water supply and waste water disposal where reticulated services are unavailable;
 - e. **Lot design:**
 - i. does not involve the creation of additional lots and encourages the amalgamation of lots; and
 - ii. supports the limited land uses envisaged in the zone.

Table 6.2.6.2.3 - Consistent Uses in the Limited Development Zone - Historical Subdivision Precinct

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Rural Activities	
Animal husbandry Cropping Roadside stall	
Residential Activities	

Dwelling house (where the lot is a minimum 2 ha (or where in Harrisville, 4000m ²)) Home based business (if not involving Industrial activities other than minor industrial activities)	
Tourism Activities	
Short term accommodation (where involving a holiday home)	
Recreational Activities	
Park	
Infrastructure Activities	Infrastructure Activities
Major electricity infrastructure (where proposed as underground infrastructure)	Major electricity infrastructure*

*other than as specified in column 1

6.2.6.3 Assessment Benchmarks

Table 6.2.6.3.1—Accepted and Assessable Development - Historical Subdivision Precinct

Performance Outcomes	Acceptable Outcomes														
Setbacks															
PO1 Building setbacks: 1. assist in the protection of residential amenity and privacy to adjoining premises; 2. allow for access around the building; and 3. allow for on-site car parking between the front boundary and buildings. <i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>	AO1 Building setbacks are as follows:														
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage for all uses</td> <td>6m</td> </tr> <tr> <td rowspan="3">Side and rear boundary</td> <td> <table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>3m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table> </td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Street frontage for all uses	6m	Side and rear boundary	<table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>3m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table>	Building Height	Setback	Up to 4.5m	3m	For that part between 4.5m — 7.5m	5m	For that part exceeding 7.5m	5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m
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Building Height		Setback													
Up to 4.5m		3m													
For that part between 4.5m — 7.5m	5m														
For that part exceeding 7.5m	5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m														
<i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>															
Height															
PO2 Development is of a height that: 1. is low rise; 2. does not detract from the amenity of adjoining premises; and 3. is compatible with the height of nearby residential activities.	AO2 Buildings and structures do not exceed 2 storeys with a maximum height of 8.5m.														

Table 6.2.6.3.2—Assessable Development - Historical Subdivision Precinct

Performance Outcomes	Acceptable Outcomes
Land Uses	
PO1 Development being a Dwelling house: <ol style="list-style-type: none"> 1. facilitates low density rural living; and 2. is located on a lot having a minimum area of 2 ha (or where in Harrisville, 4000m²). 	AO1 No Acceptable Outcome is prescribed.
Access	
PO2 Development obtains access from a constructed road.	AO2 No Acceptable Outcome is prescribed.
Reconfiguration of a Lot	
PO3 Reconfiguring a lot: <ol style="list-style-type: none"> 1. does not involve the creation of additional lots; 2. where involving a boundary realignment or easement, creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone; and 3. complies with Table 9.4.6.3.2 - Minimum Lot Size and Design. 	AO3 No Acceptable Outcome is prescribed.

6.2.7 Local Centre Zone Code



6.2.7.1 Application

This code applies to development:

1. within the Local Centre Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Local Centre Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.7.2 Purpose and Overall Outcomes

1. The purpose of the Local Centre Zone is to provide for:
 - a. a limited variety of commercial, community and retail activities to service local residents; and
 - b. other uses and activities that integrate with, and enhance, the local centre, including, for example, entertainment, shopping or residential uses.
2. The purpose of the Local Centre Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates a range of shopping and commercial uses, cafes and dining and community services that supports the needs of:
 - A. Canungra and the surrounding rural catchment;
 - B. Kalbar and the surrounding rural catchment; or
 - C. Kooralbyn.
 - ii. contributes to place making and provides a high level of streetscape amenity;
 - iii. where located in Canungra, contributes to the existing traditional rural village character;
 - iv. where located in Kalbar, maintains the existing traditional rural village and historical character;
 - b. **Land uses:**
 - i. include a range of commercial activities, with the exception of Outdoor sales or Nightclub entertainment facility;
 - ii. include community services activities that service the needs of the catchment;
 - iii. include Short-term accommodation to service the travelling public;
 - iv. include a Dwelling unit, where located above the ground floor or behind non-residential uses;
 - v. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.7.2.1 Consistent Uses and Potentially Consistent Uses in the Local Centre Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.7.2.1 Consistent Uses and Potentially Consistent Uses in the Local Centre Zone** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone;
 - vi. not listed in **Table 6.2.7.2.1 Consistent Uses and Potentially Consistent Uses in the Local Centre Zone** are inconsistent uses and are not intended to occur in the zone;

- c. **Character:**
 - i. consists of a vibrant and active activity centre during the day and night with attractive and functional buildings, streets and public spaces that provide for the enjoyment and safety of people;
 - ii. is predominately low-rise development that does not detract from the amenity of adjacent land in a residential zone;
 - iii. consists of compact development that is designed to contribute to a walkable centre;
 - iv. where in Canungra, contributes to the traditional rural village character by incorporating design elements found in existing traditional buildings such as similar roof design, building materials, scale and setbacks;
 - v. where in Kalbar, retains the existing traditional rural village and historical character by incorporating design elements found in existing traditional buildings such as similar roof form, building materials, scale and setbacks.
- d. **Built form:**
 - i. is low-rise and compatible with the building height of nearby development;
 - ii. enhances the streetscape character of the centre by:
 - A. locating buildings close to the street, creating a 'main street' appearance;
 - B. locating and designing buildings to address the street and public spaces;
 - C. locating on-site car parking behind and/or to the side of buildings; and
 - D. designing attractive building facades and roof design;
 - iii. incorporates design elements that provide opportunities for casual surveillance of streets and public spaces;
 - iv. provides a safe and comfortable pedestrian experience through continuous shading along building frontages and designing development that supports the efficient movement of people to streets, public spaces and neighbouring uses;
 - v. ensures outdoor storage, utility, service and loading areas are hidden from public view to maintain the amenity of the street and public spaces, and adjacent land located in a residential zone;
 - vi. does not detract from the amenity of adjacent land in a residential zone;
- e. **Lot design:**
 - i. supports the flexible range of land uses envisaged in the zone.

Table 6.2.7.2.1 - Consistent Uses and Potentially Consistent Uses in the Local Centre Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Commercial Activities	
Adult store Agricultural supplies store Bar Car wash Food and drink outlet Function facility Funeral parlour Garden centre Hardware and trade supplies Health care service Hotel Market Office Parking station Service industry Service station Shop Shopping centre Showroom Veterinary service	Theatre
Tourism Activities	
Short-term accommodation	

Community Services Activities	
Child care centre Club Community care centre Community use Educational establishment Emergency services	
Infrastructure Activities	
Substation Telecommunications facility Utility installation (where involving minor utility installation) Major electricity infrastructure (where proposed as underground infrastructure)	Major electricity infrastructure *
Recreational Activities	
Indoor sport and recreation Park	
Residential Activities	
Community residence Dwelling unit (where located above the ground storey or behind a commercial activity) Home based business (if not involving Industrial Activities other than minor industrial activities)	

* other than as specified in column 1

6.2.7.3 Assessment Benchmarks

Table 6.2.7.3.1—Assessable Development

Performance Outcomes	Acceptable Outcomes														
Setbacks															
PO1 Building setbacks: 1. contribute to the streetscape character and a 'main street' appearance; 2. assist in creating a walkable centre; 3. assist in the protection of adjacent land in a residential zone; and 4. allow for access and landscaping around the building. <i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>	AO1 Building setbacks are as follows:														
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage</td> <td>0m (Maximum 1.5m)</td> </tr> <tr> <td rowspan="3">Side and rear boundary (where sharing a boundary with a lot that has a residential zone)</td> <td> <table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>2m</td> </tr> <tr> <td>For that part between 4.5m - 7.5m</td> <td>2.5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>An extra 0.5 is added for every 3 m in height or part thereof over 7.5m</td> </tr> </tbody> </table> </td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Street frontage	0m (Maximum 1.5m)	Side and rear boundary (where sharing a boundary with a lot that has a residential zone)	<table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>2m</td> </tr> <tr> <td>For that part between 4.5m - 7.5m</td> <td>2.5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>An extra 0.5 is added for every 3 m in height or part thereof over 7.5m</td> </tr> </tbody> </table>	Building Height	Setback	Up to 4.5m	2m	For that part between 4.5m - 7.5m	2.5m	For that part exceeding 7.5m	An extra 0.5 is added for every 3 m in height or part thereof over 7.5m
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	<i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>														

Height	
<p>PO2 Development is of a height that:</p> <ol style="list-style-type: none"> 1. is low-rise; and 2. does not detract from the amenity of adjacent land in a residential zone. 	<p>AO2 Development does not exceed 2 storeys and a maximum height of 8.5m.</p>
Built Form and Urban Design	
<p>PO3 Development presents an attractive and active frontage to all streets and public spaces, and enhances the character of the zone through:</p> <ol style="list-style-type: none"> 1. ensuring buildings address the street and public spaces; 2. ensuring buildings are visually interesting through articulation and variation to the external appearance; 3. providing opportunities for casual surveillance; and 4. clearly defined building entrances. 	<p>AO3.1 Buildings are designed to address the street and public spaces.</p>
	<p>AO3.2 A minimum of 65% of the ground floor facade is windowed.</p>
	<p>AO3.3 The unarticulated length of any external wall along a street frontage or where buildings front a public space does not exceed 10m.</p>
	<p>AO3.4 Buildings achieve visual interest and articulation through a combination of the following:</p> <ol style="list-style-type: none"> 1. variation in the horizontal plane through the use of recesses, columns or blades; 2. variation in parapet design or roof form; 3. variation in colour, patterns, textures and building materials; and 4. canopies, awnings or projections.
	<p>AO3.5 Buildings include windows and balconies that overlook the street and public spaces to provide opportunities for casual surveillance.</p>
	<p>AO3.6 Building entrances are clearly visible from the street.</p>
<p>PO4 Development:</p> <ol style="list-style-type: none"> 1. creates a comfortable pedestrian experience by providing continuous shading along building frontages; and 2. ensures that pedestrians can easily and efficiently access the street and public spaces. 	<p>AO4 Buildings provide continuous shade to footpaths through the use of:</p> <ol style="list-style-type: none"> 1. awnings, verandahs or the like; or 2. an overhanging first floor balcony.
<p>PO5 Development:</p> <ol style="list-style-type: none"> 1. avoids large areas of hard stand addressing streets and public spaces; and 2. locates parking areas behind and/or to the side of buildings. 	<p>AO5 No Acceptable Outcome is prescribed.</p>
<p>PO6 Where in the Canungra local centre, new buildings are designed to contribute to the traditional rural village character by using design elements found in existing traditional buildings, including:</p> <ol style="list-style-type: none"> 1. similar roof form and parapet design; 2. use of complementary materials, colours, patterns 	<p>AO6 No Acceptable Outcome is prescribed.</p>

<p>and textures; 3. similar bulk and scale; and 4. no or little setback to the street.</p>	
<p>PO7 Where in the Kalbar local centre, new buildings are designed to retain the historical and traditional rural village character by using design elements found in existing traditional buildings, including; 1. similar roof form and parapet design; 2. use of complementary materials, colours, patterns and textures; 3. similar bulk and scale; and 4. no or little setback to the street.</p>	<p>AO7 No Acceptable Outcome is prescribed.</p>
Amenity	
<p>PO8 Outdoor storage, utility, service and loading areas are screened so they are not visible from: 1. the street and public spaces; and 2. adjacent land in a residential zone.</p>	<p>AO8 No Acceptable Outcome is prescribed.</p>
<p>PO9 Development: 1. does not detract from the amenity of adjoining land in a residential zone; and 2. affords privacy to adjoining land in a residential zone.</p>	<p>AO9 Where adjoining land in a residential zone: 1. development provides buffer landscaping with a minimum width of 2m or solid fencing 1.8m high along the common boundary; and 2. development screens or obscures any window 1.8m above ground level that has a direct view of land in a residential zone.</p>
Reconfiguration of a Lot	
<p>PO10 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone.</p>	<p>AO10 Reconfiguring a lot complies with the standards in Table 9.4.7.3.2 - Minimum Lot Size and Design.</p>

6.2.8 Low Density Residential Zone Code



6.2.8.1 Application

This code applies to development:

1. within the Low Density Residential Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Low Density Residential Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.8.2 Purpose and Overall Outcomes

1. The purpose of the Low Density Residential Zone is to provide for:
 - a. a variety of low density dwelling types, including dwelling houses; and
 - b. community uses, and small-scale services, facilities and infrastructure, to support local residents.
2. The purpose of the **Low Density Residential Zone Code (Where no precinct applies)** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates a high level of residential amenity and protects the low density residential character of the zone;
 - b. **Land uses:**
 - i. consist of a range of low density residential activities including Dwelling houses, Home based businesses and Dual occupancies on larger lots;
 - ii. can include small scale medium density residential activities including Multiple dwellings, Residential care facilities and Retirement facilities to meet the diverse housing needs of the community where development:
 - A. is compatible with the low density residential character of the zone;
 - B. is compatible with the height and scale of adjoining development;
 - C. is located in areas that are well serviced and highly accessible to land located in a centre zone or the Recreation and Open Space Zone;
 - D. does not compromise the operations of existing or future land uses on adjoining land included in the Industry Zone or centres zones;
 - iii. may include the non-residential activities listed in **Table 6.2.8.2.1 Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone (Where no precinct applies)** that:
 - A. are small in scale and of a low intensity;
 - B. directly support the needs of the immediate residential community;
 - C. do not detract from the amenity of residential activities; and

- D. wherever possible, are co-located with other non-residential activities in the zone;
- iv. includes:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.8.2.1 Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone (Where no precinct applies)**; or
 - B. the uses listed as a potentially consistent use in column 2 of **Table 6.2.8.2.1 Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone (Where no precinct applies)** to occur only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its potential impact, scale and intensity, built form and consistency with the character of the zone;
- v. where not listed in **Table 6.2.8.2.1 Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone (Where no precinct applies)** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
 - i. is low rise and low density residential environments that enjoy a high level of amenity;
 - ii. involves limited non-residential activities of a residential scale and appearance;
- d. **Built form:**
 - i. is small scale, low-rise and compatible with the building height of nearby residential activities;
 - ii. enhances the streetscape character of the area by:
 - A. designing buildings to address the street frontage and public spaces, and provide opportunities for casual surveillance;
 - B. maintaining a residential appearance;
 - C. setting buildings back from the road frontage;
 - iii. provides space around buildings to:
 - A. maintain the residential character and amenity of the zone;
 - B. give a sense of openness between buildings when viewed from the street and a public space;
 - C. maintain privacy to adjoining residential activities;
 - iv. involving Dual occupancies, Multiple dwellings, Residential care facilities and Retirement facilities, maintains the low density residential character of the zone and is compatible with the built form of adjacent development in terms of height, scale and intensity;
- e. **Lot design:**
 - i. supports low density residential living; and
 - ii. complies with the requirements relevant to the Low Density Residential Zone of **Table 9.4.6.3.2 - Minimum Lot Size and Design**.

Table 6.2.8.2.1 - Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone (Where no precinct applies)

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Residential Activities	
Community residence Dwelling house Dual occupancy (where on a lot 700m ² or greater) Home based business (if not involving Industrial activities other than minor industrial activities) Sales office Multiple dwelling (where involving 3 dwelling units) Residential care facility (where involving 10 bedrooms or less) Retirement facility (where involving 10 bedrooms or less)	Dual occupancy (where on a lot 600m ² or greater) Multiple dwelling* Residential care facility* Retirement facility*
Community Activities	
Child care centre (where obtaining access from a higher order road) Emergency services	Club (where small scale and not involving a liquor licence) Child care centre*
Infrastructure Activities	

Substation Telecommunications facility Utility installation (where involving a minor utility installation) Major electricity infrastructure (where proposed as underground infrastructure)	Major electricity infrastructure*
Recreational Activities	
Park	
Rural Activities	
Animal keeping (where an aviary or a cattery involving the breeding of cats)	
Tourism Activities	
Short-term accommodation (where involving a holiday home)	

**other than as specified in column 1*

3. The purpose of the **Low Density Residential Zone Code - Mountain Residential Precinct** will be achieved through the following overall outcomes:

a. **Development:**

- i. facilitates low density residential living on lots that are not serviced by the reticulated water and wastewater network;
- ii. protects the high level of residential amenity and privacy expected in the zone;

b. **Land uses:**

- i. consist of predominantly Dwelling houses and Home based businesses;
- ii. include Dual occupancies, only where development:
 - A. is located on large lots to maintain the low density residential character of the zone; and
 - B. has the appearance of a single dwelling when viewed from the street;
- iii. may include the non-residential activities listed in **Table 6.2.8.2.2 Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone - Mountain Residential Precinct** that:
 - A. are small scale and of a low intensity;
 - B. do not detract from the amenity of residential activities; and
 - C. wherever possible, are co-located with other non-residential activities in the zone;
- iv. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.8.2.2 Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone - Mountain Residential Precinct**; or
 - B. the uses listed as a potentially consistent use in column 2 of **Table 6.2.8.2.2 Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone - Mountain Residential Precinct** only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone;
- v. where not listed in **Table 6.2.8.2.2 Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone - Mountain Residential Precinct** are inconsistent uses and are not intended to occur in the zone;

c. **Character:**

- i. is a low rise and low density residential environment that has a high level of amenity and privacy;
- ii. involves limited non-residential activities of a residential scale and appearance;

d. **Built form:**

- i. is small scale;
- ii. is low-rise and compatible with the building height of nearby residential development;
- iii. enhances the streetscape character of the area by setting buildings back from the street frontage;
- iv. involves space around buildings to:
 - A. retain the low density character and high residential amenity of the zone;
 - B. give a sense of openness between buildings when viewed from the street and public spaces; and

- C. maintain a high level of privacy to adjoining residences;
- v. has a residential appearance and complements the surrounding built form and landscaped setting;
- e. **Lot design:**
 - i. supports low density residential living on existing lots;
 - ii. does not involve the creation of additional lots to maintain the existing village character and development pattern of land contained in the Mountain Residential Precinct and due to the unavailability of reticulated water supply and sewerage infrastructure.

Table 6.2.8.2.2 - Consistent Uses and Potentially Consistent Uses in the Low Density Residential Zone - Mountain Residential Precinct

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Residential Activities	
Community residence Dwelling house Home based business (if not involving Industrial Activities other than minor industrial activities)	Dual occupancy
Community Services Activities	
Emergency services	Child care centre (where obtaining access from a higher order road) Club (where small scale and not involving a liquor licence)
Tourist Activities	
Short-term accommodation (where involving a holiday home)	
Infrastructure Activities	
Substation Telecommunications facility Utility installation (where a minor utility installation) Major electricity infrastructure (where proposed as underground infrastructure)	Major electricity infrastructure*
Rural Activities	
Animal keeping (excluding Kennel)	
Recreation Activities	
Park	

* other than as specified in column 1

6.2.8.3 Assessment Benchmarks

Table 6.2.8.3.1—Accepted and Assessable Development for Low Density Residential Zone (Where no precinct applies) and Low Density Residential Zone - Mountain Residential Precinct

Performance Outcomes	Acceptable Outcomes
Setbacks	
PO1 Setbacks:	AO1 Setbacks are as follows:

<ol style="list-style-type: none"> 1. assist in the protection of the residential character of the zone; 2. contribute to streetscape character; 3. assist in the protection of amenity and privacy to adjoining premises; 4. allow for access and landscaping around buildings; 5. provide a sense of openness between buildings and to the street; and 6. allow for on-site car parking between the front boundary and buildings. <p>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</p>	Setback	Minimum Distances Measured in Metres (m)		
	Street frontage	6m		
	Side and rear boundary	Building Height	Setback	
		Up to 4.5m	1.5m	
		For that part between 4.5m — 7.5m	2m	
For that part exceeding 7.5m	2m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m			
Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.				
Height				
<p>PO2 Development is of a height that:</p> <ol style="list-style-type: none"> 1. is low rise; 2. does not detract from the amenity of adjoining premises; and 3. is compatible with the height of nearby residential activities. 	<p>AO2 Development does not exceed 2 storeys and a maximum height of 8.5m.</p>			

Table 6.2.8.3.2— Assessable Development - Low Density Residential Zone (Where no precinct applies)

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
<p>PO1 Non-residential development presents an attractive and active frontage to all streets and public spaces, and enhances the character of the zone through:</p> <ol style="list-style-type: none"> 1. ensuring buildings address the street and public spaces; and 2. providing opportunities for casual surveillance. 	<p>AO1.1 Buildings are designed to address the street and public spaces.</p>
	<p>AO1.2 Buildings include windows and balconies that overlook the street and public spaces to provide opportunities for casual surveillance.</p>
<p>PO2 Non-residential development has a residential appearance and is designed to complement the surrounding built form and character through the use of:</p> <ol style="list-style-type: none"> 1. similar design elements; 2. similar roof form; and 3. complementary materials, colours, patterns and textures. 	<p>AO2 No Acceptable Outcome is prescribed.</p>
Land Uses	
<p>PO3 Non-residential uses are:</p> <ol style="list-style-type: none"> 1. small in scale and low in intensity; 2. do not detract from the amenity of residential activities; and 3. wherever possible, are co-located with other non- 	<p>AO3 No Acceptable Outcome is prescribed.</p>

residential activities in the zone.							
PO4 Medium density residential activities are adequately separated from land included in the Industry Zone or centre zones to ensure the ability of existing and future industrial and commercial activities to function safely and effectively is not compromised.	A04 Development involving medium density residential activities are setback from land included in the Industry Zone and centre zones in accordance with the following table:						
	<table border="1"> <thead> <tr> <th>Zone</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Industrial Zone</td> <td>50m</td> </tr> <tr> <td>Centre zones</td> <td>5m</td> </tr> </tbody> </table>	Zone	Minimum Distances Measured in Metres (m)	Industrial Zone	50m	Centre zones	5m
	Zone	Minimum Distances Measured in Metres (m)					
Industrial Zone	50m						
Centre zones	5m						
PO5 Medium density residential activities are located in close proximity to well serviced areas and are highly accessible to land in: <ol style="list-style-type: none"> a centre zone; or the Recreation and Open Space Zone. 	A05 Development involving medium density residential activities are located within: <ol style="list-style-type: none"> 800m of land in a centre zone; or 400m of land in a Recreation and Open Space Zone. 						
PO6 Development involving a Multiple dwelling or a Dual occupancy: <ol style="list-style-type: none"> maintains the low density residential character of the zone; and caters for a mix of household sizes to meet the diverse housing needs of the community. 	A06.1 Development involving a Multiple dwelling has the following minimum land area requirements: <ol style="list-style-type: none"> 300m² for each 3 or more bedroom unit; 270m² for each 2 bedroom unit; and 250m² for each 1 bedroom unit. 						
	A06.2 A Dual occupancy is located on a lot 700m ² or greater.						
PO7 Development involving Dual occupancies, Multiple dwellings, Residential care facilities and Retirement facilities complements the height, scale and intensity of adjoining residential development.	A07 No Acceptable Outcome is prescribed.						
Reconfiguration of a Lot							
PO8 Reconfiguring a lot: <ol style="list-style-type: none"> creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone; supports low density residential living; and complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design. 	A08 No Acceptable Outcome is prescribed.						

Table 6.2.8.3.3 — Assessable Development - Low Density Residential Zone - Mountain Residential Precinct

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
PO1 Non-residential development has a residential appearance and is designed to complement the surrounding built form and character through the use of: <ol style="list-style-type: none"> similar design elements; similar roof form; and complementary materials, colours, patterns and textures. 	A01 No Acceptable Outcome is prescribed.

Land Uses	
<p>PO2 Non-residential uses are:</p> <ol style="list-style-type: none"> 1. small in scale and low in intensity; 2. do not detract from the amenity of residential activities; and 3. wherever possible, are co-located with other non-residential activities in the zone. 	<p>AO2 No Acceptable Outcome is prescribed.</p>
<p>PO3 Development involving Dual occupancies:</p> <ol style="list-style-type: none"> 1. are located on large lots to maintain the low density residential character of the zone; and 2. have the appearance of a single dwelling when viewed from the street. 	<p>AO3.1 Dual occupancy is located on a lot 8000m² or greater.</p>
	<p>AO3.2 The site cover of a Dual occupancy does not exceed 20% of the total site area or 700m² GFA, whichever is the lesser.</p>
	<p>AO3.3 A Dual occupancy is sited and designed to give the appearance of a single dwelling when viewed from the street.</p>
Reconfiguration of a Lot	
<p>PO4 No additional lots are created.</p>	<p>AO4 No Acceptable Outcome is prescribed.</p>

6.2.9 Low-medium Density Residential Zone Code



6.2.9.1 Application

This code applies to development:

1. within the Low-medium Density Residential Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Low-medium Density Residential Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.9.2 Purpose and Overall Outcomes

1. The purpose of the Low-medium Density Residential Zone is to provide for:
 - a. a variety of dwelling types, including Dwelling houses and low to medium density Multiple dwellings; and
 - b. community uses, and small-scale services, facilities and infrastructure, to support local residents.
2. The purpose of the Low-medium Density Residential Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates a high level of residential amenity and protects the low to medium density residential character of the zone;
 - ii. facilitates a range of housing choices that are responsive to the housing needs of the community;
 - b. **Land uses:**
 - i. consist of a range of low density residential activities such as Dwelling houses, Home based businesses, Dual occupancies and Community residences;
 - ii. include medium density residential activities such as Multiple dwellings, Residential care facilities and Retirement facilities to meet the diverse housing needs of the community where:
 - A. development complements the height and scale of adjoining development;
 - B. located in areas that are well serviced and are highly accessible to land located in a centre zone or the Recreation and Open Space Zone; and
 - C. development does not compromise the operations of existing or future land uses on adjoining land included in the Industry Zone or centres zones;
 - iii. may include other non-residential activities listed in **Table 6.2.9.2.1 Consistent Uses and Potentially Consistent Uses in the Low-medium Density Residential Zone** that:
 - A. are small in scale and of a low intensity;
 - B. directly support the needs of the immediate residential community;
 - C. do not detract from the amenity of residential activities;
 - D. wherever possible, are co-located with other non-residential activities in the zone;
 - iv. includes:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.9.2.1 Consistent Uses and Potentially Consistent Uses in the Low-medium Density Residential Zone**; or
 - B. the uses listed as a potentially consistent use in column 2 of **Table 6.2.9.2.1 Consistent Uses and Potentially Consistent Uses in the Low-medium Density Residential Zone** to occur only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone;
 - v. where not listed in **Table 6.2.9.2.1 Consistent Uses and Potentially Consistent Uses in the Low-**

- medium Density Residential Zone** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
 - i. is predominantly low rise and low-medium density residential environments that enjoy a high level of amenity;
 - ii. involves limited non-residential activities of a residential scale and appearance;
 - iii. maintains the visually prominent and sensitive upper slopes of the Birnam Range in Beaudesert in their natural state and protects the ridgeline from development impacts;
 - d. **Built form:**
 - i. is low-medium scale, low rise and compatible with the building height of nearby residential activities;
 - ii. enhances the streetscape character of the area by:
 - A. designing buildings to address the street and public spaces, and provide opportunities for casual surveillance;
 - B. maintaining a residential appearance;
 - C. setting buildings back from the road frontage;
 - iii. provides space around buildings to:
 - A. maintain the residential character and amenity of the zone;
 - B. give a sense of openness between buildings when viewed from the street and public spaces;
 - C. maintain privacy to adjoining residential activities;
 - iv. where involving Multiple dwellings, Residential care facilities and Retirement facilities, is designed to ensure that the interface of the development is compatible with the height, scale and intensity of neighbouring residential activities;
 - e. **Lot design:**
 - i. supports low-medium density residential living; and
 - ii. complies with the requirements relevant to the Low-medium Density Residential Zone of **Table 9.4.6.3.2 - Minimum Lot Size and Design**.

Table 6.2.9.2.1 - Consistent Uses and Potentially Consistent Uses in the Low-medium Density Residential Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Residential Activities	
Community residence Dual occupancy (where on a lot 600m ² or greater) Dwelling house Home based business (if not involving Industrial activities other than minor industrial activities) Sales office Multiple dwelling (where involving 6 dwelling units or less) Residential care facility (where involving 10 bedrooms or less) Retirement facility (where involving 10 bedrooms or less)	Residential care facility* Retirement facility* Multiple dwelling*
Community Service Activities	
Child care centre (where obtaining access from a higher order road) Emergency services	Child care centre* Club (where small scale and not involving a liquor licence)
Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (if involving minor utility installation)	Major electricity infrastructure*
Recreational Activities	

Park	
Rural Activities	
Animal keeping (where an aviary or a cattery involving the breeding of cats)	
Tourism Activities	
Short-term accommodation (where involving a holiday home)	

* other than as specified in column 1

6.2.9.3 Assessment Benchmarks

Table 6.2.9.3.1 - Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes														
Setbacks															
PO1 Setbacks: 1. assist in the protection of the residential character of the zone; 2. contribute to streetscape character; 3. assist in the protection of amenity and privacy to adjoining premises; 4. allow for access and landscaping around buildings; 5. provide a sense of openness between buildings and from the street; and 6. allow for on-site car parking between the front boundary and buildings. <i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>	A01 Setbacks are as follows:														
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage</td> <td>6m</td> </tr> <tr> <td rowspan="3">Side and rear boundary</td> <td> <table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>1.5m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>2m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>2m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table> </td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Street frontage	6m	Side and rear boundary	<table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>1.5m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>2m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>2m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table>	Building Height	Setback	Up to 4.5m	1.5m	For that part between 4.5m — 7.5m	2m	For that part exceeding 7.5m	2m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m
	Setback	Minimum Distances Measured in Metres (m)													
	Street frontage	6m													
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Building Height		Setback													
Up to 4.5m		1.5m													
For that part between 4.5m — 7.5m	2m														
For that part exceeding 7.5m	2m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m														
<i>Note- Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>															
Height															
PO2 Development is of a height that: 1. is predominantly low rise; 2. does not detract from the amenity of adjoining premises; and 3. is compatible with the height of nearby residential activities.	A02 Development does not exceed 2 storeys and a maximum height of 8.5m.														

Table 6.2.9.3.2—Assessable Development

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
PO1 Non-residential development presents an attractive and active frontage to all streets and public spaces, and	A01.1 Buildings are designed to address the street and public spaces.

enhances the character of the zone through: <ol style="list-style-type: none"> ensuring buildings address the street and public spaces; and providing opportunities for casual surveillance. 	AO1.2 Buildings include windows and balconies that overlook the street and public spaces to provide opportunities for casual surveillance.	
PO2 Non-residential development has a residential appearance and is designed to complement the surrounding built form and character through the use of: <ol style="list-style-type: none"> similar design elements; similar roof form; and complementary materials, colours, patterns and textures. 	AO2 No Acceptable Outcome is prescribed.	
PO3 The visually prominent and sensitive upper slopes of the Birnam Range at Beaudesert are maintained in a natural state and protected from development impacts.	AO3 Development does not occur above RL 140 metres AHD for land south of Beaudesert-Nerang Road and above RL 120 metres for land north of Beaudesert-Nerang Road.	
Land Uses		
PO4 Non-residential uses are: <ol style="list-style-type: none"> small in scale and low in intensity; do not detract from the amenity of residential activities; and wherever possible, are co-located with other non-residential activities in the zone. 	AO4 No Acceptable Outcome is prescribed.	
PO5 Medium density residential activities are adequately separated from land included in the Industry Zone or centre zones to ensure the ability of existing and future industrial and commercial activities to function safely and effectively is not compromised.	AO5 Development involving medium density residential activities are setback from land included in the Industry Zone or centre zones in accordance with the following table:	
	Zone	Minimum Distances Measured in Metres (m)
	Industrial Zone	50m
Centre zones	5m	
PO6 Medium density residential activities are within close proximity to well serviced areas and are highly accessible to land located in: <ol style="list-style-type: none"> a centre zone; or the Recreation and Open Space Zone. 	AO6 Development involving medium density residential activities are located within: <ol style="list-style-type: none"> 800m of land in a centre zone; or 400m of land in a Recreation and Open Space Zone. 	
PO7 Development involving a Multiple dwelling or Dual occupancy: <ol style="list-style-type: none"> is consistent with the low-medium density residential character of the zone; and caters for a mix of household sizes to meet the diverse housing needs of the community. 	AO7.1 Development involving a Multiple dwelling has the following minimum land area requirements: <ol style="list-style-type: none"> 300m² for each 3 or more bedroom unit; 270m² for each 2 bedroom unit; and 250m² for each 1 bedroom unit. 	
	AO7.2 A Dual occupancy is located on a lot 600m ² or greater.	
PO8 Development involving Multiple dwellings, Residential care facilities and Retirement facilities is designed to ensure that the interface of the development	AO8 No Acceptable Outcome is prescribed.	

complements the height, scale and intensity of adjoining residential development.

Reconfiguration of a Lot

PO9

Reconfiguring a lot:

1. creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone;
2. supports low-medium density residential living; and
3. complies with the minimum lot size in **Table 9.4.6.3.2 - Minimum Lot Size and Design**.

AO9

No Acceptable Outcome is prescribed.

6.2.10 Major Centre Zone Code



6.2.10.1 Application

This code applies to development:

1. within the Major Centre Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Major Centre Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.10.2 Purpose and Overall Outcomes

1. The purpose of the Major Centre Zone is to provide for a large variety of uses and activities to service a part of the local government area, including, for example, administrative, business, community, cultural, entertainment, professional, residential or retail uses or activities.
2. The purpose of the Major Centre Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates a range of shopping and commercial uses, cafes and dining, and community services that supports and services the needs of the region;
 - ii. facilitates the administrative and higher order retailing needs of the region, which include department stores, discount department stores and retail showrooms;
 - iii. contributes to place making and provides a high level of streetscape amenity;
 - b. **Land uses:**
 - i. include a range of commercial activities (excluding Outdoor sales) and community services activities that meet the needs of the region;
 - ii. include Community residences, Dwelling units, Multiple dwellings and Rooming accommodation, where located above the ground floor of a commercial activity to maintain the predominant business and retail function of the zone;
 - iii. include Short-term accommodation and Tourist attractions to service the travelling public;
 - iv. does not include industrial activities or Outdoor sales;
 - v. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.10.2.1 - Consistent Uses and Potentially Consistent Uses in the Major Centre Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.10.2.1 - Consistent Uses and Potentially Consistent Uses in the Major Centre Zone** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone.
 - vi. where not listed in **Table 6.2.10.2.1 Consistent Uses and Potentially Consistent Uses in the Major Centre Zone** are inconsistent uses and are not intended to occur in the zone;
 - c. **Character:**

- i. consists of a vibrant and active activity centre during the day and night, with attractive and functional buildings, streets and public spaces that provide for the enjoyment and safety of people;
- ii. is predominantly low to medium-rise development that does not detract from the amenity of adjacent land in a residential zone;
- iii. consists of compact development designed to contribute to a walkable centre;
- d. **Built form:**
 - i. is low to medium-rise;
 - ii. enhances the streetscape character of the centre by:
 - A. locating buildings close to the street, creating a 'main street' appearance;
 - B. locating and designing buildings to address the street and public spaces;
 - C. locating on-site parking behind and/or to the side of buildings; and
 - D. designing attractive building facades and roof design;
 - iii. incorporates design elements that provide opportunities for casual surveillance of streets and public spaces;
 - iv. provides a safe and comfortable pedestrian experience through continuous shading along building frontages, and designing development that supports the efficient movement of people to streets, public spaces and neighbouring uses;
 - v. ensures outdoor storage, utility, service and loading areas are hidden from public view to maintain the amenity of the street and public spaces, and adjacent land located in a residential zone;
 - vi. does not detract from the amenity of adjacent land in a residential zone.
- e. **Lot design:**
 - i. supports the flexible range of land uses envisaged in the zone.

Table 6.2.10.2.1 - Consistent Uses and Potentially Consistent Uses in the Major Centre Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Commercial Activities	
Adult store Agricultural supplies store Bar Car wash Food and drink outlet Function facility Funeral parlour Garden centre Hardware and trade supplies Health care service Hotel Market Nightclub entertainment facility Office Parking station Service industry Service station Shop Shopping centre Showroom Theatre Veterinary service	
Residential Activities	
Community residence Dwelling unit (where located above the ground storey of a commercial activity) Home based business (if not involving Industrial activities other than minor industrial activities) Multiple dwelling (where located above the ground	

storey of a commercial activity) Rooming accommodation (where located above the ground storey of a commercial activity)	
Tourism Activities	
Short-term accommodation Tourist attraction	
Community Services Activities	
Child care centre Club Community care centre Community use Educational establishment Emergency services Place of worship	Hospital
Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (if involving minor utility installation)	Major electricity infrastructure*
Recreational Activities	
Indoor sport and recreation Park	

6.2.10.3 Assessment Benchmarks

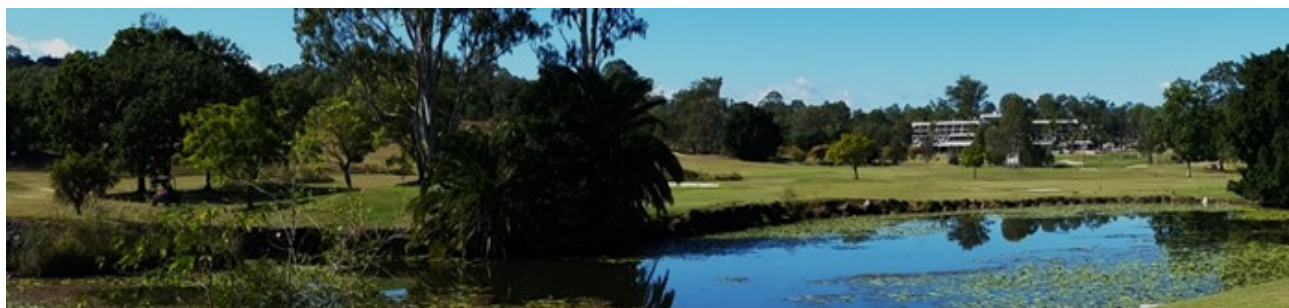
Table 6.2.10.3.1—Assessable Development

Performance Outcomes	Acceptable Outcomes		
Setbacks			
PO1 Building setbacks: 1. contribute to the streetscape character and a 'main street' appearance; 2. assist in creating a walkable centre; 3. assist in the protection of the amenity of adjacent land in a residential zone; and 4. allow for access and landscaping around the building. <i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>	AO1 Building setbacks are as follows:		
	Setback	Minimum Distances Measured in Metres (m)	
	Street frontage	0m (Maximum 2m)	
	Side and rear boundary (where sharing a boundary with a lot that has a residential zone)	Building Height	Setback
		Up to 4.5m	2m
For that part between 4.5m - 7.5m		2.5m	
For that part exceeding 7.5m	An extra 0.5 is added for every 3 m in height or part thereof over 7.5m		
<i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>			
Height			

<p>PO2 Development is of a low to medium rise height.</p>	<p>AO2 Development does not exceed 6 storeys and a maximum height of 21m.</p>
Built Form and Urban Design	
<p>PO3 Development presents an attractive and active frontage to all streets and public spaces, and enhances the character of the zone through:</p> <ol style="list-style-type: none"> 1. ensuring buildings address the street and public spaces; 2. ensuring buildings are visually interesting through articulation and variation to the external appearance; 3. providing opportunities for casual surveillance; and 4. clearly defined building entrances. 	<p>AO3.1 Buildings are designed to address the street and public spaces.</p>
	<p>AO3.2 A minimum of 65% of the ground floor facade is windowed.</p>
	<p>AO3.3 The unarticulated length of any external wall along a street frontage or where buildings front a public space does not exceed 10m.</p>
	<p>AO3.4 Buildings achieve visual interest and articulation through a combination of the following:</p> <ol style="list-style-type: none"> 1. variation in the horizontal plane through the use of recesses, columns or blades; 2. variation in parapet design or roof form; 3. variation in colour, patterns, textures or building materials and composition; and 4. canopies, awnings or projections.
	<p>AO3.5 Windows and balconies located above ground floor overlook the street and public spaces to provide opportunities for casual surveillance.</p>
	<p>AO3.6 Building entrances are clearly visible from the street.</p>
<p>PO4 Development:</p> <ol style="list-style-type: none"> 1. creates a comfortable pedestrian experience by providing continuous shading along building frontages; and 2. ensures that pedestrians can easily and efficiently access the street and public spaces. 	<p>AO4 Buildings provide continuous shade to footpaths through the use of:</p> <ol style="list-style-type: none"> 1. awnings, verandahs or the like; or 2. an overhanging first floor balcony.
<p>PO5 Development:</p> <ol style="list-style-type: none"> 1. avoids large areas of hard stand addressing streets and public spaces; and 2. locates parking areas behind and/or to the side of buildings. 	<p>AO5 No Acceptable Outcome is prescribed.</p>
Amenity	
<p>PO6 Outdoor storage, utility, service and loading areas are screened so they are not visible from:</p> <ol style="list-style-type: none"> 1. the street and public spaces; and 2. adjacent land in a residential zone. 	<p>AO6 No Acceptable Outcome is prescribed.</p>
<p>PO7 Development:</p> <ol style="list-style-type: none"> 1. does not detract from the amenity of adjoining land in a residential zone; and 	<p>AO7 Where adjoining land in a residential zone:</p> <ol style="list-style-type: none"> 1. development provides buffer landscaping with a minimum width of 2m or solid fencing 1.8m high

2. affords privacy to adjoining land in a residential zone.	along the common boundary; 2. development screens or obscures any window 1.8m above ground level that has a direct view of land in a residential zone.
Reconfiguration of a Lot	
PO8 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone.	AO8 Reconfiguring a lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.

6.2.11 Major Tourism Zone Code



6.2.11.1 Application

This code applies to development:

1. within the Major Tourism Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Major Tourism Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.11.2 Purpose and Overall Outcomes

1. The purpose of the Major Tourism Zone is to provide for:
 - a. a variety of activities, facilities and places that:
 - i. are for or support tourism; and
 - ii. are large-scale and integrated; and
 - iii. are in coastal, environmental, rural or urban areas; and
 - b. permanent accommodation for employees, if required for the activities, facilities and places stated in paragraph (a) and appropriate for the area.

***Editor's Note** - In accordance with section 6 of the Regulation, the purpose statement has been changed and took effect on the commencement date.*

2. The purpose of the Major Tourism Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. supports Kooralbyn's role and function as a major tourist destination in the region;
 - ii. facilitates an integrated tourist facility with a vibrant atmosphere that offers a diverse range of tourism uses, recreation choices and amenities;
 - iii. supports tourism and recreation activities having an outdoor sport and recreation focus and uses reliant on the landscape setting and natural values of the locality; and
 - iv. integrates well with surrounding land uses, particularly where the site adjoins residential activities or land in a residential zone;
 - b. **Land uses:**
 - i. predominantly includes tourism activities;
 - ii. include a range of complimentary uses such as commercial, community services, educational, infrastructure, recreational and limited rural activities, where they support the needs of tourists and visitors;
 - iii. include Shops and Shopping centres for the retailing of tourism products only and excludes the retailing of domestic goods including convenience retail, department stores, discount department stores, full-line supermarkets and supermarkets;
 - iv. do not include residential activities except where the use involves a Caretaker's accommodation;
 - v. include Outdoor sport and recreation, where not involving a rifle or shooting range;
 - vi. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.11.2.1 Consistent Uses and Potentially Consistent Uses in the Major Tourism Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.11.2.1 Consistent Uses**

- and Potentially Consistent Uses in the Major Tourism Zone** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone.
- vii. where not listed in **Table 6.2.11.2.1 Consistent Uses and Potentially Consistent Uses in the Major Tourism Zone** are inconsistent uses and are not intended to occur in the zone;
- c. Character:**
- i. involves large-scale integrated tourism facilities with a vibrant atmosphere, well-designed buildings and that offers many recreational choices and amenities;
 - ii. consists of development that is up to medium-rise and is of low to medium intensity where it does not adversely detract from the amenity of nearby land in a residential zone;
 - iii. involves development that complements the landscape setting and natural values of the locality;
 - iv. involves development that is integrated and easily accessible;
 - v. involves landscaping that enhances the appearance of buildings and structures;
- d. Built form:**
- i. includes medium scale development and low to medium-rise development;
 - ii. enhances the streetscape character through:
 - A. locating and designing buildings to address the street and public spaces; and
 - B. designing attractive building facades that complement surrounding development;
 - iii. is designed to provide a safe and comfortable pedestrian experience through:
 - A. designing development that supports the efficient movement of people within the development and to streets, public spaces and neighbouring uses;
 - B. incorporating design elements that provide opportunities for casual surveillance of streets and public spaces;
 - iv. is designed to ensure outdoor storage, utility, service and loading areas are hidden from public view to maintain the amenity of the street and public spaces, and land located in a residential zone;
 - v. provides landscaping where buildings are set back from the street or a public space;
 - vi. is designed and located not to detract from the amenity of:
 - A. a residential activity on an adjoining premises; and
 - B. adjacent land in a residential zone;
- e. Lot design:**
- i. supports the tourism activities and other complimentary uses envisaged in the zone.

Table 6.2.11.2.1 - Consistent Uses and Potentially Consistent Uses in the Major Tourism Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Tourism Activities	
Environment facility Nature-based tourism Short-term accommodation Tourist attraction Tourist park (where not exceeding 25 tourist accommodation sites)	Resort complex Tourist park*
Commercial Activities	
Bar Food and drink outlet Function facility Hotel Market Nightclub entertainment facility Shop (where involving the retail of tourism products only) Shopping centre (where involving the retail of tourism products only) Theatre	
Community Services Activities	

Club Community use Educational establishment Emergency services	
Industrial Activities	
Winery	
Infrastructure Activities	
Air service (not involving an airstrip or helipad) Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (if involving a minor utility installation)	Air service* Major electricity infrastructure*
Recreational Activities	
Indoor sport and recreation Outdoor sport and recreation (where not involving a rifle or shooting range) Park	
Residential Activities	
Caretaker's accommodation	
Rural Activities	
Animal husbandry Animal keeping (where low impact and small scale) Cropping	

* other than as specified in column 1

6.2.11.3 Assessment Benchmarks

Table 6.2.11.3.1—Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes															
Setbacks																
PO1 Building setbacks: 1. assist in the protection of amenity of adjacent land; 2. allow for access around the building; 3. accommodate landscaping to soften the impact of the built form; 4. contribute to the streetscape character; and 5. allow for on-site parking. Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.	A01 Building setbacks are as follows:															
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td colspan="2">Front</td> </tr> <tr> <td>Street frontage</td> <td>6m</td> </tr> <tr> <td colspan="2">Side and Rear</td> </tr> <tr> <td rowspan="2">Side and rear boundary</td> <td>Building Height</td> <td>Setback</td> </tr> <tr> <td>Up to 7.5m</td> <td>2.0m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>5.0m plus an extra 0.5m is added for every 3m in height or part thereof over</td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Front		Street frontage	6m	Side and Rear		Side and rear boundary	Building Height	Setback	Up to 7.5m	2.0m	For that part exceeding 7.5m	5.0m plus an extra 0.5m is added for every 3m in height or part thereof over
	Setback	Minimum Distances Measured in Metres (m)														
	Front															
	Street frontage	6m														
	Side and Rear															
Side and rear boundary	Building Height	Setback														
	Up to 7.5m	2.0m														
For that part exceeding 7.5m	5.0m plus an extra 0.5m is added for every 3m in height or part thereof over															

		10.5m
<i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>		
Height		
PO2 Development is of a height that: <ol style="list-style-type: none"> is of low to medium rise; and does not impact on the amenity of adjacent residential activities or land included in a residential zone. 	AO2 Building height for development (excluding infrastructure activities) does not exceed 4 storeys with a maximum height of 18m.	

Table 6.2.11.3.2 — Assessable Development

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
PO1 Development: <ol style="list-style-type: none"> is integrated and provides for a mix of tourism, recreational and supporting uses; and incorporates urban design elements and landscaping that creates attractive buildings and recreational spaces. 	AO1 No Acceptable Outcome is prescribed.
PO2 Development presents an attractive and active frontage to all streets and public spaces, and enhances the character of the zone through: <ol style="list-style-type: none"> ensuring buildings address the street and public spaces; ensuring buildings are visually interesting through articulation and variation to the external appearance; providing opportunities for casual surveillance; and clearly defined building entrances. 	AO2.1 Buildings are designed to address the street and public spaces.
	AO2.2 The unarticulated length of any external wall along a street frontage or where buildings front a public space does not exceed 10m.
	AO2.3 Buildings achieve visual interest and articulation through a combination of the following: <ol style="list-style-type: none"> variation in the horizontal plane through the use of recesses, columns or blades; variation in parapet design or roof form; variation in colour, patterns, textures or building materials; and canopies, awnings or projections.
	AO2.4 Windows and balconies located above ground floor overlook the street and public spaces to provide opportunities for casual surveillance.
	AO2.5 Building entrances are clearly visible from the street.
PO3 Development complements the natural land form and natural landscape features of the site such as waterways and vegetated areas.	AO3 No Acceptable Outcome is prescribed.
PO4 Pedestrian access to and within a development is clearly defined and safe, and separated from vehicular access.	AO4 No Acceptable Outcome is prescribed.

Amenity	
<p>PO5 Outdoor storage, utility, service and loading areas are screened so they are not visible from:</p> <ol style="list-style-type: none"> 1. the street and public spaces; and 2. adjacent land in a residential zone. 	<p>AO5 No Acceptable Outcome is prescribed.</p>
<p>PO6 Development affords privacy to adjoining land in a residential zone.</p>	<p>AO6 Where adjoining land in a residential zone, development screens or obscures any window 1.8m above ground level that has a direct view of land in a residential zone.</p>
Land Use	
<p>PO7 Retail uses including Shops and Shopping centres involve the retailing of tourism products only and excludes the retailing of domestic goods including convenience retail, department stores, discount department stores, full-line supermarkets and supermarkets.</p>	<p>AO7 No Acceptable Outcome is prescribed.</p>
Reconfiguration of a Lot	
<p>PO8 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone.</p>	<p>AO8 Reconfiguring a lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.</p>

6.2.12 Minor Tourism Zone Code



6.2.12.1 Application

This code applies to development:

1. within the Minor Tourism Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Minor Tourism Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.12.2 Purpose and Overall Outcomes

1. The purpose of the Minor Tourism Zone is to provide for:
 - a. a variety of activities, facilities and places that:
 - i. are for or support tourism; and
 - ii. have less than 20 employees; and
 - iii. are in coastal, environmental, rural or urban areas; and
 - b. permanent accommodation for employees, if required for the activities, facilities and places stated in paragraph (a) and appropriate for the area.

***Editor's Note** - In accordance with section 6 of the Regulation, the purpose statement has been changed and took effect on the commencement date.*

2. The purpose of the Minor Tourism Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates a range of unique small scale tourist and visitor oriented activities, with a focus on:
 - A. locally made or unique products;
 - B. accommodation;
 - C. appreciation of the natural environment; or
 - D. experiences and enjoyment for visitors;
 - ii. provides for vibrant and unique tourist areas that involve the repurposing of existing dwelling houses or establishing new development that is complementary in scale and appearance to nearby residential areas;
 - iii. does not detract from the amenity of development on adjacent land in a residential zone;
 - b. **Land uses:**
 - i. include small scale tourism activities but excludes higher impact tourism activities such as Resort complex and Tourist park;
 - ii. include small scale commercial activities, which enhance the unique experience enjoyed by visitors and tourists and where impacts on surrounding sensitive receivers are managed and mitigated;

- iii. include small scale Shops and Shopping centres for the retailing of tourism products only and excludes the retailing of domestic goods including convenience retail, department stores, discount department stores, full-line supermarkets and supermarkets;
- iv. include Dwelling house, Dwelling unit and Home based business to support residential accommodation, including employed personnel;
- v. do not involve a drive-through facility in association with a Food and drink outlet;
- vi. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.12.2.1 Consistent Uses and Potentially Consistent Uses in the Minor Tourism Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.12.2.1 Consistent Uses and Potentially Consistent Uses in the Minor Tourism Zone** where the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone.
- vii. where not listed in **Table 6.2.12.2.1 Consistent Uses and Potentially Consistent Uses in the Minor Tourism Zone** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
 - i. consists of vibrant and unique tourist areas that provides for:
 - A. the adaptive reuse of existing Dwelling houses into tourist uses or supporting businesses; or
 - B. the establishment of new development that is complementary in scale and appearance to nearby residential areas;
 - ii. consists of low-rise and small scale development that does not adversely detract from the amenity of nearby land in a residential zone;
- d. **Built form:**
 - i. is small-scale and low-rise and compatible with the building height of development of adjoining premises;
 - ii. enhances the streetscape character of the zone by:
 - A. setting buildings back from the street;
 - B. maintaining a low site cover;
 - C. locating and designing buildings to address the street and public spaces; and
 - D. designing attractive building facades.
 - iii. provides landscaping to visually soften the front setback area and provide an attractive setting for the use;
 - iv. is designed to protect the amenity of nearby land in a residential zone;
 - v. where in Canungra, contribute to the traditional rural village character by incorporating design elements found in existing traditional buildings such as similar roof form, building materials, bulk and scale;
 - vi. where in Tamborine Mountain, complement the existing built form and landscape setting of the surrounding area in terms of scale, roof form, building materials and colours.
- e. **Lot design:**
 - i. avoids further fragmentation of the land by preventing the creation of additional lots.

Table 6.2.12.2.1 - Consistent Uses and Potentially Consistent Uses in the Minor Tourism Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Tourism Activities	
Environment facility (not exceeding 500m ² TUA) Nature-based tourism (not exceeding 6 tourist accommodation sites or nature-based tourism activity not exceeding 500m ² TUA) Short term accommodation (not exceeding 6 tourist accommodation sites or tourist accommodation not exceeding 750m ² GFA) Tourist attraction (not exceeding 500m ² TUA)	Environment facility* Nature-based tourism* Short term accommodation * Tourist attraction*
Commercial Activities	
Bar (where not located on Main Western Road) Food and drink outlet (not involving a drive through facility)	Function facility* Hotel Shop (where involving the retail of tourism products)

Function facility (where not located on Main Western Road and where not exceeding 500m ² GFA in a permanent commercial building) Market Parking station Shop (where not exceeding 500m ² GFA and involving the retail of tourism products only) Shopping centre (where not exceeding 500m ² GFA and involving the retail of tourism products only)	only)* Shopping centre (where involving the retail of tourism products only)*
Community Service Activities	
Community use	Emergency services
Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (if involving a minor utility installation)	Major electricity infrastructure*
Recreational Activities	
Park	
Residential Activities	
Dwelling house Dwelling unit Home based business (if not involving Industrial activities other than minor industrial activities)	
Rural Activities	
Animal husbandry Animal keeping (where low impact and small scale) Cropping	

* other than as specified in column 1

6.2.12.3 Assessment Benchmarks

Table 6.2.12.3.1 — Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes																
Setbacks																	
PO1 Building setbacks: 1. allow for access around buildings; 2. accommodate landscaping to soften the built form; 3. contribute to the streetscape character; 4. assist in the protection of amenity of adjacent land; and 5. allow for on-site car parking. Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.	AO1 Building setbacks are as follows:																
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td colspan="2">Front</td> </tr> <tr> <td>Street frontage</td> <td>6m</td> </tr> <tr> <td colspan="2">Side and Rear</td> </tr> <tr> <td rowspan="2">Side and rear boundary</td> <td>Building Height</td> <td>Setback</td> </tr> <tr> <td>Up to 4.5m</td> <td>1.5m</td> </tr> <tr> <td></td> <td>For that part</td> <td>2.0m</td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Front		Street frontage	6m	Side and Rear		Side and rear boundary	Building Height	Setback	Up to 4.5m	1.5m		For that part	2.0m
	Setback	Minimum Distances Measured in Metres (m)															
	Front																
	Street frontage	6m															
	Side and Rear																
Side and rear boundary	Building Height	Setback															
	Up to 4.5m	1.5m															
	For that part	2.0m															

		between 4.5m — 7.5m	
		For that part exceeding 7.5m	2m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m
Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.			
Height			
PO2 Development is of a low rise character that does not affect the amenity and privacy of adjacent land.	AO2 Building height, excluding infrastructure activities, does not exceed 2 storeys and a maximum height of 8.5m.		
Site Cover			
PO3 Development has a low site cover to ensure: 1. the predominant low scale character of the zone and adjacent land in a residential zone is maintained; and 2. the on-site provision of: a. landscaping; b. access and car parking; c. servicing and deliveries; and d. waste water disposal, where required.	AO3 Site cover does not exceed 50 per cent.		

Table 6.2.12.3.2 — Assessable Development

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
PO1 Buildings are designed to: 1. address the street and public spaces; 2. provide opportunities for casual surveillance; 3. use landscaping to visually soften the front setback area and create a landscaped setting; 4. incorporate attractive building facades; 5. where in Canungra, contribute to the traditional rural village character by incorporating design elements found in existing traditional buildings such as similar roof form, building materials, bulk and scale; 6. where in Tamborine Mountain, complement the existing built form and landscape setting of the surrounding area in terms of scale, roof form, building materials and colours.	AO1.1 Development provides for the adaptive reuse of dwelling houses for tourism uses and supporting businesses.
	AO1.2 Buildings are designed to address the street and public spaces.
	AO1.3 Windows and/or balconies are provided on all floors which overlook the street and public spaces to provide opportunities for casual surveillance.
	AO1.4 Building entrances are clearly visible and accessible from the street.
	AO1.5 Outdoor storage, utility, service and loading areas are not visible from public view.
	AO1.6 Aesthetic landscaping with a minimum width of 1m is provided along the front boundary.
Amenity	
PO2	AO2

<p>Development is designed to minimise impacts on land in an adjoining residential zone having regard to:</p> <ol style="list-style-type: none"> 1. visual amenity; 2. overlooking and privacy; and 3. the location and design of parking areas. 	<p>Where adjoining land in a residential zone:</p> <ol style="list-style-type: none"> 1. buildings are setback at least 5 metres from the common boundary; and 2. development screens or obscures any window 1.8m above ground level that has a direct view of land in a residential zone.
<p>Land Uses</p>	
<p>PO3 Retail uses including Shops and Shopping centres involve the retailing of tourism products only and excludes the retailing of domestic goods including convenience retail, department stores, discount department stores, full-line supermarkets and supermarkets.</p>	<p>AO3 No Acceptable Outcome is prescribed.</p>
<p>Reconfiguration of a Lot</p>	
<p>PO4 No additional lots are created.</p>	<p>AO4 No Acceptable Outcome is prescribed.</p>

6.2.13 Mixed Use Zone Code



6.2.13.1 Application

This code applies to development:

1. within the Mixed Use Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Mixed Use Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.13.2 Purpose and Overall Outcomes

1. The purpose of the Mixed Use Zone is to provide for a variety of uses and activities, including, for example, business, residential, retail, service industry, tourist accommodation or low impact industrial uses or activities.
2. The purpose of the **Mixed Use Zone Code (Where no precinct applies)** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates a mix of activities that may include business, non-convenience retail, cafes and dining, residential, recreation and tourist uses to integrate with and support the centres of the region;
 - ii. is subordinate to and does not detract from the role and function of the centres of the region, which accommodates the convenience and higher order retailing needs of the community;
 - iii. contributes to place making and provides a high level of streetscape amenity;
 - b. **Land uses:**
 - i. include a range of commercial activities excluding Shops and Shopping centres where involving convenience retail, supermarket, full-line supermarket, department store or discount department store, which are intended to occur in the larger centres of the centre hierarchy;
 - ii. include Dwelling unit, where located above the ground storey or behind a Commercial activity;
 - iii. include Multiple dwellings, Residential care facilities and Retirement facilities to provide a range of housing options to meet the needs of the community where:
 - A. compatible with the height and scale of adjacent development;
 - B. a high level of residential amenity is achieved; and
 - C. the operations of nearby commercial, community services, tourist or recreational activities are not compromised;
 - iv. provide for a range of community services activities needed to cater for the social, cultural and lifestyle needs of the community;
 - v. include:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.13.2.1 Consistent Uses and Potentially Consistent Uses in the Mixed Use Zone (Where no precinct applies)**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.13.2.1 Consistent Uses**

- and Potentially Consistent Uses in the Mixed Use Zone (Where no precinct applies)** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone;
- vi. where not listed in **Table 6.2.13.2.1 Consistent Uses and Potentially Consistent Uses in the Mixed Use Zone (Where no precinct applies)** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
- i. involves development that provides for attractive and functional buildings that addresses and contributes to the visual amenity of the streetscape and public spaces;
 - ii. where involving residential activities, is a low rise and a low-medium residential density environment that provides a high level of residential amenity and convenient access to a range of shopping, community and other local services.
- d. **Built form for non-residential activities:**
- i. is small to medium scale, low-rise and compatible with the building height of nearby development;
 - ii. enhances the streetscape character of the centre by:
 - A. locating buildings close to the street, creating a 'main street' appearance;
 - B. locating and designing buildings to address the street and public spaces;
 - C. locating on-site car parking behind and/or to the side of buildings; and
 - D. designing attractive building facades and roof form;
 - iii. provides a safe pedestrian experience by incorporating design elements that promote opportunities for casual surveillance of streets and public spaces;
 - iv. ensure outdoor storage, utility, service and loading areas are hidden from public view to maintain the amenity of the street and public spaces, and residential activities;
 - v. does not detract from the amenity of residential activities and residential zones;
- e. **Built form for residential activities:**
- i. is low rise and of a low-medium residential density;
 - ii. enhances the streetscape character of the area by:
 - A. designing buildings to address the street frontage and public spaces and provide opportunities for casual surveillance;
 - B. setting buildings back from the road frontage;
 - iii. is compatible with adjacent development in terms of height, scale and intensity;
- f. **Lot design:**
- i. supports the mix of uses envisaged in the zone.

Table 6.2.13.2.1 - Consistent Uses and Potentially Consistent Uses in the Mixed Use Zone (Where no precinct applies)

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Commercial Activities	
Adult store Agricultural supplies store Bar Car wash (where not located on Tamborine Mountain) Food and drink outlet (where not involving a drive through facility on Tamborine Mountain) Function facility Funeral parlour Garden centre Hardware and trade supplies Health care service Market Office Outdoor sales Parking station Service industry Service station (where not located on Tamborine	Car wash* Hotel Theatre

Mountain) Shop (where not involving a supermarket, full-line supermarket, department store, discount department store, convenience retail) Shopping Centre (where not involving a supermarket, full-line supermarket, department store, discount department store, convenience retail) Showroom Veterinary service	
Residential Activities	
Dwelling unit (where located above the ground storey of a commercial activity) Home based business (if not involving Industrial activities other than minor industrial activities) Multiple dwelling (where not exceeding 6 dwellings) Residential care facility (where involving 10 bedrooms or less) Retirement facility (where involving 10 bedrooms or less)	Multiple dwelling* Rooming accommodation Residential care facility* Retirement facility*
Tourism Activities	
Short term accommodation	Tourist attraction Tourist park
Community Services Activities	
Child care centre Club Community care centre Community use Educational establishment Emergency services	Hospital Place of worship
Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (where a minor utility installation)	Major electricity infrastructure*
Recreation Activities	
Indoor sport and recreation Park	

* other than as specified in column 1

3. The purpose of the **Mixed Use Zone Code - Commercial Industrial Precinct** will be achieved through the following overall outcomes:
- a. **Development:**
 - i. facilitates a mix of activities that may include business, non-convenience retailing, cafes and dining, lower impacting industrial uses and recreation uses to integrate with and support the centres of the region;
 - ii. is subordinate to and does not detract from the role and function of the centres of the region, which accommodates the convenience and higher order retailing needs of the community;
 - iii. contributes to place making and provides a high level of streetscape amenity;
 - b. **Land uses:**
 - i. include a range of commercial activities excluding Shops and Shopping centres where involving convenience retail, supermarket, full-line supermarket, department store or discount department store,

- which are intended to occur in the larger centres of the centre hierarchy;
- ii. can include lower impacting industries where impacts on the amenity of adjacent land in a residential zone is avoided;
- iii. do not involve residential activities (other than Caretakers accommodation) and tourist activities;
- iv. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.13.2.2 Consistent Uses and Potentially Consistent uses in the Mixed Use Zone - Commercial Industrial Precinct**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.13.2.2 Consistent Uses and Potentially Consistent Uses in the Mixed Use Zone - Commercial Industrial Precinct** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the Precinct;
- v. where not listed in **Table 6.2.13.2.2 Consistent Uses and Potentially Consistent Uses in the Mixed Use Zone - Commercial Industrial Precinct** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
 - i. involves development that provides for attractive and functional buildings that addresses and contributes to the visual amenity of the streetscape and public spaces;
 - ii. is a predominately low-rise and low to medium intensity mixed use setting;
 - iii. where located in Canungra, provides for commercial activities and community services activities along Finch Road;
 - iv. where involving industrial activities, provides landscaping that enhance the appearance of buildings, structures, outdoor storage and car park areas when viewed from the street or a public space;
 - v. where in Canungra, involves development compatible with the existing rural village character by incorporating design elements found in existing traditional buildings such as similar roof form, materials, scale and setbacks;
 - vi. where in Kalbar, involves development compatible with the existing rural village and historical character by incorporating design elements found in existing traditional buildings such as similar roof form, materials, scale and setbacks.
- d. **Built form:**
 - i. is small to medium scale, low-rise and compatible with the building height of nearby development;
 - ii. enhances the streetscape character of the centre by:
 - A. locating buildings close to the street, creating a 'main street' appearance;
 - B. locating and designing buildings to address the street and public spaces;
 - C. locating on-site car parking behind and/or to the side of buildings; and
 - D. designing attractive building facades and roof form;
 - iii. provides a safe pedestrian experience by incorporating design elements that promote opportunities for casual surveillance of streets and public spaces;
 - iv. ensure outdoor storage, utility, service and loading areas are hidden from public view to maintain the amenity of the street and public spaces, and residential activities;
 - v. where involving industrial activities, provides for well-designed and articulated building facades where addressing the street and public spaces;
 - vi. does not detract from the amenity of nearby residential activities and residential zones;
- e. **Lot design:**
 - i. supports the mix of uses envisaged in the zone.

Table 6.2.13.2.2 - Consistent Uses and Potentially Consistent Uses in the Mixed Use Zone - Commercial Industrial Precinct

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Commercial Activities	
Adult store Agricultural supplies store Bar Car wash (where not located on Tamborine Mountain) Food and drink outlet (where not involving a drive through facility on Tamborine Mountain)	Car wash* Hotel Theatre

Function facility Funeral parlour Garden centre Hardware and trade supplies Health care service Market Office Outdoor sales Parking station Service industry Service station (where not located on Tamborine Mountain) Shop (where not involving a supermarket, full-line supermarket, department store, discount department store, convenience retail) Shopping Centre (where not involving a supermarket, full-line supermarket, department store, discount department store, convenience retail) Showroom Veterinary service	
Industrial Activities	
Bulk landscape supplies Low impact industry Research and technology industry Transport depot Warehouse	
Residential Activities	
Caretaker's accommodation	
Community Services Activities	
Club Community care centre Community use Educational establishment Emergency services	Child care centre Hospital Place of worship
Infrastructure Activities	
Air service (where on Lot 142 RP182609) Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (where a minor utility installation)	Major electricity infrastructure*
Recreation Activities	
Indoor sport and recreation Park	

* other than as specified in column 1

6.2.13.3 Assessment Benchmarks

Table 6.2.13.3.1 - Assessable Development for Mixed Use Zone (Where no precinct applies)

Performance Outcomes	Acceptable Outcomes
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Setbacks																					
<p>PO1 Building setbacks:</p> <ol style="list-style-type: none"> contribute to the streetscape character and where involving non-residential activities, create a 'main street' appearance; assist in creating a walkable centre; assist in the protection of adjacent land in a residential zone; and allow for access and landscaping around the building. <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>	<p>A01 Buildings are setback as follows:</p> <table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage for residential activities</td> <td>6m</td> </tr> <tr> <td>Street frontage for other uses</td> <td>0m (Maximum 1.5m)</td> </tr> <tr> <td rowspan="3">Side and rear boundary for residential activities</td> <td>Building Height Up to 4.5m</td> <td>1.5m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>2.0m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>An extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> <tr> <td rowspan="3">Side and rear boundary for non-residential activities adjoining a lot in a residential zone)</td> <td>Building Height Up to 4.5m</td> <td>2m</td> </tr> <tr> <td>For that part between 4.5m - 7.5m</td> <td>2.5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>An extra 0.5 is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table> <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>	Setback	Minimum Distances Measured in Metres (m)	Street frontage for residential activities	6m	Street frontage for other uses	0m (Maximum 1.5m)	Side and rear boundary for residential activities	Building Height Up to 4.5m	1.5m	For that part between 4.5m — 7.5m	2.0m	For that part exceeding 7.5m	An extra 0.5m is added for every 3m in height or part thereof over 7.5m	Side and rear boundary for non-residential activities adjoining a lot in a residential zone)	Building Height Up to 4.5m	2m	For that part between 4.5m - 7.5m	2.5m	For that part exceeding 7.5m	An extra 0.5 is added for every 3m in height or part thereof over 7.5m
	Setback	Minimum Distances Measured in Metres (m)																			
	Street frontage for residential activities	6m																			
	Street frontage for other uses	0m (Maximum 1.5m)																			
	Side and rear boundary for residential activities	Building Height Up to 4.5m	1.5m																		
		For that part between 4.5m — 7.5m	2.0m																		
		For that part exceeding 7.5m	An extra 0.5m is added for every 3m in height or part thereof over 7.5m																		
	Side and rear boundary for non-residential activities adjoining a lot in a residential zone)	Building Height Up to 4.5m	2m																		
		For that part between 4.5m - 7.5m	2.5m																		
		For that part exceeding 7.5m	An extra 0.5 is added for every 3m in height or part thereof over 7.5m																		
Height																					
<p>PO2 Development is of a height that:</p> <ol style="list-style-type: none"> is low-rise; and does not impact on the amenity of adjacent land in a residential zone. 	<p>A02 Development does not exceed 2 storeys and a maximum height of 8.5m.</p>																				
Residential Density																					
<p>PO3 Development involving a Multiple dwelling:</p> <ol style="list-style-type: none"> is consistent with the low-medium residential density character of the zone; and provides diversity in housing options for a variety of household types. 	<p>A03 Development involving a Multiple dwelling has the following minimum land area requirements:</p> <ol style="list-style-type: none"> 300m² for each 3 or more bedroom unit; 270m² for each 2 bedroom unit; and 250m² for each 1 bedroom unit. 																				
Built Form and Urban Design																					
<p>PO4 Non-residential development presents an attractive and</p>	<p>A04.1 Buildings are designed to address the street and public</p>																				

<p>active frontage to all streets and public spaces, and enhances the character of the zone through:</p> <ol style="list-style-type: none"> 1. ensuring buildings address the street and public spaces; 2. ensuring buildings are visually interesting through articulation and variation to the external appearance; 3. providing opportunities for casual surveillance; and 4. clearly defined building entrances. 	<p>spaces.</p> <p>AO4.2 A minimum of 65% of the ground floor facade is windowed.</p> <p>AO4.3 The unarticulated length of any external wall along the street frontage or where buildings front a public space does not exceed 10m.</p> <p>AO4.4 Buildings achieve visual interest and articulation through a combination of the following:</p> <ol style="list-style-type: none"> 1. variation in the horizontal plane through the use of recesses, columns or blades; 2. variation in parapet design or roof form; 3. variation in colour, patterns, textures or building materials and composition; and 4. canopies, awnings or projections. <p>AO4.5 Buildings include windows and balconies that overlook the street and public spaces to provide opportunities for casual surveillance.</p> <p>AO4.6 Building entrances are clearly visible from the street.</p>
<p>PO5 Non-residential development:</p> <ol style="list-style-type: none"> 1. avoids large areas of hard stand addressing streets and public spaces; and 2. locates parking areas behind and/or to the side of buildings. 	<p>AO5 No Acceptable Outcome is prescribed.</p>
<p>Amenity</p>	
<p>PO6 Outdoor storage, utility, service and loading areas are screened so they are not visible from:</p> <ol style="list-style-type: none"> 1. the street and public spaces; and 2. residential activities and adjacent land in a residential zone. 	<p>AO6 No Acceptable Outcome is prescribed.</p>
<p>PO7 Development involving non-residential activities:</p> <ol style="list-style-type: none"> 1. does not detract from the amenity of adjoining residential activities or adjoining land in a residential zone; and 2. affords privacy to adjoining residential activities or adjoining land in a residential zone. 	<p>AO7 Development involving non-residential activities and adjoining a residential activity or land in a residential zone:</p> <ol style="list-style-type: none"> 1. development provides buffer landscaping with a minimum width of 2m or solid fencing 1.8m high along the common boundary; and 2. development screens or obscures any window 1.8m above ground level that has a direct view of land in a residential zone.
<p>PO8 Landscaping is provided to enhance the streetscape character where buildings are setback from the street or a public space.</p>	<p>AO8 Where development is setback from the street or a public space, aesthetic landscaping with a minimum width of 1m is provided along the boundaries, forward of the building.</p>
<p>Land Uses</p>	

<p>PO9 Development involving Multiple dwellings, Residential care facilities and Retirement facilities:</p> <ol style="list-style-type: none"> ensure buildings address the street and public spaces; complements the height and scale of adjacent residential activities; ensures buildings are setback from adjoining premises to maintain a sense of openness and space around buildings and to maintain privacy to adjoining residences; and locate any open space and private open space areas along the site boundary where adjoining non-residential activities. 	<p>AO9 No Acceptable Outcome is prescribed.</p>
<p>Reconfiguration of a Lot</p>	
<p>PO10 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone.</p>	<p>AO10 Reconfiguring a lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.</p>

Table 6.2.13.3.2 — Assessable Development for Mixed Use Zone - Commercial Industrial Precinct

Performance Outcomes	Acceptable Outcomes																	
<p>Setbacks</p>																		
<p>PO1 Building setbacks:</p> <ol style="list-style-type: none"> contribute to the streetscape character and a 'main street' appearance; assist in creating a walkable centre; assist in the protection of adjacent amenity, particularly where development adjoins a residential zone; and allow for access and landscaping around the building. <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>	<p>AO1.1 Building setbacks are as follows:</p> <table border="1" data-bbox="791 1128 1431 1637"> <thead> <tr> <th data-bbox="791 1128 991 1207">Setback</th> <th colspan="2" data-bbox="999 1128 1431 1207">Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td data-bbox="791 1218 991 1263">Street frontage</td> <td colspan="2" data-bbox="999 1218 1431 1263">0m (Maximum 1.5m)</td> </tr> <tr> <td data-bbox="791 1274 991 1637" rowspan="3">Side and rear boundary (where sharing a boundary with a lot that has a residential zone)</td> <th data-bbox="999 1274 1214 1308">Building Height</th> <th data-bbox="1222 1274 1431 1308">Setback</th> </tr> <tr> <td data-bbox="999 1319 1214 1352">Up to 4.5m</td> <td data-bbox="1222 1319 1431 1352">3m</td> </tr> <tr> <td data-bbox="999 1364 1214 1464">For that part between 4.5m - 7.5m</td> <td data-bbox="1222 1364 1431 1464">5m</td> </tr> <tr> <td data-bbox="999 1476 1214 1637">For that part exceeding 7.5m</td> <td colspan="2" data-bbox="1222 1476 1431 1637">An extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table> <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>		Setback	Minimum Distances Measured in Metres (m)		Street frontage	0m (Maximum 1.5m)		Side and rear boundary (where sharing a boundary with a lot that has a residential zone)	Building Height	Setback	Up to 4.5m	3m	For that part between 4.5m - 7.5m	5m	For that part exceeding 7.5m	An extra 0.5m is added for every 3m in height or part thereof over 7.5m	
Setback	Minimum Distances Measured in Metres (m)																	
Street frontage	0m (Maximum 1.5m)																	
Side and rear boundary (where sharing a boundary with a lot that has a residential zone)	Building Height	Setback																
	Up to 4.5m	3m																
	For that part between 4.5m - 7.5m	5m																
For that part exceeding 7.5m	An extra 0.5m is added for every 3m in height or part thereof over 7.5m																	
<p>Height</p>																		
<p>PO2 Development is of a height that:</p> <ol style="list-style-type: none"> is low-rise; compatible with the building height of nearby development; and does impact on the amenity of adjacent land in a residential zone. 	<p>AO2 Development does not exceed 2 storeys and a maximum height of 8.5m.</p>																	
<p>Built Form and Urban Design</p>																		

<p>PO3 Development presents an attractive and active frontage to all streets and public spaces, and enhances the desired character of the area through:</p> <ol style="list-style-type: none"> 1. ensuring buildings address the street and public spaces; 2. ensuring buildings are visually interesting through articulation and variation to the external appearance; 3. providing opportunities for casual surveillance; 4. clearly defined building entrances. 	<p>AO3.1 Buildings are designed to address the street and public spaces.</p>
	<p>AO3.2 A minimum of 65% of the ground floor facade is windowed.</p>
	<p>AO3.3 The unarticulated length of any external wall along the street frontage or where buildings front a public space does not exceed 10m.</p>
	<p>AO3.4 Buildings achieve visual interest and articulation through a combination of the following:</p> <ol style="list-style-type: none"> 1. variation in the horizontal plane through the use of recesses, columns or blades; 2. variation in parapet design or roof form; 3. variation in colour, patterns, textures or building materials; and 4. canopies, awnings or projections.
	<p>AO3.5 Buildings include windows and balconies that overlook the street and public spaces to provide opportunities for casual surveillance.</p>
	<p>AO3.6 Building entrances are clearly visible from the street.</p>
<p>PO4 Development:</p> <ol style="list-style-type: none"> 1. avoids large areas of hard stand addressing streets and public spaces; and 2. locates parking areas behind and/or to the side of buildings. 	<p>AO4 No Acceptable Outcome is prescribed.</p>
<p>PO5 Where located in Canungra, buildings are designed to contribute to the existing rural village character by using design elements found in existing traditional buildings, including:</p> <ol style="list-style-type: none"> 1. similar roof form and parapet design; 2. use of complementary materials, colours, patterns and textures; 3. similar bulk and scale; and 4. little to no front boundary setback. 	<p>AO5 No Acceptable Outcome is prescribed.</p>
<p>Amenity</p>	
<p>PO6 Outdoor storage, utility, service and loading areas are screened so they are not visible from:</p> <ol style="list-style-type: none"> 1. the street and public spaces; and 2. land in a neighbouring residential zone. 	<p>AO6 No Acceptable Outcome is prescribed.</p>
<p>PO7 Development:</p> <ol style="list-style-type: none"> 1. does not detract from the amenity of adjoining residential activities or adjoining land in a residential zone; and 2. affords privacy where the adjoining residential 	<p>AO7 Where adjoining land in a residential zone or a residential activity:</p> <ol style="list-style-type: none"> 1. development provides buffer landscaping with a minimum width of 2 metres or solid fencing 1.8m high along the common boundary; and

<p>activities or land in a residential zone.</p>	<p>2. development screens or obscures any window 1.8m above ground level that has a direct view of land in a residential zone.</p>
<p>PO8 Landscaping is provided to enhance the streetscape character where buildings are set back from the street or a public space.</p>	<p>AO8 Where development is setback from the street or a public space, aesthetic landscaping with a minimum width of 1m is provided along the boundaries, forward of the building.</p>
<p>Land Uses</p>	
<p>PO9 Development involving industrial activities are established where they do not detract from the character and amenity of the zone and adjacent land in a residential zone.</p>	<p>AO9 No Acceptable Outcome is prescribed.</p>
<p>Reconfiguration of a Lot</p>	
<p>PO10 Reconfiguring a lot: 1. creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone; and 2. for an industrial activity, is of a size and configuration to minimise conflicts with adjacent residential activities and residential zones.</p>	<p>AO10 Reconfiguring a lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.</p>

6.2.14 Neighbourhood Centre Zone Code



6.2.14.1 Application

This code applies to development:

1. within the Neighbourhood Centre Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Neighbourhood Centre Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.14.2 Purpose and Overall Outcomes

1. The purpose of the Neighbourhood Centre Zone is to provide for;
 - a. a small variety of uses and activities to service local residents; and
 - b. other small-scale uses and activities that directly support local residents, including, for example, community services, convenience shops or offices.
2. The purpose of the Neighbourhood Centre Zone Code will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates a limited range of convenience retail and commercial uses, cafes and dining, and community services that supports the needs of the immediate catchment of the Beaudesert East, Eagle Heights and Mount Tamborine neighbourhood centres;
 - ii. is subordinate to and does not detract from the role and function of the major centre and district centres of the region, which accommodates higher order retailing that service a much larger catchment;
 - iii. contributes to place making and provides a high level of streetscape amenity;
 - b. **Land uses:**
 - i. include a limited range of commercial activities including convenience retail and contains no more than one supermarket per neighbourhood centre of a size that only services the needs of the immediate catchment;
 - ii. include community services activities that service the needs of the immediate catchment;
 - iii. include a Dwelling unit, where located above the ground floor or behind a non-residential use;
 - iv. do not include Food and drink outlets with drive-through facilities in the Eagle Heights and Mount Tamborine neighbourhood centres;
 - v. do not include Shopping centres or Shops that support higher-order retailing including department stores, discount department stores and full-line supermarkets and Showrooms, which are intended to occur in the larger centres of the centre hierarchy;
 - vi. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.14.2.1 Consistent Uses and Potentially Consistent Uses in the Neighbourhood Centre Zone**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.14.2.1 Consistent Uses and Potentially Consistent Uses in the Neighbourhood Centre Zone** where further assessment has determined that the use is appropriate in the zone having regard to such matters

- as its location, impact, scale and intensity, built form and consistency with the character of the zone; and
- vii. where not listed in **Table 6.2.14.2.1 Consistent Uses and Potentially Consistent Uses in the Neighbourhood Centre Zone** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
- i. consists of a vibrant and active activity centre during the day and evening, with attractive and functional buildings, streets and public spaces that provide for the enjoyment and safety of people;
 - ii. low-rise and low scale commercial development that does not detract from the amenity of adjacent land in a residential zone;
 - iii. consists of compact development that is designed to contribute to a walkable centre;
- d. **Built form:**
- i. is low-rise and compatible with the building height of nearby development;
 - ii. enhances the streetscape character of the centre by:
 - A. locating buildings close to the street, creating a 'main street' appearance;
 - B. locating and designing buildings to address the street and public spaces;
 - C. locating on-site car parking behind and/or to the side of buildings; and
 - D. designing attractive building facades and roof forms;
 - iii. incorporates design elements that provide opportunities for casual surveillance of streets and public spaces;
 - iv. provides a safe and comfortable pedestrian experience through continuous shading along building frontages and designing development that supports the efficient movement of people to streets, public spaces and neighbouring uses;
 - v. ensures outdoor storage, utility, service and loading areas are hidden from public view to maintain the amenity of the street and public spaces and adjacent land located in a residential zone;
 - vi. provides landscaping where buildings are set back from the street or a public space;
 - vii. does not detract from the amenity of adjacent land in a residential zone;
- e. **Lot design:**
- i. supports the flexible range of land uses envisaged in the zone.

Table 6.2.14.2.1 - Consistent Uses and Potentially Consistent Uses in the Neighbourhood Centre Zone

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Commercial Activities	
Bar Car wash (where not located on Tamborine Mountain) Food and drink outlet (not involving a drive-through facility on Tamborine Mountain) Function facility Garden centre (where GFA does not exceed 250m ²) Hardware and trade supplies (where GFA does not exceed 250m ²) Health care service Market Office Parking station Service industry Service station (where not located on Tamborine Mountain) Shop (where involving a supermarket up to 1,500m ² GFA, otherwise up to 250m ² GFA) Shopping centre (where involving a supermarket up to 1,500m ² GFA or where each tenancy does not exceed 250m ² GFA) Veterinary service	Car wash* Garden Centre* Hardware and trade supplies* Hotel Shop (where not involving a department store, discount department store or full-line supermarket)* Shopping centre (where not involving a department store, discount department store or full-line supermarket)*
Community Services Activities	
Child care centre	

Club Community care centre Community use Educational establishment Emergency services	
Infrastructure Activities	
Substation Major electricity infrastructure (where proposed as underground infrastructure) Telecommunications facility Place of Worship (where not located on Tamborine Mountain) Utility Installation (where involving minor utility installation)	Major electricity infrastructure*
Recreational Activities	
Indoor sport and recreation Park	
Residential Activities	
Community residence Dwelling unit (where located above the ground storey or behind a commercial activity) Home based business (if not involving Industrial activities other than minor industrial activities)	

* other than as specified in column 1

6.2.14.3 Assessment Benchmarks

Table 6.2.14.3.1—Assessable Development

Performance Outcomes	Acceptable Outcomes														
Setbacks															
PO1 Building setbacks: 1. contribute to the streetscape character and a 'main street' appearance; 2. assist in creating a walkable centre; 3. assist in the protection of amenity of adjacent land in a residential zone; and 4. allow for access and landscaping around the building. Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.	AO1 Building setbacks are as follows:														
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage</td> <td>0m (Maximum 1.5m)</td> </tr> <tr> <td rowspan="3">Side and rear boundary (where sharing a boundary with a lot that has a residential zone)</td> <td> <table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>2m</td> </tr> <tr> <td>For that part between 4.5m - 7.5m</td> <td>2.5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>An extra 0.5 is added for every 3 m in height or part thereof over 7.5m</td> </tr> </tbody> </table> </td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Street frontage	0m (Maximum 1.5m)	Side and rear boundary (where sharing a boundary with a lot that has a residential zone)	<table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>2m</td> </tr> <tr> <td>For that part between 4.5m - 7.5m</td> <td>2.5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>An extra 0.5 is added for every 3 m in height or part thereof over 7.5m</td> </tr> </tbody> </table>	Building Height	Setback	Up to 4.5m	2m	For that part between 4.5m - 7.5m	2.5m	For that part exceeding 7.5m	An extra 0.5 is added for every 3 m in height or part thereof over 7.5m
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Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.															

Height	
<p>PO2 Development is of a height that:</p> <ol style="list-style-type: none"> 1. is low-rise; and 2. does not impact on the amenity of adjacent land in a residential zone. 	<p>AO2 Development does not exceed 2 storeys and a maximum height of 8.5m.</p>
Built Form and Urban Design	
<p>PO3 Development presents an attractive and active frontage to all streets and public spaces, and enhances the character of the zone through:</p> <ol style="list-style-type: none"> 1. ensuring buildings address the street and public spaces; 2. ensuring buildings are visually interesting through articulation and variation to the external appearance; 3. providing opportunities for casual surveillance; 4. clearly defined building entrances. 	<p>AO3.1 Buildings are designed to address the street and public spaces.</p>
	<p>AO3.2 A minimum of 65% of the ground floor facade is windowed.</p>
	<p>AO3.3 The unarticulated length of any external wall along a street frontage or where buildings front a public space does not exceed 10m.</p>
	<p>AO3.4 Buildings achieve visual interest and articulation through a combination of the following:</p> <ol style="list-style-type: none"> 1. variation in the horizontal plane through the use of recesses, columns or blades; 2. variation in parapet design or roof form; 3. variation in colour, patterns, textures and building materials; and 4. canopies, awnings or projections.
	<p>AO3.5 Windows and balconies located above ground floor overlook the street and public spaces to provide opportunities for casual surveillance.</p>
	<p>AO3.6 Building entrances are clearly visible from the street.</p>
<p>PO4 Development:</p> <ol style="list-style-type: none"> 1. creates a comfortable pedestrian experience by providing continuous shading along building frontages; and 2. ensures that pedestrians can easily and efficiently access the street and public spaces. 	<p>AO4 Buildings provide continuous shade to footpaths through the use of:</p> <ol style="list-style-type: none"> 1. awnings, verandas or the like; or 2. an overhanging first floor balcony.
<p>PO5 Development:</p> <ol style="list-style-type: none"> 1. avoids large areas of hard stand addressing streets and public spaces; and 2. locates parking areas behind and/or to the side of buildings. 	<p>AO5 No Acceptable Outcome is prescribed.</p>
Amenity	
<p>PO6 Outdoor storage, utility, service and loading areas are screened so they are not visible from:</p> <ol style="list-style-type: none"> 1. the street and public spaces; and 2. adjacent land in a residential zone. 	<p>AO6 No Acceptable Outcome is prescribed. Wall</p>

<p>PO7 Development: 1. does not detract from the amenity of adjoining land in a residential zone; and 2. affords privacy to adjoining land in a residential zone.</p>	<p>AO7 Where adjoining land in a residential zone: 1. development provides buffer landscaping with a minimum width of 2m or solid fencing 1.8m high along the common boundary; and 2. development screens or obscures any window 1.8m above ground level that has a direct view of land in a residential zone.</p>
<p>PO8 Development involving non-residential activities that operate during the evening or night does not detract from the amenity of nearby land in a residential zone.</p>	<p>AO8 No Acceptable Outcome is prescribed.</p>
<p>Reconfiguration of a Lot</p>	
<p>PO9 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone.</p>	<p>AO9 Reconfiguring a Lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.</p>

6.2.15 Recreation and Open Space Zone Code



6.2.15.1 Application

This code applies to development:

1. within the Recreation and Open Space Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Recreation and Open Space Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.15.2 Purpose and Overall Outcomes

1. The purpose of the Recreation and Open Space Zone is to provide for:
 - a. a variety of cultural, educational, leisure, recreation and sporting uses and activities, including, for example:
 - i. parks, playgrounds or playing fields for the use of residents and visitors; and
 - ii. parks and other areas for the conservation of natural areas; and
 - b. facilities and infrastructure to support the uses and activities stated in paragraph (a).
2. The purpose of the **Recreation and Open Space Zone Code (Where no precinct applies)** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates active and passive recreation activities and supports community uses and infrastructure;
 - ii. contributes to the regional open space network;
 - iii. facilitates the co-location of activities and the multi-use of facilities, where possible;
 - iv. does not detract from the amenity of sensitive receivers.
 - b. **Land uses:**
 - i. include recreational activities, provided that higher impacting uses such as Motor sport facilities and Outdoor sport and recreation (involving rifle or shooting range) are separated from sensitive receivers;
 - ii. include tourism activities limited to Environment facility and Tourist park for the enjoyment and appreciation of the natural landscape;
 - iii. include low impact rural activities for maintenance and community projects;
 - iv. include Caretaker's accommodation, Clubs, community services activities and Food and drink outlets (without drive through facilities) where the use is demonstrated to be:
 - A. ancillary to recreation activities on the site; and
 - B. subordinate in scale to the primary use of the site;
 - v. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.15.2.1 Consistent Uses and Potentially Consistent Uses in the Recreation and Open Space Zone (Where no precinct applies)**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.15.2.1 Consistent Uses and Potentially Consistent Uses in the Recreation and Open Space Zone** where further

- assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone;
- vi. where not listed in **Table 6.2.15.2.1 Consistent Uses and Potentially Consistent Uses in the Recreation and Open Space Zone (Where no precinct applies)** are inconsistent uses and are not intended to occur in the zone;
- c. Character:**
- i. consists of:
 - A. safe and accessible public areas in a natural, urban or rural location, with facilities and infrastructure consistent with the setting, to allow for their recreation and enjoyment by the local community and visitors; and
 - B. natural and undeveloped land, open space and areas that manage overland flow and stormwater, which may or may not be easily accessible;
 - ii. involves development that contributes to creating a vibrant and active community, with attractive and functional buildings, streets and public spaces that:
 - A. provide for the enjoyment and safety of people; and
 - B. complements the design of surrounding development;
 - C. consists of development that is predominately low-rise and of a low to medium intensity that does not detract from the amenity of nearby sensitive receivers;
- d. Built form:**
- i. where possible, is designed to be flexible, adaptable and multi-use to support the variety of uses envisaged in the zone;
 - ii. complements the scale, height and bulk of surrounding development;
 - iii. enhances the streetscape character by:
 - A. locating and designing buildings to address the street and public spaces; and
 - B. designing attractive building facades;
 - iv. is designed to provide a safe and comfortable pedestrian experience through:
 - A. designing development that supports the efficient movement of people to streets, public spaces and neighbouring uses; and
 - B. incorporating design elements that provide opportunities for casual surveillance of streets and public spaces;
 - v. is designed to ensure outdoor storage, utility, service and loading areas are hidden from public view to maintain the amenity of the street and public spaces;
 - vi. is designed to protect the amenity of nearby sensitive receivers;
 - vii. maintains views to significant landscape features, such as ridgelines.
- e. Lot design:**
- i. allows land to be used for a variety of community, recreation and open space related uses.

Table 6.2.15.2.1 - Consistent Uses and Potentially Consistent Uses in the Recreation and Open Space Zone (Where no precinct applies)

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Recreational Activities	
Indoor sport and recreation Outdoor sport and recreation (excluding rifle or shooting range) Park	Major sport, recreation and entertainment facility Motor sport facility Outdoor sport and recreation*
Community Service Activities	
Club Community use Emergency services	
Infrastructure Activities	
Major electricity infrastructure Substation	Renewable energy facility

Telecommunications facility Utility installation (where minor utility installation)	
Tourism Activities	
Environment facility Tourist park (not exceeding 50 tourist accommodation sites)	Tourist park*
Commercial Activities	
Food and drink outlet (where not exceeding 200m ² GFA and not involving a drive-through facility) Market Outdoor sales (where involving a livestock saleyard) Parking station	Food and drink outlet (not involving a drive-through facility on Tamborine Mountain)*
Residential Activities	
Caretaker's accommodation	
Rural Activities	
Animal husbandry Cropping Permanent plantation	

*other than as specified in column 1

3. The purpose of the **Recreation and Open Space Zone - Passive Recreation Precinct** will be achieved through the following overall outcomes:

a. **Development:**

- i. provides for low-impact informal or non-organised forms of recreational activity which are carried out in an ecologically sustainable manner in a natural environment;
- ii. protects the integrity of open space and reserve areas with respect to their nature conservation values, scenic and landscape amenity values and recreational value to the community;
- iii. does not detract from the amenity of sensitive receivers; and
- iv. contributes to the regional open space network.

b. **Land Uses:**

- i. include low-scale and low intensity recreational activities, including Park and small-scale Outdoor sport and recreation;
- ii. include tourism activities limited to Environment facility for the enjoyment and appreciation of the natural landscape;
- iii. include low impact rural activities for maintenance and community projects;
- iv. include Caretaker's accommodation where the use is demonstrated to be:
 - A. ancillary to passive recreation activities on the site; and
 - B. subordinate in scale to the primary use of the site;
- v. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.15.2.2 Consistent Uses and Potentially Consistent Uses in the Recreation and Open Space Zone - Passive Recreation Precinct**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.15.2.2 Consistent Uses and Potentially Consistent Uses in the Recreation and Open Space Zone - Passive Recreation Precinct** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone;
- vi. where not listed in **Table 6.2.15.2.2 Consistent Uses and Potentially Consistent Uses in the Recreation and Open Space Zone - Passive Recreation Precinct**, are inconsistent uses and are not intended to occur in the zone;

c. **Character:**

- i. consists of:
 - A. land in a natural or rural location, with limited facilities and infrastructure consistent with the

- setting, to allow for their recreation and enjoyment by the local community and visitors; and
- B. natural and undeveloped land, areas with scenic amenity or nature conservation values and areas that manage overland flow and stormwater, which may or may not be easily accessible;
- d. **Built form:**
- i. complements the bushland and natural landscape setting;
 - ii. is located and designed to:
 - A. protect areas of significant environmental value;
 - B. minimise the removal of vegetation and natural habitat areas;
 - C. minimise modifications to the natural landform.
- e. **Lot Design:**
- i. allows land to be used for a variety of passive recreation and open space related uses.

Table 6.2.15.2.2 - Consistent Uses and Potentially Consistent Uses in the Recreation and Open Space Zone - Passive Recreation Precinct

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Recreational Activities	
Park	Outdoor sport and recreation
Infrastructure Activities	
Major electricity infrastructure Substation Telecommunications facility Utility installation (where minor utility installation)	Renewable energy facility
Tourism Activities	
Environment facility	
Residential Activities	
Caretaker's accommodation	
Rural Activities	
Animal husbandry Cropping Permanent plantation	

**other than as specified in column 1*


6.2.15.3 Assessment Benchmarks

Table 6.2.15.3.1—Accepted and Assessable Development for Recreation and Open Space Zone (Where no precinct applies) and Recreation and Open Space Zone (Passive Recreation Precinct)

Performance Outcomes	Acceptable Outcomes						
Setbacks							
PO1 Building setbacks: 1. assist in the protection of the amenity of adjacent land; and 2. reduce the visual dominance of the built form from the road or adjoining dwellings. <i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>	AO1 Building setbacks are as follows:						
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Front boundary</td> <td>10m</td> </tr> <tr> <td>Side and rear boundary</td> <td>10m</td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Front boundary	10m	Side and rear boundary	10m
	Setback	Minimum Distances Measured in Metres (m)					
	Front boundary	10m					
Side and rear boundary	10m						
<i>Note - Where setbacks are required in this code or other</i>							

	<i>codes, the higher numerical standard prevails.</i>
Height	
PO2 Development is of a low rise character that does not affect the amenity of adjacent areas, particularly land included in a residential zone.	AO2 Building height (excluding infrastructure activities and lighting towers) does not exceed 2 storeys with a maximum height of 8.5m.


Table 6.2.15.3.2 — Assessable Development - for Recreation and Open Space Zone (Where no precinct applies)

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
PO1 Where possible, development is designed to facilitate the co-location of activities and the multi-use of facilities.	AO1 No Acceptable Outcome is prescribed.
PO2 Pedestrian access to and within areas used for recreational activities is clearly defined and safe, and separated from vehicular access.	AO2 No Acceptable Outcome is prescribed.
PO3 Development maintains and protects important views to significant landscape features, such as ridgelines.	AO3 Development: <ol style="list-style-type: none"> protects the views from public places of significant landscapes features; avoids building on a ridgeline; and does not obstruct the views to a ridgeline from a road. Refer to Figure 1.  <p style="text-align: center;">Figure 1</p>
PO4 The design and location of development: <ol style="list-style-type: none"> is of a scale and height that is compatible with any adjacent residential activities or land in a residential zone; ensures buildings are visually interesting through articulation and variation to the external appearance; provides opportunities for casual surveillance and clearly defined building entrances; minimises excavation and fill and other modifications to the natural landform; maximises the retention of vegetation and provides landscaping between buildings; prevents overlooking and maintains the privacy of nearby residential activities or land in a residential zone; and facilitates safe and efficient vehicular access. 	AO4 No Acceptable Outcome is prescribed.

Reconfiguration of a Lot	
<p>PO5 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the zone.</p>	<p>AO5 Reconfiguring a lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.</p>

Table 6.2.15.3.3 — Assessable Development - for Recreation and Open Space Zone - Passive Recreation Precinct

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
<p>PO1 Development associated with public visitation for passive recreation purposes ensures that:</p> <ol style="list-style-type: none"> visitation and facilities will not result in adverse impacts on the character and amenity of any adjoining land; visitor facilities are located where access is via a road with an appropriate design capacity; visitor facilities are located such that buffering is retained to any adjoining residential area; the nature conservation values, integrity and ecological functioning of the open space and recreation reserve area are maintained and protected. 	<p>AO1 No Acceptable Outcome is prescribed.</p>
<p>PO2 The design and location of development:</p> <ol style="list-style-type: none"> is low scale and subordinate to the open space or natural character of the landscape; ensures the visual impact of buildings is minimised through a design that allows the natural setting to remain the dominant feature of the land; provides opportunities for casual surveillance and clearly defined building entrances; minimises excavation and fill and other modifications to the natural landform; maximises the retention of vegetation; prevents overlooking and maintains the privacy of nearby residential activities or land in a residential zone; and facilitates safe and efficient vehicular access. 	<p>AO2 No Acceptable Outcome is prescribed.</p>
<p>PO3 Development provides a benefit to and satisfies a community need of the local residents and provides for social interaction.</p>	<p>AO3 No Acceptable Outcome is prescribed.</p>

<p>PO4 Development maintains and protects important views to significant landscape features, such as ridgelines.</p>	<p>AO4 Development:</p> <ol style="list-style-type: none"> 1. protects the views from public places of significant landscapes features; 2. avoids building on a ridgeline; and 3. does not obstruct the views to a ridgeline from a road. Refer to Figure 1.  <p style="text-align: center;">Figure 1</p>
<p>Reconfiguration of a Lot</p>	
<p>PO5 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the zone.</p>	<p>AO5 Reconfiguring a lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.</p>

6.2.16 Rural Residential Zone Code



6.2.16.1 Application

This code applies to development:

1. within the Rural Residential Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Rural Residential Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.16.2 Purpose and Overall Outcomes

1. The purpose of the Rural Residential Zone is to provide for residential uses and activities on large lots, including lots for which the local government has not provided infrastructure and services.
2. The purpose of the **Rural Residential Zone Code (Where no precinct applies)** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates low density residential living on large lots;
 - ii. protects the high level of residential amenity and privacy expected in the zone;
 - b. **Land uses:**
 - i. consist of predominantly Dwelling houses and Home based businesses;
 - ii. include Dual occupancies, only where development:
 - A. is located on large lots to maintain the low density residential character of the zone; and
 - B. has the appearance of a single dwelling when viewed from the street;
 - iii. may include the non-residential activities listed in **Table 6.2.16.2.1 Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone (Where no precinct applies)** that:
 - A. are small scale and of a low intensity;
 - B. do not detract from the amenity of residential activities; and
 - C. wherever possible, are co-located with other non-residential activities in the zone;
 - iv. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.16.2.1 Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone (Where no precinct applies)**; or
 - B. the uses listed as a potentially consistent use in column 2 of **Table 6.2.16.2.1 Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone (Where no precinct applies)** only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone;
 - v. where not listed in **Table 6.2.16.2.1 Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone (Where no precinct applies)** are inconsistent uses and are not intended to occur

- in the zone;
- c. **Character:**
 - i. is a low rise and very low density residential environment that has a high level of amenity and privacy;
 - ii. maintains a semi-rural or natural landscape setting, where natural landscape features and environmental values such as ridgelines, waterways, vegetation, ecological corridors and open space prevail over the built form;
 - iii. involves limited non-residential activities of a residential scale and appearance;
- d. **Built form:**
 - i. is small scale;
 - ii. is low-rise and compatible with the building height of nearby residential development;
 - iii. enhances the streetscape character of the area by setting buildings back from the street frontage;
 - iv. involves space around buildings to:
 - A. retain the low density character and high residential amenity of the zone;
 - B. give a sense of openness between buildings when viewed from the street and public spaces; and
 - C. maintain a high level of privacy to adjoining residences;
 - v. has a residential appearance and complements the surrounding built form;
- e. **Lot design:**
 - i. supports low density residential living on large lots;
 - ii. where outside a wastewater service catchment, provides sufficient area for onsite wastewater disposal; and
 - iii. complies with **Table 9.4.6.3.2 - Minimum Lot Size and Design.**

Table 6.2.16.2.1 - Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone (Where no precinct applies)

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Residential Activities	
Community residence Dual occupancy (on a lot 4000m ² or greater and where not located in a Mountain Community) Dwelling house Home based business (if not involving Industrial activities other than minor industrial activities) Sales office	Dual occupancy*
Community Services Activities	
Emergency services	Child care centre (where obtaining access from a higher order road) Club (where small scale and not involving a liquor licence)
Tourist Activities	
Short-term accommodation (where involving a holiday home)	
Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (where a minor utility installation)	Major electricity infrastructure*
Rural Activities	
Animal husbandry Animal keeping (excluding Kennel) Cropping	

Roadside stall	
Recreation Activities	
Park	

* other than as specified in column 1

3. The purpose of the **Rural Residential Zone Code - Rural Residential A Precinct** will be achieved through the following overall outcomes:

a. **Development:**

- i. facilitates low density residential living on large acreage lots in a semi-rural or natural landscape setting;
- ii. protects the high level of residential amenity and privacy expected in the zone;
- iii. complements the semi-rural or natural landscape setting;

b. **Land uses:**

- i. consist of predominantly Dwelling houses and Home based businesses;
- ii. include Dual occupancies, only where development:
 - A. is located on large lots to maintain the low density residential character of the zone;
 - B. has the appearance of a single dwelling when viewed from the street;
- iii. include rural activities that are small in scale and low in intensity where any impacts are managed within boundary of the site;
- iv. may include small-scale Nature based tourism and Environment facilities on large lots where impacts on the high level of residential amenity expected in the zone are avoided and privacy is maintained;
- v. may include other non-residential activities listed in **Table 6.2.16.2.2 Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone - Rural Residential A Precinct** that:
 - A. are small scale and of a low intensity;
 - B. do not detract from the amenity of residential activities; and
 - C. wherever possible, are co-located with other non-residential activities in the zone;
- vi. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.16.2.2 Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone - Rural Residential A Precinct**; or
 - B. the uses listed as a potentially consistent use in column 2 of **Table 6.2.16.2.2 Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone - Rural Residential A Precinct** only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone;
- vii. where not listed in **Table 6.2.16.2.2 Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone - Rural Residential A Precinct** are inconsistent uses and are not intended to occur in the zone;

c. **Character:**

- i. involves low density residential living on large acreage lots, in a semi-rural or natural landscape setting, where natural landscape features and environmental values such as ridgelines, waterways, vegetation, ecological corridors and open space prevail over the built form;
- ii. a low rise and low intensity environment that achieves a high level of residential amenity and privacy;

d. **Built form:**

- i. is small scale;
- ii. is low-rise and compatible with the building height of nearby residential development;
- iii. complements the semi-rural or natural landscape setting;
- iv. enhances the streetscape character of the area by setting buildings back from the street frontage;
- v. involves space around buildings to:
 - A. retain the low density character and high residential amenity of the zone;
 - B. give a sense of openness between buildings when viewed from the street and public spaces; and
 - C. maintains a high level of privacy and minimise nuisance to adjoining residences;
- vi. has a residential appearance and complements the existing surrounding built form;

e. **Lot design:**

- i. supports low density residential living on large acreage lots in a semi-rural or natural landscape setting;

- ii. where outside a wastewater service catchment, provides sufficient area for onsite wastewater disposal; and
- iii. complies with the requirements of **Table 9.4.6.3.2 - Minimum Lot Size and Design**.

Table 6.2.16.2.2 - Consistent Uses and Potentially Consistent Uses in the Rural Residential Zone - Rural Residential A Precinct

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Residential Activities	
Community residence Dual occupancy (on a lot 1ha or greater and where not located in a Mountain Community) Dwelling house Home based business (if not involving Industrial activities other than minor industrial activities) Sales office	Dual occupancy*
Community Services Activities	
Emergency services	Child care centre (where obtaining access from a higher order road) Club (where small scale and not involving a liquor licence)
Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (where a minor utility installation)	Major electricity infrastructure *
Rural Activities	
Animal husbandry Animal keeping (where low impact or small kennels on large lots) Aquaculture (minor aquaculture) Cropping Intensive horticulture (not exceeding 500m ² GFA) Roadside stall Wholesale nursery (not exceeding 500m ² TUA)	Animal keeping (other kennels) Aquaculture Intensive horticulture* Wholesale nursery*
Tourism Activities	
Short-term accommodation (where involving a holiday home)	Nature based tourism Environment facility
Commercial Activities	
Veterinary service	
Industrial activities	
Transport depot (not exceeding 4 heavy vehicles)	
Recreation Activities	
Park	

* other than as specified in column 1

6.2.16.3 Assessment Benchmarks

Table 6.2.16.3.1—Accepted and Assessable Development for Rural Residential Zone (Where no precinct applies) and Rural Residential Zone — Rural Residential A Precinct

Performance Outcomes	Acceptable Outcomes														
Setback															
<p>PO1 Setbacks:</p> <ol style="list-style-type: none"> assist in the protection of the low density residential character of the zone; contribute to streetscape character; assist in the protection of residential amenity and privacy to adjoining premises; allow for access and landscaping around the building; provide a sense of space and openness between buildings and from the street; and allow for on-site car parking between the front boundary and buildings. <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>	<p>AO1 Setbacks are as follows:</p> <table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage for all other uses</td> <td>6m</td> </tr> <tr> <td rowspan="3">Side and rear boundary</td> <td> <table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>3m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table> </td> </tr> </tbody> </table> <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p> <p><i>Editor's Note - For setbacks relating to a Dwelling house or Dual occupancy, refer to the relevant use code</i></p>	Setback	Minimum Distances Measured in Metres (m)	Street frontage for all other uses	6m	Side and rear boundary	<table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>3m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table>	Building Height	Setback	Up to 4.5m	3m	For that part between 4.5m — 7.5m	5m	For that part exceeding 7.5m	5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m
	Setback	Minimum Distances Measured in Metres (m)													
	Street frontage for all other uses	6m													
	Side and rear boundary	<table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>3m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>5m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table>	Building Height	Setback	Up to 4.5m	3m	For that part between 4.5m — 7.5m	5m	For that part exceeding 7.5m	5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m					
		Building Height	Setback												
		Up to 4.5m	3m												
For that part between 4.5m — 7.5m	5m														
For that part exceeding 7.5m	5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m														
Height															
<p>PO2 Development is of a height that:</p> <ol style="list-style-type: none"> is low rise; does not detract from the amenity of adjoining premises; and is compatible with the height of nearby residential activities. 	<p>AO2 Development does not exceed 2 storeys and a maximum height of 8.5m.</p>														
Dual Occupancy															
<p>PO3 Where involving a Dual occupancy, development:</p> <ol style="list-style-type: none"> has low site cover to maintain the low density residential character of the zone; and has the appearance of a single dwelling when viewed from the street. 	<p>AO3.1 The site cover of a Dual occupancy does not exceed 20% of the total site area or 700m² GFA, whichever is the lesser.</p>														
	<p>AO3.2 A Dual occupancy is sited and designed to give the appearance of a single dwelling when viewed from the street.</p>														


Table 6.2.16.3.2 — Assessable Development - Rural Residential Zone (Where no precinct applies)

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	

<p>PO1 Non-residential development has a residential appearance and is designed to complement the surrounding built form and character through the use of:</p> <ol style="list-style-type: none"> 1. similar design elements; 2. similar roof form; and 3. complementary materials, colours, patterns and textures. 	<p>AO1 No Acceptable Outcome is prescribed.</p>
<p>Land Uses</p>	
<p>PO2 Non-residential uses are:</p> <ol style="list-style-type: none"> 1. small in scale and low in intensity; 2. do not detract from the amenity of residential activities; and 3. wherever possible, are co-located with other non-residential activities in the zone. 	<p>AO2 No Acceptable Outcome is prescribed.</p>
<p>PO3 Dual occupancies are located on large lots to maintain the low density residential character of the zone.</p>	<p>AO3 A Dual occupancy is located on a lot:</p> <ol style="list-style-type: none"> 1. 4000m² or greater and where not located in a Mountain Community; or 2. 8000m² or greater where located in a Mountain Community.
<p>Reconfiguration of a Lot</p>	
<p>PO4 Reconfiguring a lot:</p> <ol style="list-style-type: none"> 1. creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone; 2. facilitates low density residential living on large lots; 3. where outside a wastewater service catchment, provides sufficient area for onsite wastewater disposal; and 4. complies with the requirements of Table 9.4.6.3.2 - Minimum Lot Size and Design. 	<p>AO4 No Acceptable Outcome is prescribed.</p>

Table 6.2.16.3.3 — Assessable Development - Rural Residential Zone - Rural Residential A Precinct

Performance Outcomes	Acceptable Outcomes
<p>Built Form and Urban Design</p>	
<p>PO1 Non-residential development has a residential appearance and is designed to complement the surrounding built form and character through the use of similar design elements, materials and colours.</p>	<p>AO1 No Acceptable Outcome is prescribed.</p>
<p>Amenity</p>	
<p>PO2 Development involving non-residential activities maintains and is subordinate to the natural land form and natural landscape features of the site such as waterways and vegetated areas.</p>	<p>AO2 No Acceptable Outcome is prescribed.</p>

<p>PO3 Development maintains and protects important views to significant landscape features, including ridgelines.</p>	<p>AO3 Development:</p> <ol style="list-style-type: none"> 1. protects the views of significant landscapes features where viewed from the street and public spaces; 2. avoids building on a ridgeline; and 3. does not obstruct the views to a ridgeline from a road. Refer to Figure 1.  <p style="text-align: center;">Figure 1.</p>
Land Uses	
<p>PO4 Non-residential uses are:</p> <ol style="list-style-type: none"> 1. small scale and of a low intensity; 2. do not detract from the amenity of adjacent residential activities; 3. maintains the privacy of adjacent residential activities or land in a residential zone; and 4. wherever possible, are co-located with other non-residential activities in the zone. 	<p>AO4 No Acceptable Outcome is prescribed.</p>
<p>PO5 Dual occupancies are located on large lots to maintain the low density residential character of the zone.</p>	<p>AO5 A Dual occupancy is located on a lot:</p> <ol style="list-style-type: none"> 1. 1ha or greater and where not located in a Mountain Community; or 2. 2ha or greater where located in a Mountain Community.
Reconfiguration of a Lot	
<p>PO6 Reconfiguring a lot:</p> <ol style="list-style-type: none"> 1. creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone; 2. facilitates very low density residential living on large lots that maintain the semi-rural or natural landscape setting; 3. where outside a wastewater service connection area, provides sufficient site area for onsite wastewater disposal; and 4. complies with the requirements of Table 9.4.6.3.2 - Minimum Lot Size and Design. 	<p>AO6 No Acceptable Outcome is prescribed.</p>

6.2.17 Rural Zone Code



6.2.17.1 Application

This code applies to development:

1. within the Rural Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Rural Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.17.2 Purpose and Overall Outcomes

1. The purpose of the Rural Zone is to:
 - a. provide for rural uses and activities; and
 - b. provide for other uses and activities that are compatible with:
 - i. existing and future rural uses and activities; and
 - ii. the character and environmental features of the zone; and
 - c. maintain the capacity of land for rural uses and activities by protecting and managing significant natural resources and processes.
2. The purpose of the **Rural Zone Code (Where no precinct applies)** will be achieved through the following overall outcomes:
 - a. **Development** facilitates:
 - i. a wide range of rural uses, rural living and complementary non-rural uses that protect or enhance:
 - A. the use of the land for agricultural production; and
 - B. the rural character, natural landscape and environmental values of the zone.
 - b. **Land uses**:
 - i. include a mix of rural activities including Aquaculture, Animal husbandry, Animal keeping, Cropping, Permanent plantation, Roadside stall, Rural industry and Wholesale nursery;
 - ii. include Intensive animal industry and Intensive horticulture where:
 - A. located, designed and managed to avoid adverse impacts on the amenity and landscape character of the locality; and
 - B. appropriately serviced by necessary road infrastructure.
 - iii. include Dwelling houses, Dual occupancies, Home based businesses and Rural workers' accommodation to support rural activities or provide rural living opportunities;
 - iv. include tourism activities and recreation activities of a scale, nature and intensity that complements and protects the rural and natural landscape setting;
 - v. where involving a use other than a rural activity or residential activity:
 - A. maintain the capacity of the land for agricultural production;
 - B. are complementary and remain ancillary to the agricultural resource base;

- vi. facilitate diversification or value-adding opportunities that support or increase agricultural production and the ongoing operation of rural activities;
 - vii. protect or enhance the rural and natural landscape character of the zone;
 - viii. minimise the potential for land use conflict with surrounding rural land;
 - ix. protect the rural amenity expected in the zone;
 - x. are appropriately serviced by necessary road infrastructure;
 - xi. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.17.2.1 - Consistent Uses and Potentially Consistent Uses in the Rural Zone (Where no precinct applies)**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.17.2.1 - Consistent Uses and Potentially Consistent Uses in the Rural Zone (Where no precinct applies)** only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, nature, scale and intensity.
 - xii. where not listed in **Table 6.2.17.2.1 - Consistent Uses and Potentially Consistent Uses in the Rural Zone (Where no precinct applies)** are inconsistent uses and are not intended to occur in the zone.
- c. **Character** consists of:
- i. rural and natural landscapes characterised by large expanses of productive agricultural land, hinterland areas, forested mountains, hills and valley settings and waterways and dams in a varying natural landscape from the upper reaches to the low-lying areas of their catchments;
 - ii. rural buildings and infrastructure, with the visibility of large-scale buildings and structures associated with Rural industry, Intensive animal industries and Intensive horticulture minimised through siting or the provision of screen landscaping;
 - iii. rural living opportunities that experience a level of amenity typical of a traditional rural environment; and
 - iv. limited non-rural activities that complement the rural and natural landscape setting of the zone.
- d. **Built form**:
- i. where involving large-scale buildings or structures associated with Rural industry, Intensive animal industries or Intensive horticulture, are sited or provided with screen landscaping to minimise their bulk and visibility from roads, public places or sensitive land uses; and
 - ii. where involving non-rural activities:
 - A. is small scale, low-rise and set back from property boundaries to protect the potential for or ongoing operation of agricultural production on adjacent land, maintain the low density character of the zone and to afford privacy to residential activities; and
 - B. is located and designed to complement the rural and natural landscape setting of the zone.
- e. **Lot design**:
- i. facilitates agricultural production, and minimises the loss and fragmentation of land for agricultural production; and
 - ii. complies with the standards in **Table 9.4.6.3.2 - Minimum Lot Size and Design**.

Table 6.2.17.2.1—Consistent Uses and Potentially Consistent Uses in the Rural Zone (Where no precinct applies)

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Commercial Activities	
Agricultural supplies store (not exceeding 750m ² GFA and obtaining access from a higher order road) Food and drink outlet (not exceeding 200m ² GFA and not involving a drive through) Garden centre (not exceeding a 50m ² TUA, operating in association with a Wholesale nursery or Intensive horticulture and obtaining access from a sealed road) Market Outdoor sales (where involving a livestock saleyard) Veterinary service	Function facility Garden centre*
Community Service Activities	
Emergency services	Cemetery

Place of worship (where involving an extension to an existing Place of worship and the extension does not exceed 200m ² GFA)	Club (where access is obtained from a higher order road) Community use Educational establishment Outstation Place of worship*
Industrial Activities	
Bulk landscape supplies (where the development footprint does not exceed 1ha, on a site greater than 10ha and access is obtained from a higher order road) Low impact industry (if on a site greater than 4ha in area) Medium impact industry (where concrete batching associated with an Extractive industry (quarry)) Transport depot (not exceeding 15 heavy vehicles and on a site greater than 10ha) Winery	Bulk landscape supplies* Crematorium Low impact industry* Transport depot*
Infrastructure Activities	
Major electricity infrastructure Renewable energy facility Substation Telecommunications facility Utility installation (where involving minor utility installation or groundwater extraction)	Air service Utility installation*
Recreational Activities	
Outdoor sport and recreation (not exceeding 1000m ² GFA and not involving a rifle or shooting range) Park	Indoor sport and recreation Major sport, recreation and entertainment facility Motor sport facility Outdoor sport and recreation*
Residential Activities	
Community residence Dual occupancy (on a lot 4,000m ² or greater) Dwelling house Home based business Rural workers' accommodation	Dual occupancy* Non-residence workforce accommodation
Rural Activities	
Animal husbandry Animal keeping (where low impact or involving a small kennel) Aquaculture Cropping Extractive industry (if extracting less than 5,000 tonnes of quarry material per annum or if involving groundwater extraction) Intensive animal industry# Intensive horticulture Permanent plantation Roadside stall Rural industry (not exceeding 500m ² GFA) Wholesale nursery	Animal keeping* Extractive industry* Intensive animal industry (where involving an ERA) Rural industry*
Tourism Activities	

Environment facility Nature-based tourism (not exceeding 6 tourist accommodation sites or a tourist activity not exceeding 200m ² GFA) Short-term accommodation (where involving a holiday home or not exceeding 6 cabins) Tourist attraction (not exceeding 200m ² GFA) Tourist park (not exceeding 25 tourist accommodation sites)	Nature-based tourism* Short term accommodation* (excluding a Motel, Backpackers, Serviced apartments and Accommodation hotel) Tourist attraction* Tourist park*
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other than as specified in column 2

* other than as specified in column 1

3. The purpose of the **Rural Zone Code - Rural Escarpment Protection Precinct** will be achieved through the following overall outcomes:
- a. **Development:**
 - i. facilitates very low intensity activities that protect the regionally significant natural landscape and environmental values of the precinct.
 - b. **Land Uses:**
 - i. include Dwelling houses, Home based businesses and Dual occupancies and low impact rural activities including Animal husbandry, Animal keeping, Aquaculture, Cropping, Permanent plantation and Roadside stall;
 - ii. include small scale tourism activities that involve a holiday home or have a focus on the conservation, interpretation or appreciation of areas of natural landscape and environmental value;
 - iii. include small scale Food and drink outlets without drive-through facilities;
 - iv. where involving a use other than a low-impact rural activity or low density residential activity:
 - A. protect or enhance the natural landscape values of the precinct;
 - B. maintain or enhance vegetation cover;
 - C. are small scale and of a very low intensity; and
 - D. do not detract from the amenity and privacy of adjoining premises.
 - v. do not include Extractive industry including for groundwater extraction;
 - vi. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.17.2.2 - Consistent Uses and Potentially Consistent Uses in the Rural Zone - Rural Escarpment Protection Precinct**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.17.2.2 - Consistent Uses and Potentially Consistent Uses in the Rural Zone - Rural Escarpment Protection Precinct** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, nature, scale and intensity.
 - vii. where not listed in **Table 6.2.17.2.2 - Consistent Uses and Potentially Consistent Uses in the Rural Zone - Rural Escarpment Protection Precinct** are inconsistent uses and are not intended to occur in the zone.
 - c. **Character consists of:**
 - i. land in a predominantly natural state where the regionally significant natural landscape value of the precinct is protected;
 - ii. low rise and very low intensity development that protects and complements the natural landscape value of the precinct and maintains existing vegetation cover.
 - d. **Built form:**
 - i. is located and designed to complement and protect the natural landscape setting of the precinct;
 - ii. does not exceed the predominant height of the vegetation canopy; and
 - iii. is small scale, low-rise and setback from property boundaries to maintain the low density character of the zone and maintain the amenity and privacy to adjoining premises.
 - e. **Lot design:**
 - i. protects the regionally significant natural landscape and environmental values of the precinct; and
 - ii. complies with the standards in **Table 9.4.6.3.2 - Minimum Lot Size and Design**.

Table 6.2.17.2.2—Consistent Uses and Potentially Consistent Uses in the Rural Zone - Rural Escarpment Protection Precinct

Column 1	Column 2
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Consistent Uses	Potentially Consistent Uses
Commercial Activities	
Food and drink outlet (where not exceeding 200m ² GFA and not involving a drive through facility)	
Infrastructure Activities	
Substation Telecommunications facility Utility installation (where involving a minor utility installation)	
Recreational Activities	
Park	
Residential Activities	
Community residence Dwelling house Home based business	Dual occupancy
Rural Activities	
Animal husbandry Animal keeping (where low impact or not involving animal boarding) Aquaculture Cropping (not involving forestry for wood production) Intensive animal industry (where keeping poultry not involving an ERA) Permanent plantation Roadside stall	
Tourism Activities	
Environment facility (not exceeding 200m ² TUA) Nature-based tourism (where located on a site greater than 2ha and not exceeding a total of 4 tourist accommodation sites, or a tourist activity not exceeding 200m ² TUA) Short-term accommodation (where involving a holiday home)	Environment facility (not exceeding 500m ² TUA) Nature-based tourism (not exceeding 10 tourist accommodation sites or a tourist activity not exceeding 500m ² TUA)

* other than as specified in column 1

4. The purpose of the **Rural Zone Code - Tamborine Mountain Rural Precinct** will be achieved through the following overall outcomes:
- a. **Development:**
 - i. facilitates a mix of low impact agricultural production, tourism and rural living opportunities that:
 - A. complement the semi-rural and natural landscape setting of the precinct; and
 - B. do not detract from the amenity and privacy of nearby land in a residential zone.
 - b. **Land Uses:**
 - i. include a mix of low impact rural activities including Animal husbandry, Animal keeping, Aquaculture, Cropping, Intensive horticulture (not involving mushroom farming), Permanent plantation, Roadside stall, Rural workers' accommodation and Wholesale nursery;
 - ii. include Dwelling houses, Dual occupancies and Home based businesses to support rural activities or provide rural living opportunities;
 - iii. include tourism activities and recreation activities that are of a scale, nature and intensity that complement and protect the semi-rural and natural landscape setting of the precinct and that are compatible with nearby land in a residential zone;

- iv. include Food and drink outlets without drive-through facilities;
- v. where involving a use other than a low impact rural activity or low density residential activity:
 - A. protect or enhance the semi-rural and natural landscape values of the precinct;
 - B. are small scale and of a low intensity;
 - C. facilitate diversification or value-adding opportunities that support or increase agricultural production and the ongoing operation of low-impact rural activities;
 - D. do not detract from the amenity and privacy of adjoining premises;
- vi. do not include Intensive animal industries (with the exception of small-scale poultry keeping) and Intensive horticulture (involving mushroom farming) due to the prevailing small rural lot size and the proximity of residential zoned land to the precinct;
- vii. do not include Extractive industry including groundwater extraction;
- viii. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.17.2.3 - Consistent Uses and Potentially Consistent Uses in the Rural Zone - Tamborine Mountain Rural Precinct**; or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.17.2.3 - Consistent Uses and Potentially Consistent Uses in the Rural Zone - Tamborine Mountain Rural Precinct** only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, nature, scale and intensity;
- ix. where not listed in **Table 6.2.17.2.3 - Consistent Uses and Potentially Consistent Uses in the Rural Zone - Tamborine Mountain Rural Precinct** are inconsistent uses and are not intended to occur in the zone.
- c. **Character** consists of a mix of small farms, low density residential living opportunities and small scale tourist activities and recreation activities set amongst a semi-rural and natural landscape setting.
- d. **Built form:**
 - i. is located and designed to complement and protect the semi-rural and natural landscape setting of the precinct;
 - ii. is small scale, low-rise and set back from property boundaries to maintain the low density character of the zone and maintain the amenity (in terms of noise, odour and visual amenity) and afford privacy to adjoining premises.
- e. **Lot design:**
 - i. prevents fragmentation of land;
 - ii. maintains the semi-rural and natural landscape setting; and
 - iii. complies with the standards in **Table 9.4.6.3.2 - Minimum Lot Size and Design**.

Table 6.2.17.2.3—Consistent Uses and Potentially Consistent Uses in the Rural Zone - Tamborine Mountain Rural Precinct

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Commercial Activities	
Food and drink outlet (not exceeding 200m ² GFA and not involving a drive-through facility) Garden centre (not exceeding 50m ² TUA , operating in association with Wholesale nursery or Intensive horticulture, and obtaining access from a sealed road) Market Veterinary service	Agricultural supplies store Function facility Garden centre*
Community Service Activities	
Club (where located in an existing commercial building not exceeding 200m ² GFA, obtaining access from a higher order road and not involving a liquor licence) Emergency services	Community care centre Community use Educational establishment
Industrial Activities	
Winery Transport depot (not exceeding 4 heavy vehicles)	Bulk landscape supplies Transport depot*

Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (where involving a minor utility installation)	Air Service (helipad only) Major electricity infrastructure*
Recreational Activities	
Outdoor sport and recreation (where on a site greater than 4ha, not exceeding 200m ² TUA and not involving a rifle or shooting range) Park	Indoor sport and recreation Outdoor sport and recreation* (not involving a rifle or shooting range)
Residential Activities	
Community residence Dwelling house Home based business	Dual occupancy
Rural activities	
Animal husbandry Animal keeping (where low impact or involving a small kennel) Aquaculture Cropping Intensive animal industry (where keeping poultry not involving an ERA) Intensive horticulture (not involving mushroom farming) Permanent plantation Roadside stall Rural Industry (not exceeding 200m ² GFA) Wholesale nursery	Rural Industry
Tourism activities	
Environment facility Nature-based tourism (where not exceeding a total of 6 tourist accommodation sites or involving a tourist activity not exceeding 200m ² TUA) Short-term accommodation (where involving a holiday home or not exceeding 6 cabins) Tourist attraction (where not exceeding 200m ² TUA) Tourist park (where not exceeding 6 tourist accommodation sites)	Nature-based tourism* Short term accommodation* (excluding a motel, backpackers, serviced apartments and accommodation hotel) Tourist attraction* Tourist park*

other than as specified in column 2

* other than as specified in column 1

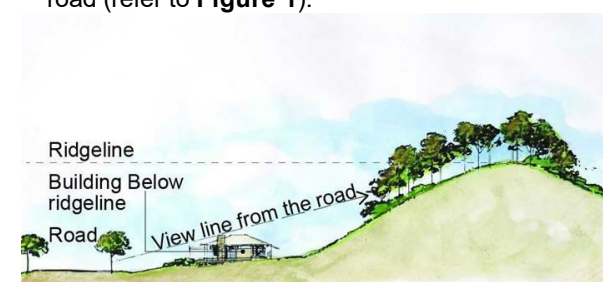
6.2.17.3 Assessment Benchmarks

Table 6.2.17.3.1—Accepted and Assessable Development - Rural Zone (Where no precinct applies)

Performance Outcomes	Acceptable Outcomes
Setbacks	
PO1 Building setbacks:	AO1 Building setbacks are as follows:

1. maintain the very low density character of the zone; 2. assist in the protection of adjacent amenity and privacy; 3. allow for access around the buildings; and 4. minimise the potential for land use conflict. <i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>	Setback	Minimum Distances Measured in Metres (m)
	Street frontage	10m
	Side and rear boundary (other than where specified below)	6m
	Side and rear boundary (where involving tourism activities)	20m
<i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>		
Height		
PO2 Development is of a height that: 1. is low-rise where involving non-rural activities; 2. does not detract from the amenity of adjoining premises; and 3. complements the rural and natural landscape setting of the zone.	AO2.1 Development involving non-rural activities does not exceed 2 storeys and a maximum height of 8.5m.	
	AO2.2 For development involving rural activities, no Acceptable Outcome is prescribed.	

Table 6.2.17.3.2 — Assessable Development - Rural Zone (Where no precinct applies)

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
PO1 Development maintains and protects important views to significant landscape features, such as ridgelines.	AO1 Development: 1. protects the views from public places of significant landscapes features; 2. avoids building on a ridgeline; and 3. does not obstruct the views to a ridgeline from a road (refer to Figure 1).  <p style="text-align: center;">Figure 1.</p>
Land Uses	
PO2 Large buildings or structures associated with Rural industry, Intensive animal industries or Intensive horticulture are sited or provided with screen landscaping to minimise their bulk and visibility from roads, public places or sensitive land uses.	AO2 No Acceptable Outcome is prescribed.
PO3 Development other than a rural activity: 1. is located and designed to complement the rural and natural landscape setting of the zone;	AO3 No Acceptable Outcome is prescribed.

<ol style="list-style-type: none"> 2. is of a scale and intensity that protects the rural amenity of the zone; 3. maintains and is subordinate to the natural land form and natural landscape features of the site such as waterways and vegetated areas; 4. maximises the retention of vegetation; 5. maintains the capacity of the site and adjacent land for agricultural production; 6. minimises the potential for land use conflict with adjacent rural land; and 7. is appropriately serviced by necessary road infrastructure. 	
Reconfiguration of a Lot	
<p>PO4 Reconfiguring a lot:</p> <ol style="list-style-type: none"> 1. creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone; 2. facilitates agricultural production, and minimises the loss and fragmentation of land for agricultural production; and 3. complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design. 	<p>AO4 No Acceptable Outcome is prescribed.</p>

Table 6.2.17.3.3—Accepted and Assessable Development - Rural Zone - Rural Escarpment Protection Precinct

Performance Outcomes	Acceptable Outcomes									
Setbacks										
<p>PO1 Building setbacks:</p> <ol style="list-style-type: none"> 1. maintain the low density character of the zone; 2. assist in the protection of amenity and privacy of adjoining premises; 3. allow for access and landscaping around the building; and 4. contribute to the natural landscape character of the precinct. <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>	<p>AO1 Building setbacks are as follows:</p> <table border="1" data-bbox="785 1254 1423 1601"> <thead> <tr> <th data-bbox="785 1254 1109 1332">Setback</th> <th data-bbox="1109 1254 1423 1332">Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td data-bbox="785 1332 1109 1377">Street frontage</td> <td data-bbox="1109 1332 1423 1377">10m</td> </tr> <tr> <td data-bbox="785 1377 1109 1489">Side and rear boundary (other than where specified below)</td> <td data-bbox="1109 1377 1423 1489">6m</td> </tr> <tr> <td data-bbox="785 1489 1109 1601">Side and rear boundary (where involving tourism activities)</td> <td data-bbox="1109 1489 1423 1601">20m</td> </tr> </tbody> </table> <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>		Setback	Minimum Distances Measured in Metres (m)	Street frontage	10m	Side and rear boundary (other than where specified below)	6m	Side and rear boundary (where involving tourism activities)	20m
Setback	Minimum Distances Measured in Metres (m)									
Street frontage	10m									
Side and rear boundary (other than where specified below)	6m									
Side and rear boundary (where involving tourism activities)	20m									
Height										
<p>PO2 Development is of a height that:</p> <ol style="list-style-type: none"> 1. is low-rise; 2. does not detract from the amenity or privacy of adjoining premises; and 3. does not exceed the predominant height of the vegetation canopy on the site. 	<p>AO2 Development does not exceed 2 storeys and a maximum height of 8.5m.</p>									

Table 6.2.17.3.4 — Assessable Development - Rural Zone — Rural Escarpment Protection Precinct

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
<p>PO1 Built form:</p> <ol style="list-style-type: none"> 1. is small scale; 2. minimises modifications to the natural landform; 3. maximises the retention of vegetation; and 4. is designed to integrate with the natural character of the zone through the use of complementary materials and colours. 	<p>AO1 No Acceptable Outcome is prescribed.</p>
<p>PO2 Development maintains and protects important views to significant landscape features, such as ridgelines.</p>	<p>AO2 Development:</p> <ol style="list-style-type: none"> 1. protects the views from public places of significant landscapes features; 2. avoids building on a ridgeline; and 3. does not obstruct the views to a ridgeline from a road (refer to Figure 1). <div data-bbox="815 797 1406 1066" data-label="Image"> </div> <p style="text-align: center;">Figure 1.</p>
Amenity	
<p>PO3 Development other than rural or low density residential activities does not detract from the amenity and privacy of nearby land in a residential zone.</p>	<p>AO3 Where involving development other than rural or low density residential activities, and adjoining land in a residential zone:</p> <ol style="list-style-type: none"> 1. buildings are setback at least 5 metres from any common boundary; 2. development provides buffer landscaping with a minimum width of 2 metres or solid fencing 1.8m high along any common boundary; and 3. development screens or obscures any window 1.8 metres above ground level that has a direct view of land in a residential zone. 4. does not detract from the amenity (in terms of noise, odour and visual amenity) and privacy of adjoining premises.
Land Uses	
<p>PO4 Development involving a use other than a low density residential activity:</p> <ol style="list-style-type: none"> 1. is located and designed to complement the regionally significant natural landscape and environmental setting of the precinct; 2. is of a small scale and low intensity to protect the natural landscape values of the precinct; and 3. maintains or enhances vegetation cover of the site. 	<p>AO4 No Acceptable Outcome is prescribed.</p>
Reconfiguration of a Lot	

<p>PO5 Reconfiguring a lot:</p> <ol style="list-style-type: none"> creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone; protects the regionally significant natural landscape and environmental values of the precinct; and complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design. 	<p>AO5 No Acceptable Outcome is prescribed.</p>
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Table 6.2.17.3.5—Accepted and Assessable Development - Rural Zone — Tamborine Mountain Rural Precinct

Performance Outcomes	Acceptable Outcomes								
Setbacks									
<p>PO1 Building setbacks:</p> <ol style="list-style-type: none"> maintain the low density character of the zone; assist in the protection of amenity and privacy on adjoining premises; allow for access and landscaping around the building; and contribute to the semi-rural and natural landscape character. <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>	<p>AO1 Building setbacks are as follows:</p> <table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage</td> <td>10m</td> </tr> <tr> <td>Side and rear boundary (other than where specified below)</td> <td>6m</td> </tr> <tr> <td>Side and rear boundary (where involving tourism activities)</td> <td>20m</td> </tr> </tbody> </table> <p><i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i></p>	Setback	Minimum Distances Measured in Metres (m)	Street frontage	10m	Side and rear boundary (other than where specified below)	6m	Side and rear boundary (where involving tourism activities)	20m
Setback	Minimum Distances Measured in Metres (m)								
Street frontage	10m								
Side and rear boundary (other than where specified below)	6m								
Side and rear boundary (where involving tourism activities)	20m								
Height									
<p>PO2 Development is of a height that:</p> <ol style="list-style-type: none"> is low-rise; and does not detract from the amenity or privacy of adjoining premises. 	<p>AO2 Development does not exceed 2 storeys and a maximum height of 8.5m.</p>								

Table 6.2.17.3.6 — Assessable Development - Rural Zone — Tamborine Mountain Rural Precinct

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
<p>PO1 Built form:</p> <ol style="list-style-type: none"> is small scale; minimises modifications to the natural landform; maximises the retention of vegetation; and is designed to reflect the natural character of the zone, with the use of: <ol style="list-style-type: none"> timber or natural materials; soft natural exterior colours; and patterns and textures. 	<p>AO1 No Acceptable Outcome is prescribed.</p>
Amenity	
<p>PO2</p>	<p>AO2</p>

<p>Development other than rural or low density residential activities does not detract from the amenity and privacy of nearby land in a residential zone.</p>	<p>Where involving development other than rural or low density residential activities, and adjoining land in a residential zone:</p> <ol style="list-style-type: none"> 1. buildings are setback at least 5 metres from any common boundary; 2. development provides buffer landscaping with a minimum width of 2 metres or solid fencing 1.8m high along any common boundary; and 3. development screens or obscures any window 1.8 metres above ground level that has a direct view of land in a residential zone.
<p>Land Uses</p>	
<p>PO3 Development involving Rural industry or Intensive horticulture are sited or provided with screen landscaping to minimise their bulk and visibility from roads, public places or sensitive land uses.</p>	<p>AO3 No Acceptable Outcome is prescribed.</p>
<p>PO4 Development other than a rural or low density residential activity:</p> <ol style="list-style-type: none"> 1. is located and designed to complement the semi-rural and natural landscape setting of the zone; 2. is of a small scale and low intensity to protect the semi-rural and natural landscape values of the precinct; 3. maximises or enhances the existing vegetation cover; 4. maintains the capacity of the site and adjacent rural land for agricultural production; 5. minimises the potential for land use conflict with adjacent rural land; and 6. does not detract from the amenity (in terms of noise, odour and visual amenity) and privacy of adjoining premises. 	<p>AO4 No Acceptable Outcome is prescribed.</p>
<p>Reconfiguration of a Lot</p>	
<p>PO5 Reconfiguring a lot:</p> <ol style="list-style-type: none"> 1. creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone; 2. prevents fragmentation of land; 3. maintains the semi-rural and natural landscape setting; and 4. complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design. 	<p>AO5 No Acceptable Outcome is prescribed.</p>

6.2.18 Special Purpose Zone Code



6.2.18.1 Application

This code applies to development:

1. within the Special Purpose Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Special Purpose Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.18.2 Purpose and Overall Outcomes

1. The purpose of the Special Purpose Zone is to:
 - a. provide for public facilities and infrastructure that are publicly or privately owned or operated; and
 - b. ensure that incompatible uses do not encroach on the public facilities and infrastructure.

Editor's Note - The Scenic Rim Planning Scheme does not apply to the following development of the below land contained within the Special Purposes Zone:

- i. Material change of use in the Bromelton State Development Area, which is required under section 84 of the State Development and Public Works Organisation Act 1971, to be assessed by the Coordinator-General against the provisions of the Development Scheme for the Bromelton State Development Area;
- ii. All development in the Defence Land (Kokoda Barracks, Canungra), which is regulated under the Commonwealth Defence Act 1903; and
- iii. All development in the Palen Creek Correctional Centre, Palen Creek, which has been declared a prison under the Corrective Services Act 2006 and the Corrective Services Regulations 2006.

2. The purpose of the **Special Purpose Zone Code** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates activities and uses that are owned or operated by a government entity including defence establishments, water supply storage and correctional facilities;
3. The purpose of the **Special Purposes Zone - Bromelton State Development Area Precinct** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. protects the role and function of the Bromelton State Development Area as an industrial area of regional, state and national significance for multi-modal freight and logistic operations, manufacturing and warehousing facilities, and industries reliant on rail access;
 - ii. does not compromise the ability for rail-dependent industries to obtain safe and efficient access to the road and rail network;
 - iii. provides for large lots to accommodate large scale rail-related industries or industries that require separation distances or other specialist needs;
 - iv. provides for low impact rural and agricultural activities on large lots, which remain compatible with the industrial development expected to occur in the Bromelton State Development Area.

- b. **Land uses:**
 - i. are regulated under the Development Scheme for the Bromelton State Development Area and are not subject to the planning scheme;
 - c. **Lot design:**
 - i. allows for the efficient operation of Bromelton as an industrial area of regional, state and national significance;
 - ii. facilitates the preferred uses identified in the Development Scheme for the Bromelton State Development Area;
 - iii. provides for large lots to accommodate industrial activities and any necessary separation distances; and
 - iv. provides for the creation of limited additional lots in the rural areas of the Bromelton State Development Area.
4. The purpose of the **Special Purposes Zone - Bulk Water Storage Precinct** will be achieved through the following overall outcomes:
- a. **Development:**
 - i. located in the Maroon, Moogerah and Wyaralong dam sites primarily facilitates the bulk storage and distribution of water, including water for human consumption;
 - ii. facilitates tourism and recreational activities (whether on the water or on the lands adjacent to the water storages) that are consistent with, and do not compromise the primary role of the precinct;
 - b. **Land uses:**
 - i. primarily include bulk water storage facilities and associated infrastructure activities (excluding Air service);
 - ii. include recreational activities (excluding Motor sport facility) and tourism activities (excluding Resort complex), and low impact rural activities where they do not compromise the primary use of the land for the bulk storage and distribution of water;
 - iii. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.18.2.1 Consistent Uses and Potentially Consistent Uses in the Special Purposes Zone - Bulk Water Storage Precinct**;
 - or
 - B. the uses listed as potentially consistent uses in column 2 of **Table 6.2.18.2.1 Consistent Uses and Potentially Consistent Uses in the Special Purposes Zone - Bulk Water Storage Precinct** where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, impact, scale and intensity, built form and consistency with the character of the zone.
 - iv. where not listed in **Table 6.2.18.2.1 Consistent Uses and Potentially Consistent Uses in the Special Purposes Zone - Bulk Water Storage Precinct** or are inconsistent uses and are not intended to occur in the zone;
 - c. **Character:**
 - i. consists of dams for the storage of water and supporting infrastructure, and surrounding catchment areas that are predominantly retained in a natural state;
 - ii. ensures natural features (such as waterways, vegetation and bushland) remains visually dominant over built form;
 - iii. involves low-rise and low-medium intensity development that caters for a variety of water and land-based recreational pursuits and maintains the amenity of the surrounding area;
 - d. **Built form:**
 - i. is low-rise and of small to medium scale;
 - ii. complements the bushland or natural landscape setting;
 - iii. is designed and located to not detract from the amenity of adjoining premises;
 - e. **Lot design:**
 - i. primarily supports the use of the land for the bulk storage and distribution of water.

Table 6.2.18.2.1 - Consistent Uses and Potentially Consistent Uses in the Special Purposes Zone - Bulk Water Storage Precinct

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Residential Activities	
Caretaker's accommodation	

Recreational Activities	
Indoor sport and recreation Major sport, recreation and entertainment facility Outdoor sport and recreation Park	
Community Services Activities	
Club Community use Emergency services	
Infrastructure Activities	
Landing Major electricity infrastructure Renewable energy facility Substation Telecommunications facility Utility installation	
Tourism Activities	
Environment facility Nature based tourism Short term accommodation Tourist attraction Tourist park	
Commercial Activities	
Market	
Rural Activities	
Animal husbandry Cropping Permanent plantation	

* other than as specified in column 1

6.2.18.3 Assessment Benchmarks

Table 6.2.18.3.1— Assessable Development - Bromelton State Development Area Precinct (BSDA)

Performance Outcomes	Acceptable Outcomes
Lot Design	
PO1 Reconfiguring a lot creates lots of an appropriate size, dimensions and arrangement which ensures intended uses can be conducted in a manner consistent with the purpose and overall outcomes of the zone.	AO1 Reconfiguring a Lot complies with the requirements of Table 9.4.6.3.2 - Minimum Lot Size and Design.
Infrastructure and Services	
PO2 Development: 1. does not interfere with or adversely impact upon any existing, planned or adjacent infrastructure; 2. does not place an adverse loading on any existing or planned infrastructure; and	AO2 No Acceptable Outcome is prescribed.


3. is extended only where it can be readily supported by appropriate infrastructure.	
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Table 6.2.18.3.2 - Accepted and Assessable Development - Bulk Water Storage Precinct

Performance Outcomes	Acceptable Outcomes
Height	
PO1 Development is of a height that: <ol style="list-style-type: none"> is low rise; and does not detract from the amenity and privacy of adjoining premises. 	AO1 Building height (excluding infrastructure activities) does not exceed 2 storeys with a maximum height of 8.5m.

Table 6.2.18.3.3 - Assessable Development - Bulk Water Storage Precinct

Performance Outcomes	Acceptable Outcomes
Built Form and Design	
PO1 Development encourages and facilitates the co-location and multi-use of sport and recreational facilities.	AO1 No acceptable outcome is prescribed.
PO2 Pedestrian access to and within areas used for recreational activities is clearly defined and safe, and separated from vehicular access.	AO2 No acceptable outcome is prescribed.
PO3 The gross floor area of the development: <ol style="list-style-type: none"> results in a building scale that is compatible with surrounding development; does not present an appearance of bulk to adjacent properties, roads or other areas in the vicinity of the site; maximises the retention of existing vegetation and allows for landscaping between buildings; and facilitates vehicular access. 	AO3 No acceptable outcome is prescribed.
PO4 Development: <ol style="list-style-type: none"> utilises, where possible, existing cleared areas of the land; minimises excavation and fill and other modifications to the landform; where effluent treatment is required, provides for the sustainable on-site treatment and disposal of effluent; and provides opportunities for recreational and tourism activities that are consistent with the primary role of the precinct, being for bulk storage and distribution of water, including water for human consumption. 	AO4 No acceptable outcome is prescribed.
Amenity	

<p>PO5 Development maintains and protects important views to significant landscape features, such as ridgelines.</p>	<p>AO5 Development:</p> <ol style="list-style-type: none"> 1. protects the views from public places of significant landscapes features; 2. avoids building on a ridgeline; and 3. does not obstruct the views to a ridgeline from a road. Refer to Figure 1.  <p style="text-align: center;">Figure 1.</p>
<p>Infrastructure and Services</p>	
<p>PO6 Development:</p> <ol style="list-style-type: none"> 1. does not interfere with or adversely impact upon any existing, planned or adjacent infrastructure; 2. does not place an adverse loading on any existing or planned infrastructure; and 3. is extended only where it can be readily supported by appropriate infrastructure. 	<p>AO6 No Acceptable Outcome is prescribed.</p>
<p>Reconfiguration of a Lot</p>	
<p>PO7 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone.</p>	<p>AO7 No Acceptable Outcome is prescribed.</p>

6.2.19 Township Zone Code



6.2.19.1 Application

This code applies to development:

1. within the Township Zone as identified on the zone maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Township Zone Code by the tables of assessment in **Part 5 Tables of Assessment**.

6.2.19.2 Purpose and Overall Outcomes

1. The purpose of the Township Zone is to provide for:
 - a. small to medium urban areas in a rural area; and
 - b. a variety of uses and activities to service local residents, including, for example, business, community, education, industrial, open space, recreation, residential or retail uses or activities; and
 - c. tourist attractions and short-term accommodation, if appropriate for the area.

***Editor's Note** - In accordance with section 6 of the Regulation, the purpose statement has been changed and took effect on the commencement date.*

2. The purpose of the **Township Zone (Where no precinct applies)** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates a mix of low scale convenience retail, commercial, residential and limited community uses;
 - ii. supports the needs of the township and its immediate rural or rural residential catchment;
 - iii. contributes to place making and provides a high level of streetscape amenity;
 - iv. maintains the existing traditional rural village and historical character;
 - b. **Land uses:**
 - i. include a range of low scale commercial and community services activities that supports the needs of the township and its immediate rural and/or rural residential catchment;
 - ii. include low density residential activities including Community residences, Dual occupancies, Dwelling houses, Dwelling units, small scale and low intensity Residential care facilities and Retirement facilities (where involving 10 bedrooms or less) and Home based businesses;
 - iii. include Short-term accommodation, Tourist attractions and Tourist park to meet the needs of the travelling public;
 - iv. include low impacting industrial activities limited to Bulk landscape supplies, Low impact industry, Transport depot and Warehouse where not detracting from the amenity of adjacent land in a residential zone;
 - v. do not include Shopping centres or Shops that support higher-order retailing including department stores, discount department stores, full-line supermarkets or Showrooms, which are intended to occur in the larger centres of the centre hierarchy;

- vi. are limited to:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.19.2.1 - Consistent Uses and Potentially Consistent Uses in the Township Zone (Where no precinct applies)** to occur;
 - B. the uses listed as a potentially consistent use in column 2 of **Table 6.2.19.2.1 - Consistent Uses and Potentially Consistent Uses in the Township Zone (Where no precinct applies)** to occur only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, nature, scale and intensity;
- vii. where not listed in **Table 6.2.19.2.1 Consistent Uses and Potentially Consistent Uses in the Township Zone (Where no precinct applies)** are inconsistent uses and are not intended to occur in the zone;
- c. **Character:**
 - i. is small historical settlements with a 'main street' focus surrounded by rural or rural residential areas;
 - ii. is a predominately low rise and low scale mixed-use setting where rural township character is maintained through the retention of traditional or heritage design elements;
 - iii. where located along Leach Road in Tamborine, commercial activities and community services activities address and obtain access from Leach Road;
- d. **Built form:**
 - i. is low scale, low rise and compatible with the building height of nearby development;
 - ii. enhances the streetscape character of the township by:
 - A. locating buildings close to the street;
 - B. locating and designing buildings to address the street and public spaces;
 - C. locating on-site car parking behind and/or to the side of buildings; and
 - D. designing attractive building facades;
 - iii. is designed to ensure outdoor storage, utility, service and loading areas are screened from public view to maintain the amenity of the street and public spaces, and adjacent land in a residential zone;
 - iv. is designed to not detract from the amenity of nearby land in a residential zone; and
 - v. retains the township's existing traditional rural village or historical character by incorporating design elements found in existing traditional buildings such as roof form, use of materials, scale and setbacks.
- e. **Lot design:**
 - i. ensures lots have an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone;
 - ii. where outside a reticulated sewerage service catchment, provides sufficient area for onsite wastewater disposal.

Table 6.2.19.2.1 - Consistent Uses and Potentially Consistent Uses in the Township Zone (Where no precinct applies)

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Commercial Activities	
Adult store Agricultural supplies store Bar Car wash Food and drink outlet Function facility Funeral parlour Garden centre (where TUA does not exceed 250m ²) Hardware and trade supplies (where GFA does not exceed 250m ²) Health care service Market Office Outdoor sales Parking station Service industry Service station	Garden centre* Hardware and trade supplies* Hotel Shop (where not involving a department store, discount department store or full-line supermarket) Shopping centre (where not involving a department store, discount department store or full-line supermarket)

Shop (where not exceeding 250m ² GFA) Shopping centre (where each tenancy does not exceed 250m ² GFA) Theatre Veterinary service	
Tourism Activities	
Short-term accommodation Tourist attraction Tourist park	
Community Services Activities	
Child care centre Club Community care centre Community use Educational establishment Emergency services	Place of worship
Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (where involving minor utility installation)	Major electricity infrastructure *
Industrial Activities	
Low impact industry Transport depot Warehouse	Bulk landscape supplies
Recreational Activities	
Indoor sport and recreation Park	
Residential Activities	
Community residence Dual occupancy (on a minimum site area of 1,000m ² where connected to the reticulated sewerage network, otherwise a minimum site area of 4,000m ²) Dwelling house Dwelling unit Home based business (if not involving Industrial activities other than minor industrial activities) Residential care facility (if involving 10 bedrooms or less) Retirement facility (involving 10 bedrooms or less)	Dual occupancy* Residential care facility* Retirement facility*

* other than as specified in column 1

3. The purpose of the **Township Zone - Township Residential Precinct** will be achieved through the following overall outcomes:
 - a. **Development:**
 - i. facilitates low density residential living on large lots;
 - ii. protects the high level of residential amenity and privacy expected in the zone;
 - b. **Land uses:**

- i. predominantly consist of Dwelling houses and Home based businesses;
 - ii. include Dual occupancies, only where development:
 - A. is consistent with the low density residential character of the zone;
 - B. is located on large lots; and
 - C. has the appearance of a single dwelling when viewed from the street;
 - iii. include small scale and low intensity Residential care facility (where involving 10 bedrooms or less) and Retirement facility (where involving 10 bedrooms or less) that:
 - A. are compatible with the character of the zone;
 - B. complements the height and scale of adjoining development; and
 - C. are located in areas that are well serviced and are highly accessible;
 - iv. include small scale community services activities that meets the needs of nearby residents and where they do not compromise the amenity and character of the precinct;
 - v. does not include commercial or industrial activities;
 - vi. include:
 - A. the uses listed as a consistent use in column 1 of **Table 6.2.19.2.2 - Consistent Uses and Potentially Consistent Uses in the Township Zone - Township Residential Precinct** to occur;
 - B. the uses listed as a potentially consistent use in column 2 of **Table 6.2.19.2.2 - Consistent Uses and Potentially Consistent Uses in the Township Zone - Township Residential Precinct** to occur only where further assessment has determined that the use is appropriate in the zone having regard to such matters as its location, nature, scale and intensity;
 - vii. where not listed in **Table 6.2.19.2.2 Consistent Uses and Potentially Consistent Uses in the Township Zone - Township Residential Precinct** are inconsistent uses and are not intended to occur in the zone;
- c. **Character consists of:**
- i. low density residential living on large lots;
 - ii. a low rise and low intensity residential setting that has a high level of amenity and privacy;
- d. **Built form:**
- i. is small scale;
 - ii. is low-rise and compatible with the building height of nearby residential development;
 - iii. enhances the streetscape character of the area by setting buildings back from the street frontage;
 - iv. has a residential appearance and complements surrounding development;
 - v. where involving a Residential care facility and Retirement facility, are designed to ensure that the interface of the development with adjacent buildings are complementary in terms of height, scale and intensity;
 - vi. where involving Dual occupancy has the appearance of a single dwelling when viewed from the street;
- e. **Lot design:**
- i. supports low density residential living on large lots;
 - ii. where outside a reticulated sewerage service catchment, provides sufficient area for onsite wastewater disposal; and
 - iii. complies with the standards in **Table 9.4.6.3.2 - Minimum Lot Size and Design**.

Table 6.2.19.2.2 - Consistent Uses and Potentially Consistent Uses in the Township Zone - Township Residential Precinct

Column 1 Consistent Uses	Column 2 Potentially Consistent Uses
Residential Activities	
Community residence Dual occupancy (on a 1,000m ² or greater lot where connected to the reticulated sewerage network, otherwise on a 4,000m ² or greater lot) Dwelling house Home based business (if not involving Industrial activities other than minor industrial activities) Residential care facility (where involving 10 bedrooms or less) Retirement facility (where involving 10 bedrooms or less)	Dual occupancy* Residential care facility* Retirement facility*

Community Services Activities	
Child care centre (where obtaining access from a higher order road) Club (if not involving a liquor licence) Community care centre Community use Emergency services	
Infrastructure Activities	
Major electricity infrastructure (where proposed as underground infrastructure) Substation Telecommunications facility Utility installation (if involving minor utility installation)	Major electricity infrastructure *
Rural Activities	
Animal keeping (where low impact and small scale)	
Recreational Activities	
Park	
Tourism Activities	
Short term accommodation (where involving a holiday home)	

* other than as specified in column 1

6.2.19.3 Assessment Benchmarks

Table 6.2.19.3.1—Accepted and Assessable Development — Township Zone - Where no precinct applies

Performance Outcomes	Acceptable Outcomes		
Setbacks			
PO1 Building setbacks: 1. contribute to the streetscape character; 2. assist in the protection of the amenity of adjacent land in a residential zone; and 3. allow for access and landscaping around the building. <i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>	AO1 Building setbacks are as follows:		
	Setback	Minimum Distances Measured in Metres (m)	
	Street frontage for residential activities	6m	
	Street frontage for other uses	0m (Maximum 1.5m)	
	Side and rear boundary	Building Height	Setback
Up to 4.5m		1.5m	
For that part between 4.5m — 7.5m		2m	
For that part 6m exceeding 7.5m	an extra 0.5m is added for every 3m in height or part thereof over 7.5m		

<i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails</i>	
Height	
PO2 Development is of a height that: 1. is low-rise; and 2. does not impact on the amenity of adjacent land in a residential zone.	AO2 Development height does not exceed 2 storeys and a maximum height of 8.5m.

Table 6.2.19.3.2 — Assessable Development — Township Zone - Where no precinct applies

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
PO1 Development presents an attractive frontage to all streets and public spaces and enhances the character of the zone through: 1. ensuring buildings address the street and public spaces; 2. ensuring buildings are visually interesting through variation to the external appearance; 3. providing opportunities for casual surveillance; and 4. clearly defined building entrances.	AO1.1 Buildings are designed to address the street and public spaces.
	AO1.2 Buildings achieve visual interest through variation in: 1. colour, patterns, textures and building materials; and 2. parapet design or roof form.
	AO1.3 Windows and balconies located above ground floor overlook the street and public spaces to provide opportunities for casual surveillance.
	AO1.4 Building entrances are clearly visible from the street.
PO2 Development: 1. avoids large areas of hard stand addressing streets and public spaces; and 2. locates parking areas behind and/or to the side of buildings.	AO2 No Acceptable Outcome is prescribed.
PO3 Buildings are designed to retain the historical or traditional rural village character by using design elements found in existing traditional buildings, including: 1. similar roof form or parapet design; 2. use of complementary materials, colours, patterns and textures; 3. similar bulk and scale; and 4. little to no front boundary setback.	AO3 No Acceptable Outcome is prescribed.
PO4 Development involving commercial activities and community services activities located along Leach Road in Tamborine, address and obtain access from Leach Road.	AO4 No Acceptable Outcome is prescribed.
Amenity	
PO5 Outdoor storage, utility, service and loading areas are	AO5 No Acceptable Outcome is prescribed.

screened so they are not visible from: 1. the street and public spaces; and 2. land in an adjacent residential zone.	
PO6 Development: 1. does not detract from the amenity of adjoining land in a residential zone; and 2. affords privacy to adjoining land in a residential zone.	AO6 Where adjoining land in a residential zone: 1. development provides buffer landscaping with a minimum width of 2m or solid fencing 1.8m high along the common boundary; and 2. development screens or obscures any window 1.8m above ground level that has a direct view of land in a residential zone.
Land Uses	
PO7 Industrial activities are of a low intensity and do not detract from the character and amenity of the township.	AO7 No Acceptable Outcome is prescribed.
Reconfiguration of a Lot	
PO8 Reconfiguring a lot creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone.	AO8 Reconfiguring a lot complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design.

Table 6.2.19.3.3—Accepted and Assessable Development - Township Zone - Township Residential Precinct

Performance Outcomes	Acceptable Outcomes														
Setbacks															
PO1 Setbacks: 1. assist in the protection of the low density residential character of the zone; 2. contribute to streetscape character; 3. assist in the protection of residential amenity and privacy to adjoining premises; 4. minimise nuisance to adjoining residences; and 5. allow for access and landscaping around the building. <i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails.</i>	AO1 Setbacks are as follows:														
	<table border="1"> <thead> <tr> <th>Setback</th> <th>Minimum Distances Measured in Metres (m)</th> </tr> </thead> <tbody> <tr> <td>Street frontage for residential activities</td> <td>6m</td> </tr> <tr> <td rowspan="3">Side and rear boundaries</td> <td> <table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>1.5m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>2m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>an extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table> </td> </tr> </tbody> </table>	Setback	Minimum Distances Measured in Metres (m)	Street frontage for residential activities	6m	Side and rear boundaries	<table border="1"> <thead> <tr> <th>Building Height</th> <th>Setback</th> </tr> </thead> <tbody> <tr> <td>Up to 4.5m</td> <td>1.5m</td> </tr> <tr> <td>For that part between 4.5m — 7.5m</td> <td>2m</td> </tr> <tr> <td>For that part exceeding 7.5m</td> <td>an extra 0.5m is added for every 3m in height or part thereof over 7.5m</td> </tr> </tbody> </table>	Building Height	Setback	Up to 4.5m	1.5m	For that part between 4.5m — 7.5m	2m	For that part exceeding 7.5m	an extra 0.5m is added for every 3m in height or part thereof over 7.5m
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<i>Note - Where setbacks are required in this code or other codes, the higher numerical standard prevails</i>															
Height															
PO2 Development is of a height that:	AO2 Development does not exceed 2 storeys and a														

<ol style="list-style-type: none"> 1. is low rise; and 2. compatible with the height of nearby residential development. 	maximum height of 8.5m.
---	-------------------------

Table 6.2.19.3.4—Assessable Development - Township Zone - Township Residential Precinct

Performance Outcomes	Acceptable Outcomes
Built Form and Urban Design	
<p>PO1 Non-residential development has a residential appearance and is designed to complement the surrounding built form and character of the zone through the use of:</p> <ol style="list-style-type: none"> 1. similar design elements; 2. similar roof form and pitch; and 3. complementary materials, colours, patterns and textures. 	<p>AO1 No Acceptable Outcome is prescribed.</p>
Land Uses	
<p>PO2 Non-residential uses are:</p> <ol style="list-style-type: none"> 1. small scale and of a low intensity; 2. do not detract from the amenity of adjacent land in a residential zone; and 3. wherever possible, are co-located with other non-residential activities in the zone. 	<p>AO2 No Acceptable Outcome is prescribed.</p>
<p>PO3 Development involving a Dual occupancy:</p> <ol style="list-style-type: none"> 1. are located on large lots and has the appearance of a single dwelling when viewed from the street; and 2. is consistent with the low density residential character of the zone. 	<p>AO3.1 Dual occupancy is located on a lot 4000m² or greater.</p>
	<p>AO3.2 A Dual occupancy is sited and designed to give the appearance of a single dwelling when viewed from the street.</p>
	<p>AO3.3 The site cover of a Dual occupancy does not exceed 20% of the total site area or 700m² GFA, whichever is the lesser.</p>
Reconfiguration of a Lot	
<p>PO4 Reconfiguring a lot:</p> <ol style="list-style-type: none"> 1. creates lots of an appropriate size, dimension and configuration to accommodate land uses consistent with the purpose and overall outcomes of the zone; 2. facilitates low density residential living on large lots; and 3. where outside a wastewater connection area, provides sufficient area for onsite wastewater disposal; and 4. complies with the standards in Table 9.4.6.3.2 - Minimum Lot Size and Design. 	<p>AO4 No Acceptable Outcome is prescribed.</p>

Part 7 Local Plans

There are no local plans for the planning scheme.

Part 8 Overlays

8.1 Preliminary

1. Overlays identify areas in the planning scheme that reflect state and local level interests and that have one or more of the following characteristics:
 - a. there is a particular sensitivity to the effects of development
 - b. there is a constraint on land use or development outcomes
 - c. there is the presence of valuable resources
 - d. there are particular opportunities for development.
2. Overlays are mapped and included in **Schedule 2 Mapping**.
3. The changed category of assessment, if applicable, for development affected by an overlay are in Part 5.
4. Some overlays may be included for information purposes only. This should not result in a change to the category of assessment or any additional assessment benchmarks.
5. Assessment benchmarks for an overlay may be contained in one or more of the following:
 - a. a map for an overlay;
 - b. a code for an overlay;
 - c. a zone code;
 - d. a local plan code;
 - e. a development code;
6. Where development is proposed on premises partly affected by an overlay, the assessment benchmarks for the overlay only relate to the part of the premises affected by the overlay.
7. The overlays for the planning scheme are:
 - a. Agricultural Land Overlay;
 - b. Airport Environs and Defence Land Overlay;
 - c. Bushfire Hazard Overlay;
 - d. Environmental Significance Overlay;
 - e. Extractive Resources Overlay;
 - f. Flood Hazard Overlay;
 - g. Landslide Hazard and Steep Slope Overlay;
 - h. Local Heritage Overlay;
 - i. Regional Infrastructure Overlay;
 - j. Water Resource Catchments Overlay; and
 - k. Master Plan Areas Overlay.
8. The following overlays for the planning scheme are without codes and are for information or administrative purposes only:
 - a. Transport Noise Corridor Overlay
 - b. Minimum Lot Size Overlay
 - c. Higher Order Roads Overlay
 - d. Road Hierarchy Overlay

8.2 Overlay Codes



8.2.1 Agricultural Land Overlay Code

8.2.1.1 Application

This code applies to development:

1. within the Agricultural Land Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Agricultural Land Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

Note - For the purposes of this Planning Scheme, 'significant agricultural land' means the land shown on the **Agricultural Land Overlay Map OM-01** as Agricultural Land Classification (ALC) Class A and Class B land.

8.2.1.2 Purpose and Overall Outcomes

1. The purpose of the Agricultural Land Overlay Code is to:
 - a. protect significant agricultural land in the Rural Zone for agricultural uses;
 - b. protect significant agricultural land in the Rural Zone from fragmentation, alienation or diminished agricultural productivity;
 - c. minimise the potential for conflict between agricultural and other uses on significant agricultural land; and
 - d. facilitate development for agricultural purposes on significant agricultural land in the Rural Zone.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. The ongoing productive use of significant agricultural land for agricultural purposes is maintained and protected by ensuring that:
 - i. land uses that conflict with the agricultural production of land are avoided;
 - ii. development that leads to diminished productivity of significant agricultural land is avoided unless a planning need exists for the development to occur and the area lost from production is minimised to the greatest extent possible; and
 - iii. where development impacts significant agricultural land, such impacts are to be mitigated to ensure a no net loss in the utility and or availability of significant agricultural land;
 - b. Where the development will result in permanent impacts on significant agricultural land and there is an overriding need for the development, the permanent impacts on significant agricultural land are:
 - i. avoided to the greatest extent possible; and
 - ii. minimised where the impacts cannot be avoided; and
 - iii. mitigated where the impacts cannot be avoided;
 - c. Where the development and any subsequent use is temporary and results in temporary impacts on significant agricultural land:
 - i. the development and any subsequent use is undertaken within a time limit appropriate to allow restoration of impacted land to its pre-development condition at the conclusion of the development and any associated use; and

- ii. any impacted significant agricultural land is restored to its pre-development condition within that timeframe;
- d. Reconfiguring a lot does not result in fragmentation of significant agricultural land, except where it has been assessed that there is an overriding need in the public interest for a related material change of use and the reconfiguring of a lot is consistent with the material change of use;
- e. Where the development is located in the Agricultural Land Buffer Area, there is an adequate separation area included in the design and layout of the development to prevent any impact from agricultural activities on the amenity or use of the occupants of the development.

Note - For the purposes of this Planning Scheme, 'significant agricultural land' means the land shown on the **Agricultural Land Overlay Map OM-01** as Agricultural Land Classification (ALC) Class A and Class B land.

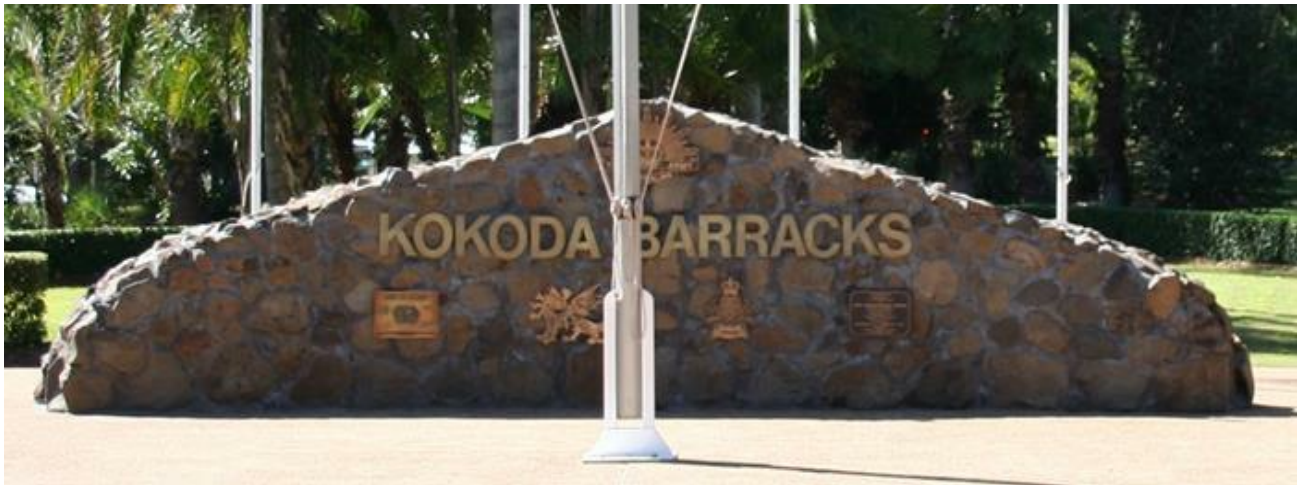
8.2.1.3 Assessment Benchmarks

Table 8.2.1.3.1— Agricultural Land Overlay Code - Assessable Development

Performance Outcomes	Acceptable Outcomes
Land uses on significant agricultural land	
<p>PO1 Uses that lead to the loss or degradation of significant agricultural land from production are avoided unless:</p> <ol style="list-style-type: none"> 1. the use facilitates an increase or improves the efficiency of agricultural production; or 2. development is only for rural activities and complementary rural activities, except where an overriding need exists for the development to occur, the area lost from production is minimised and there is no viable alternative where impacts on significant agricultural land can be avoided; and 3. the area lost to agricultural production is minimised to the greatest extent possible. <p>Note - An Applicant may seek to demonstrate through the submission of a report, prepared by a suitably qualified professional, that the site does not contain the attributes of significant agricultural land as shown in Agricultural Land Overlay Map OM-01.</p>	<p>AO1.1 Development on significant agricultural land identified on the Agricultural Land Overlay Map OM-01 involves any of the following land uses:</p> <ol style="list-style-type: none"> 1. Animal husbandry; 2. Animal keeping; 3. Aquaculture; 4. Cropping; 5. Dual occupancy; 6. Dwelling house; 7. Home based business; 8. Intensive animal industry (excluding buildings); 9. Intensive horticulture; 10. Market; 11. Renewable energy facility; 12. Roadside stall; 13. Rural industry; 14. Rural workers' accommodation; 15. Wholesale nursery.
	<p>AO1.2 Development involving the following land uses:</p> <ol style="list-style-type: none"> 1. Agricultural supplies store; 2. Club; 3. Emergency services; 4. Environment facility; 5. Food and drink outlet; 6. Low impact industry; 7. Nature-based tourism; 8. Outdoor sales involving livestock saleyards; 9. Research and technology industry; 10. Rural workers accommodation; 11. Service industry; 12. Short-term accommodation; 13. Telecommunications facility; 14. Tourist attraction; 15. Tourist park; 16. Transport depot; 17. Utility installation;

	18. Veterinary service; and 19. Winery, ensures that the total area of significant agricultural land identified on the Agricultural Land Overlay Map OM-01 covered by a development footprint is equal to or less than 1,000m ² .
Sensitive Land Uses	
<p>PO2 Uses are located and designed to:</p> <ol style="list-style-type: none"> 1. avoid land use conflict; 2. protect the existing and ongoing viability of the rural resource; and 3. manage the impact from agricultural activities on sensitive land uses (listed in AO2) including chemical spray drift, odour, noise, dust, smoke and ash. <p>Note - An Applicant may seek to demonstrate through the submission of report, prepared by an appropriately qualified professional, that the site does not support significant agricultural land as shown in Agricultural Land Overlay Map OM-01.</p>	<p>AO2 A:</p> <ol style="list-style-type: none"> 1. Child care centre; 2. Community care centre; 3. Community residence; 4. Community use; 5. Educational establishment; 6. Health care service; 7. Hospital; 8. Hotel; 9. Multiple dwelling; 10. Relocatable home park; 11. Residential care facility; 12. Retirement facility; <p>is not located in the Agricultural Land Buffer Area or significant agricultural land identified on the Agricultural Land Overlay Map OM-01.</p> <p>Editor's Note - Part E of the <u>State Planning Policy - state interest guideline: Agriculture, July 2014</u> provides technical guidance to help minimise conflict between agriculture and non-agricultural land uses.</p>
Reconfiguration of a Lot	
<p>PO3 Lot reconfigurations:</p> <ol style="list-style-type: none"> 1. maintain the opportunity for agricultural production on significant agricultural land; 2. do not result in allotment sizes that fragment, alienate or result in loss or diminished productive capacity of significant agricultural land. <p>Editor's note - Minimum lot sizes for each lot must enable continued agricultural viability. Minimum lot sizes should ensure that resulting farm sizes are sufficiently large to allow for a range of crop options over the long-term.</p>	<p>AO3 No acceptable outcome is prescribed.</p>
<p>PO4 Where realigning the boundaries of a lot on, or adjacent to significant agricultural land, the realignment:</p> <ol style="list-style-type: none"> 1. results in a more productive use and management of significant agricultural land and water for agricultural uses; and 2. does not lead to increased fragmentation of significant agricultural land and does not increase the potential conflict between agricultural and non-agricultural land uses. 	<p>AO4.1 The number of new lots, including the balance of the area, is equal to or less than the total number of original lots.</p> <p>AO4.2 Provision of adequate separation area between any small lots and nearby agriculture is provided by the new development to ensure nearby significant agricultural land is protected.</p>

8.2.2 Airport Environs and Defence Land Overlay Code



8.2.2.1 Application

This code applies to development:

1. within the Airport Environs and Defence Land Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Airport Environs and Defence Land Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

8.2.2.2 Purpose and Overall Outcomes

1. The purpose of the Airport Environs and Defence Land Overlay Code is to ensure that development does not compromise aircraft safety of strategic airports, the efficient functioning of aviation facilities or the continued viability of defence land.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development does not create incompatible intrusions or compromise aircraft safety in the operational airspace (Height Restriction Zones and Wildlife Buffer Areas) of strategic airports;
 - b. Development in Building Restricted Areas, does not adversely affect the functioning of aviation facilities; and
 - c. Development in the Defence Land Buffer Area:
 - i. does not result in uses incompatible with the defence land;
 - ii. is designed and sited to not adversely affect the safety and operational efficiency of defence operations; and
 - iii. attenuates noise from defence operations.

8.2.2.3 Assessment Benchmarks

Table 8.2.2.3.2— Airport Environs and Defence Land Overlay Code - for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Height Restriction Zone	
PO1 Development located in a Height Restriction Zone does not create a permanent or temporary physical or transient obstruction in an operational airspace.	AO1.1 Sport and recreational aviation activities including parachuting, hot air ballooning and hang-gliding do not occur within a Height Restriction Zone.

	<p>AO1.2 The height of buildings, structures and mature landscaping is no greater than 45m (above natural ground level) in Height Restriction Zone A and 90m (above natural ground level) in Height Restriction Zone B.</p>						
<p>PO2 The emissions from the development do not significantly increase air turbulence, reduce visibility or compromise the operation of aircraft engines in a Height Restriction Zone.</p>	<p>AO1.3 Cranes and other equipment used during construction are of a height no greater than 45m in Height Restriction Zone A and 90m in Height Restriction Zone B.</p> <p><i>Editor's note - Encroachments of a height greater than 45m in Height Restriction Zone A and 90m in Height Restriction Zone B must be referred to the Department of Defence (DoD) for assessment.</i></p> <p>AO2.1 Development does not emit smoke, dust, ash or steam into a Height Restriction Zone.</p> <p>AO2.2 Development does not emit a gaseous plume into a Height Restriction Zone at a velocity exceeding 4.3m per second.</p> <p>AO2.3 Development emitting smoke, dust, ash, steam or a gaseous plume exceeding 4.3 metres per second is designed and constructed to mitigate adverse impacts of emissions within a Height Restriction Zone.</p> <p><i>Editor's Note - Proposals with the potential to affect visibility in a Height Restriction Zone must be referred to the Department of Defence (DoD) for assessment.</i></p>						
<p>Wildlife Buffer Area</p>							
<p>PO3 Development does not cause wildlife to create a safety hazard within a strategic airport's operational airspace.</p>	<p>AO3 A land use listed in Table 8.2.2.3.4 - Land Uses That Can Attract Wildlife (which are associated with increases in wildlife strikes and hazards) and located in the Wildlife Buffer Area does not increase the potential to attract birds and bats.</p> <p>Table 8.2.2.3.4- Land Uses That Can Attract Wildlife</p> <table border="1" data-bbox="791 1615 1434 2022"> <thead> <tr> <th data-bbox="791 1615 1110 1659">High Risk Activities</th> <th data-bbox="1110 1615 1434 1659">Moderate Risk Activities</th> </tr> </thead> <tbody> <tr> <td data-bbox="791 1659 1110 1957"> <p>Rural-</p> <ol style="list-style-type: none"> Cropping (turf farm); Cropping (fruit tree farm); Intensive animal industry (piggery); Aquaculture (fish processing/packing plant). </td> <td data-bbox="1110 1659 1434 1957"> <p>Rural-</p> <ol style="list-style-type: none"> Animal husbandry; (cattle/dairy farm); Intensive animal industry (poultry farm). </td> </tr> <tr> <td data-bbox="791 1957 1110 2022"> <p>Conservation-</p> <ol style="list-style-type: none"> Conservation estate </td> <td data-bbox="1110 1957 1434 2022"> <p>Conservation-</p> <ol style="list-style-type: none"> Conservation estate </td> </tr> </tbody> </table>	High Risk Activities	Moderate Risk Activities	<p>Rural-</p> <ol style="list-style-type: none"> Cropping (turf farm); Cropping (fruit tree farm); Intensive animal industry (piggery); Aquaculture (fish processing/packing plant). 	<p>Rural-</p> <ol style="list-style-type: none"> Animal husbandry; (cattle/dairy farm); Intensive animal industry (poultry farm). 	<p>Conservation-</p> <ol style="list-style-type: none"> Conservation estate 	<p>Conservation-</p> <ol style="list-style-type: none"> Conservation estate
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<p>Conservation-</p> <ol style="list-style-type: none"> Conservation estate 	<p>Conservation-</p> <ol style="list-style-type: none"> Conservation estate 						

	(eg. wetland).	(all other).
	Recreation- 1. Major sport, recreation and entertainment facility (showground).	Recreation- 1. Major sport, recreation and entertainment facility (all other); 2. Outdoor sport and recreation; 3. Park.
	Industry- 1. Low impact industry (food processing plant); 2. Medium impact industry (food processing plant); 3. High impact industry (food processing plant).	Recreation- 1. Major, sport, recreation and entertainment facility (all other).
	Utility installation- 1. Food/organic waste facility; 2. Putrescible waste facility (e.g. landfill, transfer station).	Utility installation- 1. Non-putrescible waste facility (e.g. landfill, transfer station); 2. Sewerage/wastewater treatment facility
Editor's Note - Proposals involving the above land uses must be referred to the Department of Defence (DoD) for assessment.		

Building Restricted Area

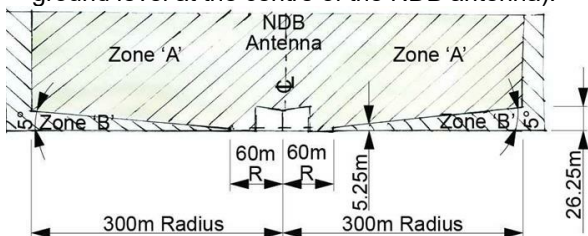
<p>PO4 Development does not interfere with the function of aviation facilities.</p>	<p>AO4 Development is not located within:</p> <ol style="list-style-type: none"> 60m of the Non-Directional Beacon (NDB) antenna; or 300m from the NDB antenna and the development will cross the zone boundary (zone boundary is defined as an elevation angle of 5 degrees from ground level at the centre of the NDB antenna).  <p>Figure 1 Non directional beacon (NDB)</p> <p><i>Note - Refer to Figure 1 Non directional beacon (NDB) for assistance in determining points (a) and (b) above. Any development in the area shown as Zone 'A' on Figure 1 Non directional beacon (NDB) does not meet the outcomes and will be elevated to Code Assessment.</i></p>
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Table 8.2.2.3.3— Airport Environs and Defence Land Overlay Code - for Assessable Development

Performance Outcomes	Acceptable Outcomes
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Height Restriction Zone	
<p>PO1</p> <p>1. Development located within the Building Restricted Area for an aviation facility does not create:</p> <ol style="list-style-type: none"> a. permanent or temporary physical obstructions in the line of sight between antennas; or b. an electrical or electromagnetic field that will interfere with signals transmitted by the facility; or c. reflective surfaces that could deflect or interfere with signals transmitted by the facility. <p>OR</p> <p>2. Development located within the Building Restricted Area for an aviation facility is designed and constructed to mitigate adverse impacts on the function of the facility.</p> <p><i>Editor's Note - The SPP State Interest Guideline - Strategic Airports and Aviation Facilities provides guidance on development requirements in Building Restricted Areas for aviation facilities.</i></p> <p><i>Editor's Note - A development proposal on land located within a Building Restricted Area must be referred to Airservices Australia or the Department of Defence (DoD) for assessment. Airservices Australia or DoD will provide local government and proponents with authoritative advice about the impact of a proposed development on the function of an aviation facility, requirements for a risk assessment process, and mitigation methods. It is recommended that advice be sought during pre-lodgement stage of development assessment processes to avoid objections from Airservices Australia or DoD.</i></p>	<p>AO1</p> <p>No acceptable outcome is prescribed.</p>
Defence Land Buffer Area	
<p>PO2</p> <p>Development within the Defence Land Buffer identified on Airport Environs and Defence Land Overlay Map OM-02 does not:</p> <ol style="list-style-type: none"> 1. restrict the nature or scope of defence operations; or 2. increase the number of persons living or congregating in the Defence Land Buffer Area. 	<p>AO2</p> <p>No acceptable outcome is prescribed.</p>
<p>PO3</p> <p>Development within the Defence Land Buffer Area does not include any of the following:</p> <ol style="list-style-type: none"> 1. Animal keeping; 2. Child care centre; 3. Community care centre; 4. Community residence; 5. Community use; 6. Educational establishment; 7. Function facility; 8. Health care service; 9. Home based business (involving Bed and Breakfast); 10. Hospital; 	<p>AO3</p> <p>No acceptable outcome is prescribed.</p>

<p>11. Hotel; 12. Multiple dwellings; 13. Place of worship; 14. Relocatable home park; 15. Residential care facility; 16. Retirement facility; 17. Rooming accommodation; 18. Short-term accommodation; 19. Tourist park; 20. Veterinary service; 21. Reconfiguring a lot that results the creation of additional lots.</p>	
<p>PO4 Development located in the Defence Land Buffer Area is designed and sited to prevent unintended or unauthorised access to defence land.</p>	<p>A04 No acceptable outcome is prescribed.</p>
<p>PO5 Development is designed and sited to manage potential noise exposure from the Canungra Land Warfare Centre (identified as Defence Land on Airport Environs and Defence Land Overlay Map OM-02).</p>	<p>A05 No acceptable outcome is prescribed.</p>

8.2.3 Bushfire Hazard Overlay Code



8.2.3.1 Application

This code applies to development:

1. within the Bushfire Hazard Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Bushfire Hazard Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

Note - Land shown on the Bushfire Hazard Overlay Map OM-03 is designated as the Bushfire Prone Area for the purposes of section 12 of the Building Regulation 2006. The Bushfire Hazard Area includes land covered by the Medium, High and Very High Hazard Areas and Potential Bushfire Impact Buffer as identified in the SPP interactive mapping system (plan making) under the 'Safety and Resilience to Hazards' theme, subsection 'Natural Hazards Risks and Resilience'.

Note - The Building Act 1975 adopts the requirements of the Building Code of Australia and AS 3959-2009 and thus regulates construction standards of all building work identified in bushfire prone areas subsequent to development approval.

8.2.3.2 Purpose and Overall Outcomes

1. The purpose of the Bushfire Hazard Overlay Code is to ensure that risk to life and property, and the impact on the environment, as a result of bushfire is avoided or mitigated, where development:
 - a. increases the number of people living and working in a bushfire hazard area;
 - b. involves premises visited or occupied by guests on a short term basis; or
 - c. involves uses where evacuating people may be difficult; or
 - d. involves the manufacture or storage of hazardous materials in bulk.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development that potentially increases the exposure of people and property to natural hazards:
 - i. avoids areas of bushfire risk; or
 - ii. where areas of bushfire risk cannot be practicably avoided, development is designed, located and managed to ensure the risk to the safety of people and the damage to property is mitigated to an acceptable or tolerable level before, during and after a natural hazard event;
 - b. Development in areas at risk from bushfire hazard is compatible with the nature of the hazard;
 - c. Development is designed and operated in accordance with any Bushfire Management Plan prepared for the site;
 - d. Development avoids involving the establishment or intensification of vulnerable uses and community infrastructure within or near areas that are subject to bushfire hazard;

- e. Development does not result in a material increase in the extent or severity of bushfire hazard;
- f. Bushfire risk mitigation treatments are accommodated in a manner that avoids or minimises impacts on the natural environment and ecological processes, and conserves biodiversity values;
- g. Development involving the manufacture or storage of hazardous materials does not increase the risk to public safety or the environment in a bushfire event;
- h. Development contributes to, and does not unduly burden, effective and efficient disaster management response and recovery capabilities; and
- i. Development is located on landforms which can limit the intensity of a bushfire and that have other protective functions or community values.

8.2.3.3 Assessment Benchmarks

Note - A bushfire hazard assessment may verify the extent of hazardous vegetation and extent and nature of the bushfire hazard area (bushfire prone area). Such assessments should be undertaken using the methodology set out in **Planning Scheme Policy 4 - Bushfire Management Plans**.

In order to demonstrate compliance with the performance outcomes and/or acceptable outcomes, a bushfire management plan prepared by a suitably qualified person is required. Where acceptable outcomes are not met a risk assessment in accordance with AS/NZS 3100:2009 will be required to demonstrate the development achieves an acceptable or tolerable level of risk to life and property.

Table 8.2.3.3.1— Bushfire Hazard Overlay Code - For Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Access for Firefighting Appliances	
PO1 All premises are provided with vehicular access that enables safe evacuation for occupants and easy access by fire-fighting appliances. Note: A site specific assessment prepared by a suitably qualified person in accordance with Planning Scheme Policy 4 - Bushfire Management Plans, may be required to determine compliance with PO1.	AO1.1 Development has a driveway from a constructed road with: <ol style="list-style-type: none"> 1. a minimum vertical clearance of 4.8m; and 2. a minimum formed width of 3.5m.
	AO1.2 <ol style="list-style-type: none"> 1. a driveway does not exceed a length of 60m from a constructed road; OR 2. where a driveway from a constructed road is longer than 60m, it is designed to accommodate turning bays for firefighting appliance vehicles in accordance with Queensland Fire and Emergency Services, Fire Hydrant and vehicle access guidelines for residential, commercial and industrial lots (2019).

Table 8.3.1.3.2— Bushfire Hazard Overlay Code - Assessable Development

Performance Outcomes	Acceptable Outcomes
All Development	
PO1 Development is located where it is not at risk from bushfire hazard. Note: A site specific assessment prepared by a suitably qualified person in accordance with Planning Scheme Policy 4 - Bushfire Management Plans will be required to determine compliance with PO1.	AO1 A site specific assessment determines that bushfire hazard is unlikely on any part of the site affected by the development.
The following Outcomes (PO2 - PO22) must be addressed only where it is determined through AO1 above that the site is at risk from Bushfire Hazard and a Bushfire Management Plan is required	
PO2	AO2

<p>Development complies with a site specific Bushfire Management Plan (BMP), prepared by a suitably qualified person in accordance with Planning Scheme Policy 4 - Bushfire Management Plans. The BMP demonstrates:</p> <ol style="list-style-type: none"> 1. that the safety of people and property in a bushfire event can be managed and risks mitigated; and 2. how the specific outcomes of this Code can be achieved. 	<p>No Acceptable Outcome is prescribed.</p>
<p>PO3 Development does not increase the number of people living, congregating or working on land in a bushfire hazard area, unless a Bushfire Management Plan (BMP), prepared by a suitably qualified person in accordance with Planning Scheme Policy 4 - Bushfire Management Plans, demonstrates that the safety of people and property in a bushfire event can be managed and risks mitigated.</p>	<p>AO3.1 Development does not increase the number of people living, congregating or working on land in a bushfire hazard area.</p> <p>AO3.2 Development involving a vulnerable use is not established in a bushfire hazard area.</p>
<p>PO4 Emergency services and uses providing community support services:</p> <ol style="list-style-type: none"> 1. are able to function effectively and safely during and immediately after a bushfire hazard event; and 2. can demonstrate, by a Bushfire Management Plan prepared by a suitably qualified person in accordance with Planning Scheme Policy 4 - Bushfire Management Plans, that the safety of people and buildings in a bushfire event can be managed and lives protected during a bushfire event. 	<p>AO4 Emergency services and uses providing community support services;</p> <ol style="list-style-type: none"> 1. are not located in a bushfire hazard area; and 2. ensures the development footprint, including internal driveways between buildings and from buildings to the roadway, does not traverse a bushfire hazard area.
<p>PO5 Development does not cause:</p> <ol style="list-style-type: none"> 1. an adverse risk to people, property and the environment due to the impact of bushfire on hazardous materials; and 2. excess danger or difficulty for emergency services to provide an emergency response or evacuation. 	<p>AO5 Development involving the storage, handling or manufacture of hazardous materials is not located within a bushfire hazard area.</p>
<p>PO6 Landscaping and fuel sources within the bushfire prone area between hazardous vegetation and building envelopes does not increase the potential for bushfire hazard.</p>	<p>AO6 Landscaping treatments and fuel sources within a bushfire prone area, and any hazardous vegetation and building envelopes are designed and managed to achieve:</p> <ol style="list-style-type: none"> 1. a potential available fuel load which is less than 5 tonnes/hectare in aggregate; and 2. a fuel structure which is discontinuous. <p><i>Note - A landscape maintenance plan may be required to identify the long-term management arrangements to be implemented to achieve the above Acceptable Outcome.</i></p>
<p>PO7 Development is designed to minimise vegetation clearing and avoid or minimise impacts on the natural environment and ecological processes.</p>	<p>AO7 Development is located in an area that does not require the removal of native vegetation.</p>
<p>PO8 Development outside reticulated water supply areas include a dedicated static supply that is available solely</p>	<p>AO8</p> <ul style="list-style-type: none"> • A water tank is provided within 10 metres of each building (other than a class 10 building) which:

<p>for fire-fighting purposes and can be accessed by fire-fighting appliances.</p>	<ol style="list-style-type: none"> 1. is either below ground level or of non-flammable construction; 2. has a take-off connection at a level that allows the following dedicated, static water supply to be left available for access by fire fighters: <ol style="list-style-type: none"> a. 10,000 litres for residential buildings; b. for industrial, commercial and other buildings, a volume specified in AS 2304—2011; 3. includes shielding of tanks and pumps in accordance with AS2304—2011; 4. includes a hardstand area (concrete or construction standard gravel) allowing medium rigid vehicle (15 tonne fire appliance) access within 6 metre of the tank; 5. is provided with rural fire brigade tank fittings if serviced by a rural fire brigade (i.e. 50 mm ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines); and 6. is clearly identified by directional signage at the street frontage.
<p>PO9 Where development is undertaken in an urban area or is for urban purposes a constructed perimeter road with reticulated water supply is established between the lot or building envelope and is readily accessible at all times for urban fire fighting vehicles.</p> <p>The access to the perimeter road is available for both fire-fighting and maintenance works for hazard reduction purposes.</p> <p><i>Note - For a material change of use perimeter roads are unlikely to be required where a development site involves less than 2.5ha and alternative access is available.</i></p>	<p>AO9.1 Lot boundaries or building envelopes are separated from hazardous vegetation by a public road which:</p> <ol style="list-style-type: none"> 1. has a two-lane sealed carriageway clear of hazardous vegetation; 2. contains a reticulated water supply; 3. is connected to public roads at both ends and at intervals of no more than 500 m; 4. accommodates geometry, turning radii and vertical clearance in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines and the Department of Transport and Main Roads' Planning and Design Manual; and 5. allows and does not impede access for fire-fighting and maintenance for fire-fighting purposes. <p>AO9.2 Where a reticulated water supply is available, fire hydrants are designed, sited and installed in accordance with AS2419.1-2009 Fire Hydrant Installations - System Design, Installation and Commissioning, and connected to a reticulated water supply, unless otherwise specified by the relevant water entity.</p>
<p>PO10 Where development is undertaken for non-urban purposes either a constructed perimeter road or a formed, all weather fire trail is established between the development (including lots or building envelopes) and the hazardous vegetation, and is readily accessible at all times for the type of fire-fighting vehicles servicing the area.</p> <p>The access to the perimeter road or fire trail is available for both fire-fighting and maintenance works or hazard reduction activities.</p>	<p>AO10 Lot boundaries or building envelopes are separated from hazardous vegetation by a public road (as per AO19), or a fire trail which has:</p> <ol style="list-style-type: none"> 1. a reserve or easement width of at least 20 metres; 2. a minimum trafficable (cleared and formed) width of 4 metres and no less than 4.8 metres vertical clearance, with 3 metres each side cleared of all flammable vegetation greater than 10 centimetres in height; 3. no cut or fill embankments or retaining walls adjacent to the 4 metres wide trafficable path; 4. the trail must be capable of accommodating a 10

<p>Note - For a material change of use fire trails are unlikely to be required where a development site involves less than 2.5ha and alternative access is available.</p>	<p>tonne vehicle;</p> <ol style="list-style-type: none"> 5. the balance 10 metre width of the easement has managed vegetation to remove major surface hazards; 6. turning areas and vertical clearances for firefighting appliances in accordance with Queensland Fire and Emergency Services' Fire hydrant and vehicle access guidelines; 7. a maximum gradient of 12.5 per cent 8. a cross-fall of no greater than 10 degrees; 9. drainage and erosion control devices in accordance with the standards prescribed in a planning scheme policy; 10. vehicular access at each end, which is connected to the public road network at intervals of no more than 500 metres; 11. designated fire-trail signage; 12. if used, has gates locked with a system authorised by Queensland Fire and Emergency Services; 13. if a fire trail, has an access easement that is granted in favour of council and Queensland Fire and Emergency Services; and 14. allows and does not impede access for firefighting and maintenance for firefighting purposes.
<p>PO11 Development is not located on slopes and land forms that expose people or property to an intolerable level of risk to life or property.</p>	<p>AO11.1 Development along ridgelines, saddles and crests where adjacent slopes exceed 14 degrees is avoided.</p> <p>AO11.2 Development is located where the effective slope is less than 5 degree downslope.</p>
<p>PO12 To ensure the protection of peoples' lives and property, an area designated for revegetation or rehabilitation will not create an additional bushfire prone area.</p> <p>Note - If the acceptable outcomes are not met a bushfire hazard assessment in accordance with Planning Scheme Policy 4 - Bushfire Management Plans will need to be conducted to demonstrate areas designated for revegetation or rehabilitation will not create additional bushfire prone areas.</p>	<p>AO12.1 The dimensions and configuration of an area designated for revegetation or rehabilitation ensure the area does not have the ability to become a medium, high or very high bushfire prone area in the future; OR</p> <p>The landscaping treatments are designed to achieve;</p> <ol style="list-style-type: none"> 1. potential available fuel load which is less than 5 tonnes/hectare in aggregate; and 2. fuel structure which is discontinuous. <p>AO12.2 A landscape maintenance plan specifies long-term management arrangements necessary to ensure that:</p> <ol style="list-style-type: none"> 1. potential available fuel load is maintained at less than 5 tonnes/hectare in aggregate; and 2. fuel structure remains discontinuous.
<p>PO13 Where required, recreational parks or open space are located to act as a buffer between bushfire hazard areas and development and do not create additional bushfire hazard areas.</p>	<p>AO13.1 Recreational parks or open space are designed and located between buildings, building envelopes or lot boundaries and adjacent bushfire hazard areas.</p> <p>AO13.2 Recreational parks or open space are designed to ensure that:</p> <ol style="list-style-type: none"> 1. potential available fuel load is maintained at less than 5 tonnes/hectare in aggregate; and

	2. fuel structure remains discontinuous.
PO14 Essential infrastructure is designed or located to minimise the creation of ignition sources that would increase the potential risk of bushfires to people and property.	AO14 Major electricity infrastructure, electricity distribution and transmission networks within the bushfire hazard area, are managed in accordance with Electrical Safety Act 2002 and Regulation 2013.
Reconfiguring a Lot (PO15 - PO20)	
PO15 The safety of people and property are maintained by locating house site areas and other vulnerable uses on land or part of the land not affected or accessed by bushfire hazard.	AO15.1 1. Land that is subject to bushfire hazard is not subdivided for residential or rural residential purposes; or 2. Proposed lots are sited on land or part of the land that is determined as having low bushfire hazard by a Bushfire Management Plan prepared by a suitably qualified person in accordance with Planning Scheme Policy 4 - Bushfire Management Plans . <i>Note - Building envelopes or similar mechanisms will be used to control the future siting of buildings.</i>
	AO15.2 Additional lots are not created where the only vehicular access route is through a bushfire hazard area.
PO16 Development is located and designed to incorporate a bushfire defensible space which achieves separation between buildings and hazardous vegetation necessary to reduce risk to an acceptable or tolerable level.	AO16.1 Lots or building envelopes are separated from hazardous vegetation by a distance that achieves a radiant heat flux level at any point on the building or envelope respectively of; 1. 10kW/m ² where involving a vulnerable use; or 2. 29kW/m ² otherwise. <i>Note - The radiant heat levels and separation distances are to be established in accordance with method 2 set out in AS3959-2009.</i>
	AO16.2 Building envelopes are provided that separate adjacent buildings or building envelopes by a distance of 8 metres. Note - a. Where a separation distance is proposed to be achieved by utilising existing cleared developed areas external to the site, certainty must be established (through tenure or other means) that the land will remain cleared of hazardous vegetation. b. For staged developments, temporary separation distances, perimeter roads or fire trails may be absorbed as part of subsequent stages.
PO17 Lots are designed so that their size and shape allow for efficient emergency access to buildings for firefighting appliances. <i>Note - Long driveways must accommodate turning areas for fire-fighting appliances in accordance with Queensland Fire and Emergency Services' Fire Hydrant and Access Guidelines.</i>	AO17 Private driveways within individual lots: 1. a length no greater than 60 metres from the street to the dwelling; or 2. where exceeding a length of 60m, provide a turning bay with an 8m radius adjacent to the proposed location of any buildings; and 3. have a minimum formed width of 3.5m; and 4. have a minimum vertical clearance of 4.8m; and

	<p>5. serve no more than 3 dwellings or occupied buildings.</p>
<p>PO18 Development minimises the risk of damage to life and property from bushfires, by providing:</p> <ol style="list-style-type: none"> 1. permanent access for fire-fighting vehicles; and 2. an adequate water supply for fire fighting purposes. 	<p>AO18.1 Development involving the opening of a new road in a bushfire hazard area:</p> <ol style="list-style-type: none"> 1. provides through roads; or 2. avoids cul-de-sac and dead end roads; and 3. ensures road design is capable of providing access for fire fighting and other emergency vehicles.
	<p>AO18.2 Development:</p> <ol style="list-style-type: none"> 1. where reticulated water supply is available, incorporates a reticulated water supply that provides a reliable water supply that has a minimum flow and pressure of 10 litres per second at 200 kPa; or 2. where outside reticulated water supply areas, provides an accessible water tank that is provided within 10m of each building (other than a class 10 building) that <ol style="list-style-type: none"> a. is either below ground level or of non-flammable construction; b. has a take-off connection at a level that allows the following dedicated, static water supply to be left available for access by fire fighters: <ol style="list-style-type: none"> i. 10,000 litres for residential buildings; ii. for industrial, commercial and other buildings, a volume specified in AS 2304—2011; c. includes shielding of tanks and pumps in accordance with AS2304—2011; d. includes a hardstand area (concrete or construction standard gravel) allowing medium rigid vehicle (15 tonne fire appliance) access within 6m of the tank; e. is provided with rural fire brigade tank fittings if serviced by a rural fire brigade (i.e. 50 mm ball valve and male camlock coupling and, if underground, an access hole of 200mm (minimum) to accommodate suction lines); and f. is clearly identified by directional signage at the street frontage.
	<p>AO18.3 Where a reticulated water supply is available, fire hydrants are designed, sited and installed in accordance with Queensland Fire and Emergency Services Fire Hydrant and Vehicle Access Guidelines, unless other specified by the relevant water entity.</p>
<p>PO19 The development design:</p> <ol style="list-style-type: none"> 1. minimises the area of development exposed to bushfire attack; and 2. establishes safe evacuation routes to achieve an acceptable or tolerable risk to people. <p><i>Note - For example, developments should avoid finger-like or hour-glass subdivision patterns or substantive vegetated corridors between lots.</i></p>	<p>AO19 The development:</p> <ol style="list-style-type: none"> 1. minimises the length of the development perimeter exposed to, or adjoining hazardous vegetation; 2. avoids the creation of bottle-neck points in the movement network within the development; 3. establishes direct access to a safe assembly/evacuation area in the event of an approaching bushfire;

	<p>4. ensures roads internal and external to the development are designed to have sufficient capacity for the evacuating population, and minimise traffic congestion in the event of a bushfire; and</p> <p>5. ensures access routes do not expose occupants to bushfire hazard.</p> <p><i>Note - A safe assembly / evacuation area in (2) and sufficient capacity in (4) are to be determined by a bushfire hazard/risk assessment and/or bushfire protection plan.</i></p>
<p>PO20 Emergency services and community infrastructure are able to function effectively and immediately after a bushfire event.</p>	<p>AO20 Access and egress routes are:</p> <ol style="list-style-type: none"> 1. public roads; 2. are designed to be used in all weather conditions; and 3. allow provision for safe passage of a fire appliance in accordance with <i>Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines</i>.

8.2.4 Environmental Significance Overlay Code



8.2.4.1 Application

This code applies to development:

1. within the Environmental Significance Overlay as identified on the overlay maps contained in **Schedule 2 Mapping** which is summarised in **Table 8.2.4.1 Mapping Summary** below; and
2. identified as requiring assessment against the Environmental Significance Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

***Editor's Note** - Applicants should also refer to other state and federal legislation which may require applicants to obtain additional approvals specifically where development impacts on a matter under the Environmental Protection and Biodiversity Conservation Act 1999 (Cth) or the Nature Conservation Act 1992.*

Table 8.2.4.1 Mapping Summary

Overlay Map	Mapped area
1. Environmental Significance Overlay Map — Biodiversity OM-04-A	Matters of State Environmental Significance <ul style="list-style-type: none"> • Protected Area • Regulated Vegetation (includes Regulated Vegetation intersecting a watercourse)
2. Environmental Significance Overlay Map — Local Biodiversity OM-04-B	Matters of Local Environmental Significance <ul style="list-style-type: none"> • Local Ecological
3. Environmental Significance Overlay Map — Priority Species OM-04-C	Matters of State Environmental Significance <ul style="list-style-type: none"> • State Significance Species
4. Environmental Significance Overlay Map — Wetlands and Waterways OM-04-D	Matters of State Environmental Significance Waterways and Wetlands <ul style="list-style-type: none"> • High Ecological Value Waters (Watercourse) • High Ecological Value Waters (Wetland) • High Ecological Significance Wetlands • Waterways and Wetlands Buffer Area
5. Environmental Significance Overlay Map — Local Watercourses OM-04-E	Matters of Local Environmental Significance Local Watercourses <ul style="list-style-type: none"> • Stream Order 2 • Stream Order 3 and 4 • Stream Order 5 to 7 • Watercourse Buffers Area A • Watercourse Buffers Area B

	<ul style="list-style-type: none"> Watercourse Buffers Area C
6. Environmental Significance Overlay Map - Vegetation Management Area OM-04-F	Matters of Local Environmental Significance <ul style="list-style-type: none"> Vegetation Management Area

8.2.4.2 Purpose and Overall Outcomes

1. The purpose of the Environmental Significance Overlay Code is to ensure that:
 - a. matters of environmental significance are protected and enhanced;
 - b. biodiversity values including terrestrial and aquatic systems and ecological processes of the Scenic Rim are protected; and
 - c. connectedness and condition of terrestrial and aquatic systems are enhanced providing habitat for the regions diversity of flora, fauna and ecological functions.

Editor's Note - Council's Biodiversity Strategy should be consulted for further background on regional biodiversity matters.

2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development protects and enhances matters of environmental significance to maintain flora and fauna diversity within:
 - i. Protected Areas;
 - ii. Regulated Vegetation (as defined in the SPP);
 - iii. Local Ecological Corridor;
 - b. Development protects and enhances:
 - i. State Significant Species and locally significant species and their habitat; and
 - ii. the water quality values and ecological function (including maintenance of fish passage) of wetlands, waterways and watercourses and their associated buffer areas;
 - iii. biodiversity by providing linkages and expansion of areas of local and state biodiversity significance;
 - iv. visual amenity and landscape character through retention of significant trees and reestablishment of vegetation in the Vegetation Management Area;
 - c. Degraded matters of environmental significance are rehabilitated; and
 - d. Buffers are provided to any Matters of State and Local Environmental Significance and any proposed impacts.

8.2.4.3 Assessment Benchmarks

Table 8.2.4.3.1— Environmental Significance Overlay Code - for Assessable Development

Performance Outcomes	Acceptable Outcomes
Protection of Matters of State and Local Environmental Significance identified on: <ol style="list-style-type: none"> 1. Environmental Significance Overlay Map — Biodiversity OM-04-A; or 2. Environmental Significance Overlay Map — Local Biodiversity OM-04-B 3. Environmental Significance Overlay Map — Priority Species OM-04-C; or 4. Environmental Significance Overlay Map — Wetlands and Waterways OM-04-D; or 5. Environmental Significance Overlay Map — Local Watercourses OM-04-E 	
PO1 Development protects and avoids impact on Matters of State and/or Local Environmental Significance. <i>Note - Compliance with this Performance Outcome must be demonstrated by an Ecological Assessment Report prepared in accordance with Planning Scheme Policy 5 - Ecological Assessments.</i>	AO1.1 Development has no impact on the relevant environmental values of Matters of State and/or Local Environmental Significance. OR AO1.2 An Ecological Assessment Report prepared in accordance with Planning Scheme Policy 5 - Ecological Assessments demonstrates that the development site does not contain any Matters of State and/or Local Environmental Significance. OR AO1.3 An Ecological Assessment Report prepared in accordance with Planning Scheme Policy 5 - Ecological Assessments

	demonstrates that development is located, designed and operated to mitigate adverse impacts on the relevant environmental values of Matters of State and/or Local Environmental Significance.
<p>PO2 Development is designed and constructed to:</p> <ol style="list-style-type: none"> 1. avoid significant adverse impact on Matters of State and/or Local Environmental Significance; and 2. protect and enhance ecological connectivity and habitat extent between areas of State and/or Local Environmental Significance. 	<p>AO2 The design and layout of development minimises adverse impacts on Matters of State and/or Local Environmental Significance by:</p> <ol style="list-style-type: none"> 1. focusing development in non-vegetated areas to protect existing habitat; 2. using urban design to consolidate density and preserve existing habitat and native vegetation; 3. aligning property boundaries to maintain ecologically important areas; 4. ensuring that alterations to natural landforms, hydrology and drainage patterns on the development site do not negatively affect ecologically important areas; 5. avoiding impacts on flora and fauna and their habitat as identified in the Nature Conservation Act 1992 and locally significant species; 6. ensuring that significant fauna and flora and their habitats are protected in their environmental context and incorporate measures that allow for the safe movement of fauna through the site; 7. ensuring the clearing of native vegetation is minimised; 8. ensuring development does not isolate areas identified as Matters of State and/or Local Environmental Significance; 9. ensuring development retains native vegetation in areas large enough to maintain ecological values, functions and processes; and 10. ensuring development is operated and managed in a manner to ensure long term viability of the matter of environmental significance. <p>Note - Development should ensure that the ecological connectivity between habitats (whether it is the same or different environmental value) is not affected to the extent that migration or normal movement of significant species between habitats or normal gene flow between populations is inhibited. Maintaining vegetation in patches of the greatest possible size and with the minimal edge-to-area ratio, for example, can help to achieve this.</p>
<p>PO3 Buffers are provided and maintained that protect the long term viability of Matters of State and/or Local Environmental Significance.</p> <p>Note - Compliance with this Performance Outcome must be demonstrated by an Ecological Assessment Report prepared in accordance with Planning Scheme Policy 5 - Ecological Assessments.</p>	<p>AO3.1 Development provides and maintains a buffer to Matters of State and/or Local Environmental Significance, the width of which is supported by an evaluation of the environmental values prepared in accordance with Planning Scheme Policy 5 - Ecological Assessments.</p> <p>OR</p> <p>AO3.2 Where involving a wetland or watercourse, development provides a buffer from an area identified as High Ecological Value Waters (Watercourse), High Ecological Value Waters (Wetland) and High Ecological Significance Wetlands which has a minimum width of:</p> <ol style="list-style-type: none"> 1. 100m where the area is located outside an urban area; or 2. 50m where the area is located within an urban area. <p>Note - Use the Queensland Wetlands Buffer Guideline http://wetlandinfo.ehp.qld.gov.au/resources/static/pdf/resources/reports/buffer-guide/wetland-buffer-guideline-14-04-13.pdf and/or the setback buffer distances for wetlands and watercourses under the Native Vegetation Clearing (Module 8) of the State Development Assessment Provisions for guidance on buffers. https://dsdmipprd.blob.core.windows.net/general/sdap-module-8-v-1-8.pdf</p>
<p>PO4 The ongoing management, operation and tenure of Matters of</p>	<p>AO4.1 No ongoing impacts occur from the operation of the development.</p>

<p>State and/or Local Environmental Significance, ensures impacts on biodiversity values and ecological processes are avoided or minimised.</p>	<p>OR</p> <p>AO4.2 Where impacts are ongoing:</p> <ol style="list-style-type: none"> 1. they are mitigated by appropriate management, tenure or monitoring and reporting; and 2. relevant management plans and reporting are provided for assessment and approval. <p>Note - Appropriate management arrangements could include conservation tenures such as conservation covenants, conservation envelopes, nature refuges, protected areas or parks.</p>
<p>PO5 Disturbed or cleared or degraded areas are rehabilitated.</p>	<p>AO5.1 Development provides for cleared, degraded or disturbed areas to be rehabilitated or allowed to regenerate naturally, where development is located in areas identified as:</p> <ol style="list-style-type: none"> 1. Protected Areas; 2. Regulated Vegetation (as defined in the SPP); 3. mapped areas of Local Environmental Significance; or 4. other Matters of State and/or Local Environmental Significance identified within an Ecological Assessment Report as requiring rehabilitation. <p>AO5.2 Development provides for locally significant species to be predominantly used in revegetation and landscape planting on the site.</p>
<p>PO6 Where habitat or vegetation is proposed to be damaged, management strategies are implemented to ensure the protection and safety of wildlife and the protection of nearby habitat in areas identified as either Matters of State and/or Local Environmental Significance.</p>	<p>AO6 Development ensures that:</p> <ol style="list-style-type: none"> 1. the native fauna is safely relocated to an area of similar habitat; 2. the sequence of habitat disturbance ensures that fauna is not isolated from adjoining areas of habitat; 3. fauna relocation occurs immediately prior to habitat disturbance; 4. qualified fauna spotter catchers, licenced by the Queensland Parks and Wildlife Service, are present on the site at the time of the damage, to direct and undertake the removal and relocation of fauna; 5. where possible, damaged habitat and nesting sites are rehabilitated outside of development areas; 6. vegetation planned for retention is protected from damage, in accordance with AS4970. 7. vegetation is cleared in accordance with Policy 6 of the Department of Environment and Heritage Protection's: Koala-Sensitive Design Guideline.
<p>PO7 Development design and location provides for the safe movement of native fauna through the site.</p>	<p>AO7 Where infrastructure crosses native fauna movement paths, the design of new development incorporates fauna friendly movement solutions.</p> <p>Editor's note - Fauna friendly movement solutions developed in accordance with the Queensland Government Fauna Sensitive Road Design Manual Volume2: Preferred Practices; and the Department of Environment and Heritage Protection's: Koala-Sensitive Design Guideline are Council's preferred method for addressing this outcome.</p>
<p>Local Vegetation Clearing - Offsets</p>	
<p>PO8 Where significant residual impacts resulting from damage to vegetation in areas identified as Matters of Local Environmental Significance (and where not identified as Matters of State Environmental Significance) cannot be avoided or mitigated, the impacts are offset so that the environmental value proposed to be</p>	<p>AO8 No Acceptable Outcome is prescribed.</p>

removed from the site is maintained.	
Note - Compliance with this performance outcome is to be demonstrated by an Ecological Assessment Report.	
Water Quality - Waterways and Wetlands	
<p>PO9 Development located in areas identified on Environmental Significance Overlay Map - Wetlands and Waterways OM-04-D:</p> <ol style="list-style-type: none"> protects or enhances habitat values (including maintenance of fish passage), ecological connectivity and other ecological functions and values; protects water quality and aquatic conditions; maintains natural micro-climatic conditions; maintains natural hydrological processes; prevents mass soil movement, gully erosion, rill erosion, sheet erosion, tunnel erosion, stream bank erosion, wind erosion, or scalding; and avoids loss or modification of chemical, physical or biological properties or functions of soil. 	<p>AO9.1 Development, including any associated filling or excavation (other than rehabilitation or restorative works) does not occur within a High Ecological Value Waters (Watercourse), High Ecological Value Waters (Wetland), High Ecological Significance Wetlands and Waterways and Wetlands Buffer Area.</p> <p>AO9.2 Development provides a buffer from an area identified as High Ecological Value Waters (Watercourse), High Ecological Value Waters (Wetland), and High Ecological Significance Wetlands which has a minimum width of:</p> <ol style="list-style-type: none"> 100m where the area is located outside an urban area; or 50m where the area is located within an urban area; or the buffer width of which is supported by an evaluation of the environmental values (identified by a suitably qualified person), including the function and threats.
<p>Note - Use the Queensland Wetlands Buffer Guideline http://wetlandinfo.ehp.qld.gov.au/resources/static/pdf/resources/reports/buffer-guide/wetland-buffer-guideline-14-04-13.pdf and/or the setback buffer distances for wetlands and watercourses under the Native Vegetation Clearing (Module 8) of the State Development Assessment Provisions for guidance on buffers. https://dsdmipprd.blob.core.windows.net/general/sdap-module-8-v-1-8.pdf</p> <p>Editor's Note - Buffer Areas to Matters of State Environmental Significance Waterways and Wetlands have been mapped based on 100m either side of the centre line of the receiving waters or 100m from wetlands.</p>	
<p>PO10 Development within a Watercourse Buffer Area (A, B or C) shown on Environmental Significance Overlay Map - Local Watercourse OM-04-E has no adverse impact on:</p> <ol style="list-style-type: none"> native vegetation; terrestrial and aquatic habitat; ecological functions; and nature conservation functions. 	<p>AO10 The development footprint is not located within:</p> <ol style="list-style-type: none"> 10m from the high or outer bank of the watercourse located in Watercourse Buffer Area A; 25m from the high or outer bank of the watercourse located in Watercourse Buffer Area B; 50m from the high or outer bank of the watercourse located in Watercourse Buffer Area C.
Water Quality - All Waterways and Wetlands and Local Watercourses	
<p>PO11 Development appropriately manages stormwater quality to:</p> <ol style="list-style-type: none"> protect natural ecosystems; protect water quality; reduce runoff and peak flows; and meet the water quality objectives and environmental values for Queensland waters. <p>Note - Development is designed to achieve the prescribed water quality objectives for Waterways in accordance with the Environmental Protection (Water) Policy 2009 for both State and Local wetlands, waterways, and watercourses.</p>	<p>AO11 A site-based stormwater quality management plan (SQMP) is prepared by a suitably qualified person that demonstrates that the stormwater quality treatment measures meet the design objectives identified in Table 8.2.4.3.2 - Stormwater Management Design Objectives.</p>
<p>PO12 Stormwater quantity management outcomes demonstrate no adverse impact on stormwater flooding or the drainage of properties external to the subject site.</p>	<p>AO12.1 A site-based stormwater quantity management plan (SQMP) is prepared by a suitably qualified person:</p> <ol style="list-style-type: none"> that demonstrates achievable stormwater quantity control measures for discharge during both the construction and operational phases of development; and is designed in accordance with the Queensland Urban Drainage Manual (QUDM). <p>AO12.2 Stormwater flows discharged from development are either within the capacity of the downstream drainage system such that non-worsening occurs, or are mitigated to pre-development</p>

<p>PO13 Development does not discharge wastewater to a waterway or wetland off-site unless demonstrated to be best practice environmental management for that site and addresses the:</p> <ol style="list-style-type: none"> 1. applicable water quality objectives for the receiving waters; and 2. the potential adverse impact on ecosystem health of receiving waters. <p><i>Note - Development is designed to achieve the prescribed water quality objectives for Waterways in accordance with the Environmental Protection (Water) Policy 2009 for both State and Local wetlands, waterways, and watercourses.</i></p>	<p>characteristics.</p> <p>AO13.1 Where the development involves the discharge of wastewater, a site-based Wastewater Management Plan is prepared by a suitably qualified person and addresses:</p> <ol style="list-style-type: none"> 1. wastewater type; 2. climatic conditions; 3. water quality design objectives; and 4. best-practice environmental management. <p>AO13.2 The site-based Wastewater Management Plan required in AO13.1 provides that wastewater is managed in accordance with a waste management hierarchy that:</p> <ol style="list-style-type: none"> 1. avoids wastewater discharges to waterways, wetlands and watercourses; and 2. if wastewater discharge to waterways, wetlands or watercourses cannot practicably be avoided, minimises wastewater discharge to waterways, wetlands or watercourses by re-use, recycling, recovery and treatment for disposal to sewer, surface water and groundwater.
<p>PO14 The environmental value of receiving waters and the functionality of stormwater infrastructure are protected from the impacts of erosion, turbidity and sedimentation.</p> <p><i>Note - Development is designed to achieve the prescribed water quality objectives for Waterways in accordance with the Environmental Protection (Water) Policy 2009 for both State and Local wetlands, waterways, and watercourses.</i></p>	<p>AO14 An erosion and sediment control plan is prepared by a suitably qualified person that achieves the design objectives in Table 8.2.4.3.2 - Stormwater Management Design Objectives.</p>
<p>PO15 Development does not cause land degradation in areas identified as Matters of State Environmental Significance Waterways and Wetlands (identified on Environmental Significance Overlay Map - Wetlands and Waterways OM-04-D) or Matters of Local Environmental Significance Local Watercourses (identified on Environmental Significance Overlay Map - Local Watercourses OM-04-E), including:</p> <ol style="list-style-type: none"> 1. mass soil movement, gully erosion, rill erosion, sheet erosion, tunnel erosion, stream bank erosion, wind erosion, or scalding; and 2. loss or modification of chemical, physical or biological properties or functions of soil. 	<p>AO15 Development does not change the natural surface water or groundwater hydrologic regime, including through channelization, redirection or interruption of flow, where located in areas identified as:</p> <ol style="list-style-type: none"> 1. Matters of State Environmental Significance Waterways and Wetlands (identified on Environmental Significance Overlay Map - Wetlands and Waterways OM-04-D); or 2. Matters of Local Environmental Significance Local Watercourses (identified on Environmental Significance Overlay Map - Local Watercourses OM-04-E).
Reconfiguring a Lot	
<p>PO16 Where the site is identified as having Matters of State and/or Local Environmental Significance the ecological function and biodiversity values of existing habitat are maintained by ensuring that reconfiguring a lot does not result in the:</p> <ol style="list-style-type: none"> 1. fragmentation of habitat; 2. loss of habitat; and 3. loss of environmental values. 	<p>AO16.1 Where required, areas that are mapped as containing Matters of State and/or Local Environmental Significance are dedicated as public open space for purposes consistent with the ecological values and functions of the area.</p> <p>AO16.2 The design, location and shape of the development does not impact on Matters of State and/or Local Environmental Significance by:</p> <ol style="list-style-type: none"> 1. ensuring the boundaries do not result in the clearing of Matters of State and/or Local Environmental Significance; 2. ensuring the shape, size and location of lots and their boundaries minimise the impact of Matters of State and/or Local Environmental Significance; 3. dedication as a conservation area in a private property or other conservation mechanism. <p>AO16.3 Where required, open space is provided adjacent to waterway buffers with roads servicing linear parkland and lots located on the</p>

	opposite side of the road.
	AO16.4 Where required, open space for conservation purposes is consolidated with existing conservation areas to allow for a connected movement corridor.
Development in a Vegetation Management Area on Environmental Significance Overlay Map - Vegetation Management Area OM-04-F	
PO17 Development in the Vegetation Management Area maximises the retention of significant trees to maintain and protect the visual amenity of the local area.	AO17 Development is located in an existing cleared area.
PO18 Development in the Vegetation Management Area maintains and enhances a predominantly forested character when viewed from a road.	AO18 No Acceptable Outcome is prescribed.
PO19 Development in the Vegetation Management Area protects and enhances significant trees on ridgelines which contributes to the character and visual amenity of the local area.	AO19 No Acceptable Outcome is prescribed.
PO20 Development in the Vegetation Management Area avoids or minimises disturbance to significant trees on steep slopes to prevent erosion and slippage.	AO20 No Acceptable Outcome is prescribed.
PO21 Development in the Vegetation Management Area protects and enhances a significant tree which: <ol style="list-style-type: none"> 1. is of significant historical, cultural, educational and aesthetic value; or 2. is an uncommon species in the locality; or 3. positively contributes to the character and visual amenity of the local area; or 4. is of a great height, trunk circumference or canopy spread; or 5. contains a hollow or is a nesting tree for native fauna. 	AO21 No Acceptable Outcome is prescribed.
PO22 Development in the Vegetation Management Area contributes towards the maintenance of biodiversity by providing for the linking of and expansion of areas of local and state biodiversity significance.	AO22 Development retains and replants vegetation that: <ol style="list-style-type: none"> 1. links areas of forest; 2. provides for the expansion of area of forest; 3. where location would support areas of state biodiversity significance, provides for the reestablishment of forest; and 4. provides for such areas to be included in a conservation envelope or retained in public ownership.

Table 8.2.4.3.2 - Stormwater Management Design Objectives

Issue	Design objectives	
Drainage control	Temporary drainage works	<ol style="list-style-type: none"> 1. Design life and design storm for temporary drainage works: <ol style="list-style-type: none"> a. Disturbed area open for <12 months—1 in 2-year ARI event b. Disturbed area open for 12—24 months—1 in 5-year ARI event c. Disturbed area open for > 24 months—1 in 10-year ARI event 2. Design capacity excludes minimum 150 mm freeboard 3. Temporary culvert crossing—minimum 1 in 1-year ARI hydraulic capacity
Erosion control	Erosion control measures	<ol style="list-style-type: none"> 1. Minimise exposure of disturbed soils at any time 2. Divert water run-off from undisturbed areas around disturbed areas 3. Determine the erosion risk rating using local rainfall erosivity, rainfall depth, soil-loss rate or other acceptable methods 4. Implement erosion control methods corresponding to identified erosion risk rating
Sediment control	<ol style="list-style-type: none"> 1. Sediment control measures 2. Design storm for sediment control basins 3. Sediment basin dewatering 	<ol style="list-style-type: none"> 1. Determine appropriate sediment control measures using: <ol style="list-style-type: none"> a. potential soil loss rate, or b. monthly erosivity, or c. average monthly rainfall 2. Collect and drain stormwater from disturbed soils to sediment basin for

		<p>design storm event:</p> <ul style="list-style-type: none"> a. design storm for sediment basin sizing is 80th% five-day event or similar <p>3. Site discharge during sediment basin dewatering:</p> <ul style="list-style-type: none"> a. TSS < 50 mg/L TSS, and b. Turbidity not >10% receiving waters turbidity, and c. pH 6.5—8.5
Water quality	Litter and other waste, hydrocarbons and other contaminants	<ul style="list-style-type: none"> 1. Avoid wind-blown litter; remove gross pollutants 2. Ensure there is no visible oil or grease sheen on released waters 3. Dispose of waste containing contaminants at authorised facilities
Waterway stability and flood flow management	Changes to the natural waterway hydraulics and hydrology	<ul style="list-style-type: none"> 1. For peak flow for the 1-year and 100-year ARI event, use constructed sediment basins to attenuate the discharge rate of stormwater from the site

8.2.5 Extractive Resources Overlay Code



8.2.5.1 Application

This code applies to development:

1. within the Extractive Resources Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Extractive Resources Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

8.2.5.2 Purpose and Overall Outcomes

1. The purpose of the Extractive Resources Overlay Code is to protect extractive resources within a Key Resource Area (KRA) from development that might prevent or constrain current or future extraction of the resource.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development ensures that Resource Area/Processing Areas, Separation Areas, Transport Routes and Transport Route Separation Areas are protected from encroaching development that is not compatible with the Extractive industry use;
 - b. Development does not compromise the operation of an existing or future Extractive industry use identified in **Extractive Resources Overlay Map OM-05**;
 - c. Development for a sensitive land use or incompatible use maintains an effective separation from a Resource Area/Processing Area and does not encroach within a Separation Area or a Transport Route Separation Area; and
 - d. Development, other than for an Extractive industry, is buffered from and is able to mitigate impacts likely to occur as a result of the extraction of resources from a Key Resource Area.

Editor's Note - Key Resource Areas includes Resource Area / Processing Area, Separation Area, Transport Route and Transport Route Separation Area as identified on the **Extractive Resources Overlay Map OM-05**

Editor's Note - The KRA's (as at 1 July 2017) within the Scenic Rim Region are listed in the below table:

KRA Number	Key Resource Area Name
KRA 61	Bromelton
KRA 95	Mundoolun Connections Sands
KRA 139	Cryna

KRA 140	Erin View
KRA 141	Kangaroo Mountain
KRA 142	Markwell Creek
KRA 143	Yore Road
KRA 158	Mount Walker

8.2.5.3 Assessment Benchmarks

Table 8.2.5.3.1— Extractive Resources Overlay Code - Assessable Development

Performance outcomes	Acceptable outcomes
Protection of Key Resource Areas	
PO1 Development in a Key Resource Area (KRA) maintains the long-term availability and ability to extract the extractive resource.	AO1.1 Development not associated with extractive industry in the KRA does not involve a sensitive land use and does not increase the number of people living in the KRA.
	AO1.2 Development involving reconfiguring a lot does not result in an increase in the number of lots within the KRA located in a: <ol style="list-style-type: none"> 1. Resource Area / Processing Area; or 2. Separation Area; or 3. Transport Route Separation Area.
Protection of Transport Routes	
PO2 Development will not adversely affect the safe and efficient operation of vehicles transporting extractive materials along the Transport Route identified in the Extractive Resources Overlay Map OM-05 .	AO2 Development: <ol style="list-style-type: none"> 1. does not increase the number of access points to the Transport Route; or 2. access points are designed to ensure the safe and efficient operation of vehicles transporting extractive materials along the transport route.
Development Intensity	
PO3 Development incorporates measures to mitigate the potential adverse effects from existing or future extractive industry on people working, residing or congregating in the Resource Area / Processing Area, Separation Area and Transport Route Separation Area.	AO3.1 The number of people working, residing or congregating in the Resource Area / Processing Area, Separation Area and Transport Route Separation Area is not increased.
	AO3.2 Development incorporates design, orientation and construction materials that mitigate the potential adverse effects from an existing or future extractive industry to acceptable levels by: <ol style="list-style-type: none"> 1. locating buildings and structures the greatest distance practicable from the Resource Area / Processing Area and associated Transport Route; 2. designing buildings so the areas where people live, work and congregate (habitable rooms) are furthest from the Resource Area / Processing Area and associated Transport Route; 3. minimising openings in walls closest to these effects;

	<ol style="list-style-type: none">4. providing mechanical ventilation to habitable rooms;5. use of appropriate construction methods and materials including (acoustic) insulation and glazing materials;6. providing private outdoor recreation space that is located adjacent to a building façade which shields it from the extractive industry or resource; and7. providing buffer landscaping between development and the Resource Area / Processing Area, where the Resource Area / Processing Area is visible from the development.
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8.2.6 Flood Hazard Overlay Code



8.2.6.1 Application

This code applies to development:

1. within the Flood Hazard Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Flood Hazard Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

8.2.6.2 Purpose

1. The purpose of the Flood Hazard Overlay Code is to ensure that development in a flood hazard area is compatible with the risk of the flood hazard and protects life and property.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development that potentially increases the exposure of people and property to flood hazards:
 - i. avoids areas of significant flood hazard risk; or
 - ii. where areas of flood hazard risk cannot be practicably avoided, development is designed, located and managed to ensure the risk to people and property is mitigated to an acceptable or tolerable level, during and after a flood event;
 - b. The development siting, layout, and access responds to the risk of the flood hazard, including flood hazard category, and minimises risk to personal safety;
 - c. The development is resilient to flood events by ensuring siting, design and materials stored on site accounts for the potential risks of flood hazards;
 - d. The development supports, and does not unduly burden disaster management response or recovery capacity and capabilities;
 - e. The development directly, indirectly and cumulatively does not materially increase the severity of the flood hazard and does not significantly increase the potential for damage on the site or to other properties;
 - f. The development avoids the release of hazardous materials as a result of a flood event;
 - g. Natural processes and the protective function of landforms and/or vegetation are maintained in flood hazard areas;
 - h. Development in flood hazard areas supports and does not hinder disaster management capacity and capabilities;
 - i. Community infrastructure is located and designed to maintain the required level of functionality during and immediately after a flood event.

Editor's Note - For this overlay, where land is located in the Investigation Area of the **Flood Hazard Overlay Map - Hazard Area OM-06-A**, a defined flood level based on the 1% AEP flood event with a climate change consideration is not

available. A flood investigation undertaken by a suitably qualified person is required to determine the defined flood level.

8.2.6.3 Assessment Benchmarks

Table 8.2.6.3.1 — Flood Hazard Overlay Code - for Assessable Development

Performance Outcomes	Acceptable Outcomes
<p>PO1 Development siting, layout and access:</p> <ol style="list-style-type: none"> 1. responds to the potential risk of flooding, including the Flood Hazard Category on the site; 2. maintains personal safety at all times; and 3. mitigates the risk to people and property to an acceptable or tolerable level. <p>Note - Flood Hazard Category is shown on the Flood Hazard Overlay Map - Category Area OM-06-B.</p>	<p>AO1.1 A new building or extension to an existing building is not located in a high hazard category area as shown on the Flood Hazard Overlay Map - Category Area OM-06-B.</p>
	<p>AO1.2 Residential buildings:</p> <ol style="list-style-type: none"> 1. are not located on land in a flood hazard area; or 2. where the development cannot be located on land outside the flood hazard area, all floor levels of habitable rooms are elevated a minimum of 500mm above the defined flood level. <p>Non-residential buildings:</p> <ol style="list-style-type: none"> 1. are not located on land in a flood hazard area; or 2. where development cannot be located on land outside the flood hazard area, all floor levels are elevated a minimum of 500mm above the defined flood level. <p>Note - If part of the site is outside the flood hazard area, this is the preferred location for development.</p> <p>Note - Building work in a designated flood hazard area must meet the requirements of the relevant building assessment provisions under the Building Act 1975.</p> <p>Editor's Note - The defined flood level may be obtained from Council through a Flood Level Search where the property is located within the Defined Flood Event on Flood Hazard Overlay Map - Hazard Area OM-06-A. A site based flood study is required that investigates the impact of the development on the floodplain and demonstrates compliance with the Performance Outcome where a flood level is not available (Investigation Area).</p>
	<p>AO1.3 Development provides for a road and/or pathway layout that ensures residents are not physically isolated by the defined flood event and provides a safe and clear evacuation route by:</p> <ol style="list-style-type: none"> 1. locating entry points into the development are located outside the flood hazard area; 2. ensuring all roads in the development are located outside the flood hazard area; 3. avoiding cul-de-sacs or other non-permeable layouts; and 4. providing direct and simple routes to main carriageways.
	<p>AO1.4 Development ensures that all buildings have vehicle and pedestrian evacuation routes outside the flood hazard area to facilitate egress from the site.</p>
	<p>AO1.5 Development either:</p>

	<p>1. does not create additional lots that are located in the flood hazard area; or</p> <p>2. creates lots that incorporate a building envelope outside the flood hazard area.</p> <p><i>Editor's note - If part of the site is outside the Flood Hazard Area, this is the preferred location for all lots (excluding park or other relevant open space and recreation lots).</i></p> <p><i>Editor's Note - Buildings subsequently developed on the lots created will need to comply with the relevant building assessment provisions under the Building Act 1975.</i></p> <p>A01.6 There is no intensification of residential uses within flood affected areas on land situated below the defined flood event.</p> <p><i>Editor's note - If part of the site is outside the Flood Hazard Area, this is the preferred location for all buildings.</i></p> <p>A01.7 Development ensures that:</p> <ol style="list-style-type: none"> 1. signage is provided on a road or pathway indicating the position and path of all safe evacuation routes off the premises; and 2. where the site contains or is within 100m of a floodable waterway, hazard warning signage and depth indicators are provided at key hazard points, such as at floodway crossings or entrances to low-lying reserves. <p>A01.8 Development is located to support self-evacuation of people, and ensure sufficient warning time for the nature of the use.</p> <p>A01.9 Development does not:</p> <ol style="list-style-type: none"> 1. shorten warning time for other uses in the floodplain; and 2. impact on the ability of traffic to use evacuation routes, or unreasonably increase traffic volumes on evacuation routes. <p>A01.10 Development in greenfield areas protects a floodway by providing an easement or reserve over the area of the premises up to the defined flood event.</p> <p>A01.11 Development allows an area within the development site at or above the flood planning level with sufficient space to accommodate the likely population of the development in safety for a relatively short time until flash flooding subsides (if applicable) or people can be evacuated.</p>
<p>PO2 Development is compatible with the level of risk associated with the flood hazard such that:</p> <ol style="list-style-type: none"> 1. Vulnerable uses in the high hazard Flood Hazard Category are avoided; 	<p>A02 Development in high hazard areas is limited to non-Vulnerable uses.</p>

<p>2. Vulnerable uses in the medium or low hazard Flood Hazard Category area mitigates the risk to an acceptable or tolerable level. Note - Flood Hazard Category is shown on the Flood Hazard Overlay Map - Category Area OM-06-B.</p>	
<p>PO3 Development is resilient to flood events and supports disaster management response or recovery capacity and capabilities by ensuring design, built form and materials stored on site do not increase the potential for damage on the site or to other properties.</p>	<p>AO3.1 Materials stored on site: 1. are readily able to be moved in a flood event to a flood free area; and 2. where capable of creating a safety hazard by being shifted by floodwaters, are contained in order to minimise movement in times of flood. Note - Businesses and Animal Husbandry or Cropping uses should ensure that they have the necessary continuity plans in place to account for the potential need to relocate property prior to a flood event (e.g. allow enough time to transfer stock to the upstairs level of a building, an area not affected by flood, or off site). Note - Queensland Government Fact Sheet 'Repairing your house after a flood' provides information about water resilient products and building techniques.</p> <p>AO3.2 Non-residential buildings and structures allow for flow through of flood waters on the ground floor. Editor's Note - The relevant building assessment provisions under the Building Act 1975 apply to all building work within the Flood Hazard Area and need to take account of the flood potential within the area.</p>
<p>PO4 Development avoids the release of hazardous materials into floodwaters.</p>	<p>AO4 Development: 1. involving materials manufactured or stored on site are not hazardous or noxious, or comprise materials that may cause a detrimental effect on the environment if discharged in a flood event; or 2. involving the manufacture or storage of hazardous materials ensures structures are: a. located above the defined flood level; or b. designed to prevent the intrusion of floodwaters; or 3. where a defined flood level is not available, ensures hazardous materials and their manufacturing equipment are: a. located on the highest part of the site to enhance flood immunity; and b. designed to prevent the intrusion of floodwaters. Editor's Note - Refer to the Work Health and Safety Act 2011 and associated Regulation and Guidelines, the Environmental Protection Act 1994 and the relevant building assessment provisions under the Building Act 1975 for requirements related to the manufacture and storage of hazardous substances.</p>
<p>PO5 Development supports, and does not burden, disaster management response or recovery capacity and capabilities.</p>	<p>AO5 Development does not: 1. increase the number of people calculated to be at risk from flooding; or 2. increase the number of people likely to need</p>

	evacuation; or 3. shorten flood warning times; or 4. impact on the ability of traffic to use evacuation routes, or unreasonably increase traffic volumes on evacuation routes.
<p>PO6 Development involving community facilities or infrastructure:</p> <ol style="list-style-type: none"> 1. remains functional to serve community need during and immediately after a flood event; 2. is designed, sited and operated to avoid adverse impacts on the community or the environment due to the impacts of flooding on infrastructure, facilities or access and egress routes; 3. retains essential site access during a flood event; and 4. is able to remain functional even when other infrastructure or services may be compromised in a flood event. 	<p>AO6.1 Any components of infrastructure that are likely to fail to function or may result in contamination when inundated by flood, such as electrical switch gear and motors, telecommunications connections, or water supply pipeline air valves, are:</p> <ol style="list-style-type: none"> 1. located above the defined flood level; and 2. designed and constructed to exclude floodwater infiltration. <p>AO6.2 Infrastructure is designed and constructed to resist hydrostatic and hydrodynamic forces as a result of inundation by flood.</p> <p>AO6.3 In new subdivisions and large master planned developments, arterial, sub-arterial or major collector roads are located above a suitable flood immunity level.</p>
<p>PO7 Development involving community facilities or infrastructure:</p> <ol style="list-style-type: none"> 1. remains functional to serve community need during and immediately after a flood event; 2. is designed, sited and operated to avoid adverse impacts on the community or the environment due to the impacts of flooding on infrastructure, facilities or access and egress routes; 3. retains essential site access during a flood event; and 4. is able to remain functional even when other infrastructure or services may be compromised in a flood event. 	<p>AO7.1 Development for community services activities or infrastructure is designed to have a minimum flood immunity as prescribed in Table 8.2.6.3.2.</p> <p>AO7.2 For all other development being an infrastructure activity not listed in Table 8.2.6.3.2, such development can function effectively during and immediately after flood events.</p> <p>AO7.3 For all other development being a community services activity not listed in Table 8.2.6.3.2, such development is not located on land inundated during a defined flood event.</p> <p>AO7.4 The following uses have direct access to low hazard evacuation routes as defined in Table 8.2.6.3.3 Low Hazard Evacuation Routes:</p> <ol style="list-style-type: none"> 1. Community residence; 2. Emergency services; 3. Hospitals; 4. Residential care facility; 5. Retirement facility; 6. Child care centre; 7. Substation; 8. Utility installations; 9. Community use; 10. Community care centre; 11. Detention facility; 12. Educational establishment; 13. Tourist park; 14. Non-resident workforce accommodation; 15. Rooming accommodation;

	16. Rural workers' accommodation; and 17. Relocatable home park.
<p>PO8 Development directly, indirectly and cumulatively avoids any increase in water flow, velocity or flood level and does not increase the potential for damage on site or on other properties.</p>	<p>AO8.1 In non-urban areas, buildings, infrastructure and building envelopes are set back a minimum of 50 metres from Stream Order 3 and 4, and Stream Order 5 to 7 on the Environmental Significance Overlay Map - Local Watercourses OM-04-E to maintain the natural riparian corridors and their natural function of reducing velocity of flood waters.</p> <p><i>Editor's Note - Fences and irrigation infrastructure (e.g. irrigation tape) in rural areas should be managed to minimise adverse impacts that they may have on downstream properties in the event of a flood.</i></p>
	<p>AO8.2 Development on land in a flood hazard area either:</p> <ol style="list-style-type: none"> 1. does not involve a net increase in filling greater than 50m³ where located in a non-urban area; or 2. does not result in any reductions of on-site flood storage capacity and contain within the subject site any changes to depth, duration and velocity of floodwaters; or 3. does not change flood characteristics outside the subject site in ways that result in: <ol style="list-style-type: none"> a. loss of flood storage; b. loss of/changes to flow paths; c. acceleration or retardation of flows; and d. any reduction in flood warning times elsewhere on the floodplain. <p><i>Note - A hydraulic and hydrology report, prepared by a suitably qualified person can be prepared to demonstrate compliance with this performance outcome.</i></p>
	<p>AO8.3 Where development is located in an area affected by a defined flood event, a hydraulic and hydrology report, prepared by a suitably qualified person, demonstrates that the development:</p> <ol style="list-style-type: none"> 1. maintains the flood storage capacity on the subject site; 2. does not increase the volume, velocity, concentration or flow path alignment of stormwater flow across sites upstream, downstream or in the general vicinity of the subject site; and 3. does not increase stormwater ponding on sites upstream, downstream or in the general vicinity of the subject site.
	<p>AO8.4 Works in urban areas associated with the proposed development do not involve:</p> <ol style="list-style-type: none"> 1. any physical alteration to a watercourse or floodway including vegetation clearing; and/or 2. a net increase in filling (including berms / mounds). <p><i>Editor's note - Berms/mounds are considered to be an undesirable built form outcome and are not supported.</i></p>

Table 8.2.6.3.2 Minimum flood immunity standards for infrastructure

Infrastructure Type	Settlement context [^]	Floodplain context*	Minimum immunity
Transport infrastructure			
Any transport infrastructure as defined by the Regulation	All	All	No specific recommended flood level, but development proponents should ensure that the infrastructure is optimally located and designed to achieve suitable levels of service, having regard to the processes and policies of the administering government agency.
Needing to operate during and immediately after a flood event			
Hospitals and associated institutions Emergency services facility (including police facilities)	All	High hazard or limited warning (e.g. less than 24 hours)	Locate outside PMF or other available extreme event (such as 0.2% AEP*, at a minimum)
Water cycle management infrastructure (water treatment plant) Facilities used as an evacuation or recovery facility in addition to their normal function (e.g. sporting facility, community centre, meeting hall)	All	High hazard and longer warning Lower hazard and longer warning	Locate outside 0.2% AEP* OR Building floor levels above 0.2% AEP* plus freeboard.
Involving vulnerable persons			
Retirement village Residential care facility Facility where an education and care service under the Education and Care Services National Law (Queensland) is operated or a childcare service under the Child Care Act 2002 is conducted Correctional facility Education establishment	Small town/rural settlement Larger urban centre	High hazard or limited warning (e.g. less than 24 hours) High hazard and longer warning Lower hazard and longer warning High hazard or limited warning (e.g. less than 24 hours) Lower hazard or longer warning	Locate outside PMF or other available extreme event (such as 0.2% AEP, at a minimum). Locate outside 1% AEP. Locate outside 1% AEP. OR Building floor levels above 1%AEP plus freeboard. Locate outside PMF or other available extreme event (such as 0.2% AEP). Locate outside 1% AEP.
Needing to operate soon after a flood event			
Cemetery and crematorium Sporting facility, community centre, meeting hall (where not used as an evacuation or recovery facility)	All	High hazard or limited warning (e.g. less than 24 hours)	Locate outside 1% AEP.

Waste management facilities Storage and works depots and similar facilities, including administrative facilities associated with the provision or maintenance of the community infrastructure mentioned in this part.		High hazard and longer warning	Locate outside 1% AEP. OR Building floor levels above 1%AEP plus freeboard.
		Lower hazard and longer warning	
Facilities with potential primarily for property loss			
Gallery, museum, library and any other similar community/cultural facility/use	All	High hazard or limited warning (e.g. less than 24 hours)	Locate outside 0.5% AEP.
		High hazard and longer warning	Locate outside 1% AEP. OR Building floor levels above 1%AEP plus freeboard.
		Lower hazard and longer warning	
Other infrastructure			
Any other infrastructure as defined by the Regulation	All	All	Unless stated through other infrastructure.

*0.5% AEP for water cycle management infrastructure (water treatment plant)

Table 8.2.6.3.3 Low Hazard Evacuation Routes

Criteria	Degree of Flood Hazard			
	Low	Medium	High	Extreme
Wading ability	If necessary children and the elderly could wade. (Generally, safe wading velocity depth product is less than 0.25).	Fit adults can wade. (Generally, safe wading velocity depth product is less than 0.4).	Fit adults would have difficulty wading. (Generally, where wading velocity depth product is less than 0.6.)	Wading is not an option.
Evacuation distances	<200 metres	200-400 metres	400-600 metres	>600 metres
Maximum Flood Depths	<0.3 metres	<0.6 metres	<1.2 metres	>1.2 metres
Maximum Flood Velocity	<0.4 metres per second	<0.8 metres per second	<1.5 metres per second	>1.5 metres per second
Typical means of egress	Sedan	Sedan early, but 4WD or trucks later.	4WD or trucks only in early stages, boats or helicopters	Large trucks, boats or helicopters.

8.2.7 Landslide Hazard and Steep Slope Overlay Code



8.2.7.1 Application

This code applies to development:

1. within the Landslide Hazard and Steep Slope Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Landslide Hazard and Steep Slope Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

Editor's Note: The following reports may be referred to in relation to landslide and slope stability:

- i. *Slope Stability And Its Constraints On Closer Settlement On Tamborine Mountain, Southeast Queensland* by W.F. Willmott May1981 Record 1981/14; and
- ii. *Slope Stability And Its Constraints On Closer Settlement In The Canungra-Beechmont-Numinbah Area, Southeast Queensland* by W.F. Willmott May1981 Record 1983/64

8.2.7.2 Purpose and Overall Outcomes

1. The purpose of the Landslide Hazard and Steep Slope Overlay Code is to ensure development on land containing unstable slopes or steep slopes protects people, property and the environment from landslide hazards.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development does not materially increase the extent or severity of landslide risk on the site or to other properties;
 - b. Development is not located in areas of intolerable landslide risk;
 - c. Where risk cannot be practicably avoided, development is designed, located and managed to ensure the safety of people is maintained and the damage to property is mitigated to an acceptable or tolerable level;
 - d. The potential for erosion or landslide are avoided or effectively mitigated;
 - e. Development does not increase the number of people living and working in an area of high and very high landslide risk, except where the premises are occupied on a short term or intermittent basis;
 - f. The risk of landslides damaging property or endangering persons is minimised;
 - g. Development does not involve the manufacture of hazardous materials in bulk;
 - h. Development avoids involving the establishment or intensification of vulnerable uses within or near areas that are subject to risk of landslide;
 - i. Stormwater runoff and wastewater disposal is effectively managed so as not to increase the risk of landslide;
 - j. Erosion events on slopes exceeding an average gradient of 15.1% are minimised;
 - k. Visual amenity is not adversely affected by development;
 - l. Safe and efficient vehicular and pedestrian access onto steeply sloping land is provided;
 - m. Development supports, and does not unduly burden disaster management response or recovery capacity or capabilities.

- n. Natural processes and the protective function of landforms and/or vegetation are maintained in landslide hazard areas;
- o. Vegetation clearing, filling and/or excavation does not create a landslide risk and/or rectifies potential pre-existing landslide risks.

8.2.7.3 Assessment Benchmarks

Table 8.2.7.3.1 — Landslide Hazard and Steep Slope Overlay Code - for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Steep Slope Area - Slope Hazard 15.1 - 20% or Steep Slope Area - Slope Hazard 20.1 - 25%, and Landslide Hazard - Medium	
<p>PO1 Development siting and access:</p> <ol style="list-style-type: none"> 1. ensures the safety of people on sites containing unstable or steep slopes is maintained; and 2. mitigates the potential damage to property to an acceptable or tolerable level. 	<p>AO1 Development involving building, earthworks, vegetation clearing or an increase in the number of people living and working on a site, is undertaken on land identified as a Steep Slope Area - Slope Hazard 15.1 - 20% or Steep Slope Area - Slope Hazard 20.1 - 25%, and Landslide Hazard - Medium, only where a geotechnical stability assessment report, prepared and certified by a Registered Professional Engineer in Queensland (RPEQ), confirms that the proposed development:</p> <ol style="list-style-type: none"> 1. is designed, located and managed to ensure the safety of people is maintained; 2. is located so that it is geologically stable in the long term and not at risk from landslide; 3. is appropriate for the sloping nature of the site; and 4. that the risk of landslide adversely affecting the subject lot, adjoining properties and the proposed development is at a low level. <p><i>Note - Certification is to consider all relevant matters including but not limited to safety of persons using the site, adjacent land stability impacts, rockfall, development siting and layout, vegetation and vegetation removal, waste disposal areas, stormwater management, earthworks, driveways, car parking and manoeuvring areas.</i></p>

Table 8.2.7.3.2 — Landslide Hazard and Steep Slope Overlay Code - for Assessable Development

Performance Outcomes	Acceptable Outcomes
Landslide Hazard and Steep Slope Constraints (Slope Hazard over 25% and Landslide Hazard Area - High and Very High)	
<p>PO1 Development is not located in areas of intolerable landslide risk.</p>	<p>AO1 Development is not undertaken on land identified as:</p> <ol style="list-style-type: none"> 1. Steep Slope Area - Slope Hazard Over 25%; or 2. Landslide Hazard Area - High and Very High; unless: <ol style="list-style-type: none"> a. a location with less slope and/or less geological instability risk is not available on the site for the development; and b. a geotechnical stability assessment report undertaken by a suitably qualified person certifies that the development: <ol style="list-style-type: none"> i. is designed, located and managed to ensure the safety of people is maintained;

	<ul style="list-style-type: none"> ii. is located so that it is geologically stable in the long term and not at risk from landslide; iii. is appropriate for the sloping nature of the site; and iv. that the risk of landslide adversely affecting the subject lot, adjoining properties and the proposed development is at a low level; v. can manage the evacuation of people if involving institutional uses. <p><i>Note - A geotechnical stability assessment report, prepared and certified by an RPEQ, is to consider all relevant matters including but not limited to safety of persons using the site, adjacent land stability impacts, rockfall, development siting and layout, vegetation and vegetation removal, waste disposal areas, stormwater management, earthworks, driveways, car parking and manoeuvring areas.</i></p>
Specific Land Uses	
<p>PO2 Development involving vulnerable uses:</p> <ul style="list-style-type: none"> 1. is only established or expanded in areas of low or no risk; and 2. is not likely to burden disaster management response or recovery capacity and capabilities by having: <ul style="list-style-type: none"> a. an increased number of people calculated to being at risk from land instability or landslide; b. increase the number of people likely to need evacuation; and c. impact on the ability of traffic to use evacuation routes, or unreasonably increase traffic volumes on evacuation routes in higher risk areas. 	<p>AO2 A vulnerable use is not established or expanded in areas designated:</p> <ul style="list-style-type: none"> 1. Landslide Hazard Area - High; or 2. Landslide Hazard Area - Very High; or 3. Steep Slope Area — Slope Hazard Over 25%.
<p>PO3 The manufacture or storage of hazardous material in bulk is not located on land, or in the immediate surrounds of land, with a slope in excess of 15%, or in a Landslide Hazard Area.</p>	<p>AO3 No acceptable outcome prescribed.</p>
<p>PO4 Development involving infrastructure activities includes measures identified by a site-specific geotechnical stability assessment report prepared by a suitably qualified person that ensures:</p> <ul style="list-style-type: none"> 1. infrastructure activities are able to function effectively during and immediately after landslide events; 2. the long term stability of the site including associated buildings and infrastructure; 3. access to the site will not be impeded by a landslide event; and 4. the infrastructure activities will not be adversely affected by landslides originating from other land including land above the site. 	<p>AO4 No acceptable outcome prescribed.</p>
Built Form	
<p>PO5</p>	<p>AO5.1</p>

Development in Steep Slope Areas and Landslide Hazard Areas incorporates measures to minimise landslide risk level for the development site and for areas immediately surrounding the development site without significantly altering the characteristics of the land.	Development located in a Steep Slope Area is located on the least steep part of the subject site.
	AO5.2 Existing vegetation is retained on land with a slope of 15% or greater.
	AO5.3 Development creates minimal disturbance to the natural ground levels.
Stormwater Drainage	
PO6 Development ensures that stormwater runoff does not: 1. increase the susceptibility of the site to landslide; and 2. does not cause detriment to the natural environment or to any other lots.	AO6 Stormwater drainage (including roof guttering and rainwater tank overflows) is managed to avoid an increase in on-site groundwater, ponding of water and water concentration into slopes and discharges to a lawful point of discharge.
Wastewater	
PO7 Wastewater disposal does not create or increase the likelihood of instability of the site or neighbouring sites.	AO7 Development ensures that: 1. where sewerage reticulation is available, wastewater is disposed of via a connection to sewerage reticulation; or 2. where sewerage reticulation is not available on site: a. subsurface disposal of effluent is not used; and b. effluent disposal areas are located in areas so as not to cause potential instability on site or on a neighbouring site. <i>Note - Certification is to be provided by a RPEQ, confirming that the location of the effluent disposal areas is appropriate for the sloping nature of the site.</i>
Vehicle and Pedestrian Access	
PO8 Development provides that vehicle and pedestrian access is designed and located to address slope stability issues and control of erosion.	AO8.1 Development is positioned on a site so that: 1. vehicle and pedestrian access avoids areas identified as: a. Steep Slope Area - Slope Hazard over 25%; and b. Landslide Hazard Areas; and 2. the amount and depth of any excavation required to construct internal vehicle and pedestrian access is minimised.
	AO8.2 Paths, driveways and roads: 1. are designed to: a. follow natural contours and have the minimum length necessary; b. minimise the number of crossings of water courses and drainage lines; and c. allow for traffic to enter and leave the site in a forward gear; and 2. be sealed with asphalt, concrete or another type of hardstand where traversing a slope greater than 10%; and 3. do not traverse land with a slope exceeding 25%.

Operational Works	
<p>PO9 Operational works (not associated with building work), is minimised and must not;</p> <ol style="list-style-type: none"> 1. adversely affect slope stability; or 2. cause geological instability; 3. create erosion potential; or 4. create a potential risk to structures or personal safety. 	<p>AO9.1 Development involving operational works is supported by a RPEQ certified geotechnical report, which:</p> <ol style="list-style-type: none"> 1. adequately addresses and documents the site's geotechnical stability and constraints; 2. incorporates necessary mitigation measures so that the level of landslide risk to property and persons is low; 3. ensures surface waters are managed and will not cause erosion both during the works being undertaken, and in an ongoing basis.
	<p>AO9.2 Development creates minimal disturbance to the natural ground levels.</p>
Vegetation	
<p>PO10 To minimise the risk of landslide, land instability, degradation of slopes, erosion or scouring, development:</p> <ol style="list-style-type: none"> 1. creates minimal disturbance to existing vegetation significant to the stabilisation of the land; and 2. revegetates areas to increase the stabilisation of the land. 	<p>AO10 Development:</p> <ol style="list-style-type: none"> 1. retains vegetation in slopes, gullies, existing and potential landslip areas; and 2. revegetates slopes, gullies, existing and potential landslip areas with: <ol style="list-style-type: none"> a. grasses; b. dense landscaping; or c. a combination of a. and b. <p><i>Note - Vegetation management is to be considered by a RPEQ in a Geotechnical Stability Assessment Report.</i></p>
<p>PO11 Development for community services activities:</p> <ol style="list-style-type: none"> a. is not at risk from landslide hazards; or will function without impediment from a landslide; b. provides access to the infrastructure without impediment from the effects of a landslide c. does not contribute to elevated risk of landslide to adjoining properties. 	<p>AO11 Development involving community services activities includes measures identified by a site-specific geotechnical assessment prepared by a competent person that ensures:</p> <ol style="list-style-type: none"> a. the long-term stability of the site including associated building and infrastructure b. access to the site will not be impeded by a landslide event, and c. the community infrastructure will not be adversely affected by landslides originating from other land, including land above the site.
Reconfiguring a Lot	
<p>PO12 Development involving reconfiguration of a lot:</p> <ol style="list-style-type: none"> 1. has a low level of landslide risk; 2. does not increase the landslide hazard risk for adjoining and nearby sites; and 3. does not result in an increase in the number of people living, congregating or working on land in high risk areas. 	<p>AO12.1 Additional lots are not created in:</p> <ol style="list-style-type: none"> 1. Landslide Hazard Area - High; or 2. Landslide Hazard Area - Very High; or 3. Steep Slope Area — Slope Hazard Over 25%.
	<p>AO12.2 Development does not involve reconfiguring a lot for a vulnerable use.</p>
	<p>AO12.3 Retaining walls have a maximum height of 1.5 metres.</p>
	<p>AO12.4 Development involves minimal disturbance to the natural</p>

<p>PO13 Reconfigured lots provide building envelopes that:</p> <ol style="list-style-type: none"> 1. are large enough to at least accommodate a dwelling house, outdoor recreation area, water supply/storage, and on site wastewater treatment system (where not connected to the reticulated network); 2. are geologically stable in the long term and does not increase the rock fall or landslide risk for adjoining and nearby sites; and 3. do not impose unreasonable building constraints for future uses; 4. would not result in the removal of vegetation important to ground stability; and 5. achieves a safe and efficient access by vehicles and pedestrians to a formed legal road access. 	ground levels.
	<p>AO13.1 Reconfigured lots intended to accommodate a future dwelling house provides a building envelope:</p> <ol style="list-style-type: none"> 1. with a minimum area of 1,000m²; 2. with a minimum dimension of 18 metres; 3. on land with a slope less than 15.1%; 4. is demonstrated to have a low level of landslide risk; and 5. provides any benching or retaining walls at a maximum height of 1.5 metres.
	<p>AO13.2 Reconfigured lots intended to accommodate uses other than a dwelling house provides a building envelope:</p> <ol style="list-style-type: none"> 1. with a minimum area of 1,000m²; 2. with a minimum dimension of 18 metres; 3. on land with a slope less than 15.1%; 4. that has an area large enough to facilitate the proposed use, car parking, water supply/storage and on site wastewater treatment system (where not connected to the reticulated network); 5. is demonstrated to have a low level of landslide risk; and 6. provides any benching or retaining walls at a maximum height of 1.5 metres.
	<p>AO13.3 The building envelope is connected to a constructed public road by a driveway or road that:</p> <ol style="list-style-type: none"> 1. is designed to: <ol style="list-style-type: none"> a. follow natural contours and have the minimum length necessary; and b. minimise the number of crossings of water courses and drainage lines; and 2. be sealed with asphalt, concrete or another type of hardstand where traversing a slope greater than 10%; and 3. does not traverse land with a slope exceeding 25%.
<p>AO13.4 The building envelope is located in an area that:</p> <ol style="list-style-type: none"> 1. does not require the removal of vegetation; or 2. is located in an area with a slope less than 15.1% slope. 	

8.2.8 Local Heritage Overlay Code



8.2.8.1 Application

This code applies to development:

1. within the Local Heritage Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Local Heritage Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

Note - The **Local Heritage Overlay Map OM-08** identifies places that are included on the Scenic Rim Local Heritage Register, which was prepared in accordance with the Queensland Heritage Act 1992.

Note - The provisions of the Queensland Heritage Regulation 2003, including the Code for IDAS in Schedule 2, also apply to development on places listed in the Scenic Rim Local Heritage Register.

8.2.8.2 Purpose and Overall Outcomes

1. The purpose of the Local Heritage Overlay Code is to ensure that development of Local Heritage Places conserves the local heritage significance of that place for the benefit of the community and future generations.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development affecting a place of local cultural heritage significance is compatible with the heritage significance of the place by:
 - i. retaining the heritage place, unless there is no prudent and feasible alternative to its demolition or removal;
 - ii. adaptive reuse occurs where appropriate and where impacts can be managed to an acceptable level;
 - iii. ensuring the development is informed and influenced by the cultural heritage significance of the Local Heritage Place;

- iv. ensuring the Local Heritage Place is used in a way appropriate to its cultural heritage significance the development increases the community's appreciation of the heritage values of the Local Heritage Place.

Note - In considering where there is no prudent or feasible alternative to the demolition or removal of a Local Heritage Place, consideration will be given to:

1. safety, health and economic considerations; and
2. any other matters that Council considers relevant.

Editor's Note - A copy of the **Burra Charter: The Australian International Council on Monuments and Sites (ICOMOS) Charter for Places of Cultural Significance** can be obtained via the following link - <http://australia.icomos.org/publications/charters>

8.2.8.3 Assessment Benchmarks

Table 8.2.8.3.1 —Local Heritage Overlay Code - for Assessable Development

Performance Outcomes	Acceptable Outcomes
Material Change of Use	
PO1 Development is compatible with the conservation and management of the cultural heritage significance of the Local Heritage Place.	AO1 Development is undertaken in accordance with The Burra Charter: The Australian International Council on Monuments and Sites (ICOMOS) Charter for Places of Cultural Significance.
Reconfiguring a Lot	
PO2 Reconfiguration does not: <ol style="list-style-type: none"> 1. reduce public access to the place; or 2. obscure or destroy any pattern of historic subdivisions, the landscape settings or the scale and consistency of urban precincts relating to the place; or 3. result in a Local Heritage Place being severed or obscured from public view. 	AO2 Development is undertaken in accordance with The Burra Charter: The Australian International Council on Monuments and Sites (ICOMOS) Charter for Places of Cultural Significance.
Carrying Out Building Work or Operational Work	
PO3 Development conserves and is subservient to the features and values of the Local Heritage Place that contribute to its cultural heritage significance.	AO3.1 Development does not alter, remove, or conceal significant features of the place.
	AO3.2 Development is minor and necessary to maintain a significant use for the place.
PO4 Changes to the Local Heritage Places are appropriately managed and documented.	AO4.1 Development is compatible with a conservation management plan prepared in accordance with The Burra Charter: The Australian International Council on Monuments and Sites (ICOMOS) Charter for Places of Cultural Significance.
	AO4.2 Where the development involves the removal or alteration of significant features of the place, an archival quality photographic record is made in accordance with the standards outlined in the Archival Recording of Heritage Registered Places guideline, Department of Environment and Heritage Protection (EHP), 2013.

PO5 Development does not adversely affect the character, setting or appearance of the Local Heritage Place.	AO5.1 The scale, location and design of the development are compatible with the character, setting and appearance of the Local Heritage Place.
	AO5.2 The development is unobtrusive and cannot readily be seen from surrounding streets or other public places.
PO6 Excavation or other earthworks do not have a detrimental impact on archaeological sites.	AO6.1 The impact of excavation is minor and limited to parts of the Local Heritage Places that have been disturbed by previous excavation.
	AO6.2 An archaeological investigation is carried out for development involving a high level of surface or subsurface disturbance.

8.2.9 Regional Infrastructure Overlay Code



8.2.9.1 Application

This code applies to development:

1. within the Regional Infrastructure Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Regional Infrastructure Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

8.2.9.2 Purpose and Overall Outcomes

1. The purpose of the Regional Infrastructure Overlay Code is to ensure that development is compatible with, and does not adversely affect the viability, operation and maintenance of the following existing and planned Regional Infrastructure:
 - a. Bulk Water Supply Infrastructure;
 - b. Wastewater Treatment Plants;
 - c. Major electricity infrastructure;
 - d. Future Roads; and
 - e. Rail Network.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development located on land identified on the **Regional Infrastructure Overlay Map - Water and Wastewater Infrastructure OM-09-A** and **Regional Infrastructure Overlay Map - Electricity, Roads and Rail Infrastructure OM-09-B** is located, designed, constructed and operated to:
 - i. avoid compromising the efficiency, integrity, operation and maintenance of existing and planned Regional Infrastructure;
 - ii. protect the amenity, health and safety of people and property; and
 - iii. identify, protect and manage key infrastructure sites and corridors.

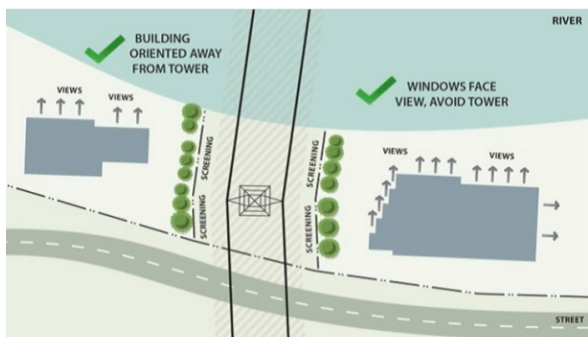
Editor's note - Bulk Water Supply Infrastructure is defined within the State Planning Policy. The following Bulk Water Supply Infrastructure is the infrastructure applicable in the Scenic Rim Planning Scheme area;

- pump station facilities and reservoir facilities;
- water treatment plants and water quality facilities;
- pipelines and channels; and
- bulk water storage infrastructure.

Editor's note - Road Investigation Corridors are for the preservation of road corridors which may be required at some stage in the future to support road network efficiency. The identification of these corridors does not commit the local government nor State government to deliver the roads within a specific timeframe. They do not represent State Government planned or funded infrastructure projects.

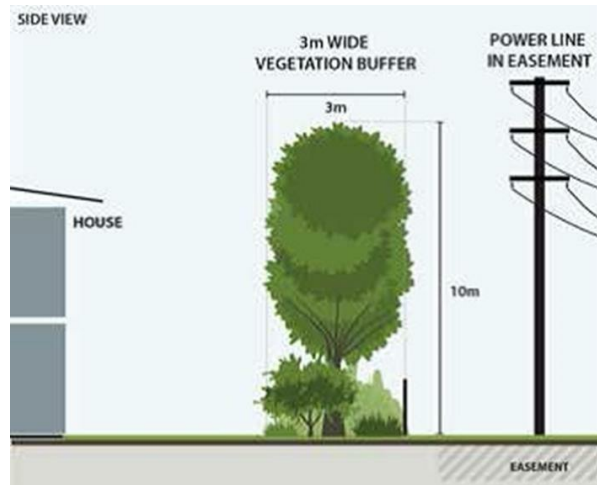
8.2.9.3 Assessment Benchmarks

Table 8.2.9.3.1 — Regional Infrastructure Overlay Code - for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Major Electricity Infrastructure	
<p>PO1 Development in a Major electricity infrastructure Buffer Area does not increase:</p> <ol style="list-style-type: none"> 1. risk to community health or safety; or 2. risk to the operation and reliability of Major electricity infrastructure. <p><i>Editor's note - Applicants should contact the relevant electrical provider for further information regarding setbacks for buildings and structures in and near an easement.</i></p>	<p>AO1.1 Development being a sensitive land use (excluding class 10 buildings) maintains the following separation distances:</p> <ol style="list-style-type: none"> 1. 20m either side of the centre line for 110kV Transmission Lines; 2. 10m either side of the centre line for 33kV Transmission Lines; or 3. 10m from the shared boundary of an Electricity Substation property. <p>AO1.2 Development is not located within a transmission line easement.</p> <p>AO1.3 Development other than a sensitive land use maintains a setback of at least 10m from any lot containing an Electricity Substation.</p>
<p>PO2 Residential buildings, other than where they are separated from the infrastructure by a road, are oriented to avoid direct overlooking of Major electricity infrastructure.</p>	<p>AO2.1 Windows and balconies of residential buildings do not face easements and infrastructure sites.</p> <p><i>Editor's note - the figure below provides an illustration of buildings oriented away from infrastructure</i></p>  <p>AO2.2 Views from residential buildings to infrastructure are screened by devices attached to the building.</p>
<p>PO3 Landscaping is provided within sites adjoining Major electricity infrastructure which substantively assists in screening and softening of the Major electricity infrastructure.</p>	<p>AO3.1 A minimum 3m wide densely planted landscaping buffer is provided along the boundary adjoining Major electricity infrastructure (excluding Electricity Substation), including provision for advanced trees and shrubs that will grow to a minimum height of 10m.</p> <p><i>Editor's Note - Applicants may find guidance in Powerlink's "Screening your home from powerlines - a guide to planting trees and shrubs outside of easements to screen powerlines".</i></p> <p>AO3.2 A minimum 2m wide densely planted landscaping buffer is provided along the boundary adjoining an Electricity</p>

Substation, including provision for advanced trees and shrubs that will grow to a height which blocks direct views from habitable rooms to an Electricity Substation.

Editor's note - The figures below provide an example but are not drawn to scale. Applicants may find guidance in Powerlink's "Screening your home from powerlines—a guide to planting trees and shrubs outside of easements to screen powerlines". Applicants should also note that vegetation will need to maintain statutory clearances (for further guidance, refer to Ergon's Standard for Vegetation Management and Standard for Vegetation Clearance Profile)



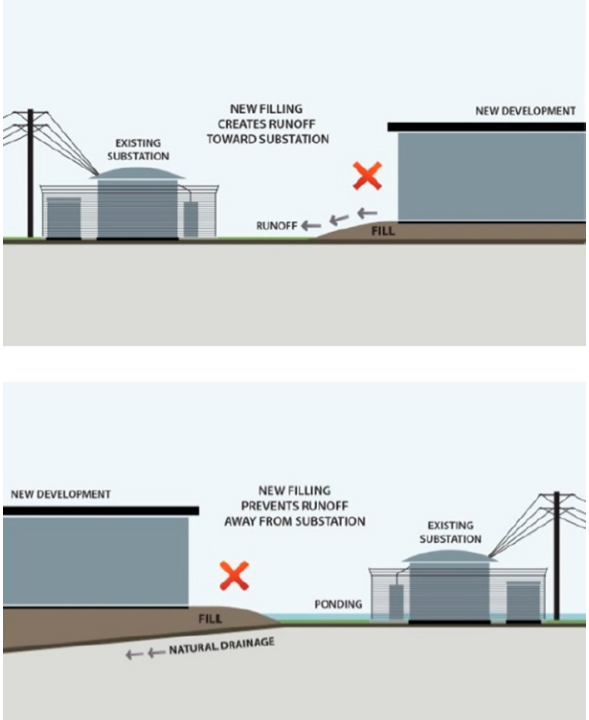
PO4
 Development is located and designed to maintain access to Major electricity infrastructure.

AO4
 Development does not limit or interfere with access on existing or proposed Major electricity infrastructure easements with:

1. landscaping;
2. fencing;
3. storage of equipment or materials;
4. construction of buildings; or
5. earthworks which alter levels along the boundaries of or within easements by more than 100mm; and
6. earthworks which cause a worsening of inundation or retention of water.

Wastewater Treatment Plants and Bulk Water Supply Infrastructure	
<p>PO5 Development in a Bulk Water Supply Buffer Area or Wastewater Treatment Plant Buffer Area:</p> <ol style="list-style-type: none"> 1. does not increase risk to community health or safety; 2. does not increase risk to the operation and reliability of Bulk Water Supply Infrastructure and Wastewater Treatment Plants; and 3. is separated from Bulk Water Supply Infrastructure to protect the integrity and safety of the infrastructure. 	<p>AO5.1 Development being a sensitive land use is not located or intensified within a Bulk Water Supply Buffer Area.</p>
	<p>AO5.2 Development, other than a sensitive land use, does not occur within:</p> <ol style="list-style-type: none"> 1. 20m of Pipelines and Channels; and 2. 50m of a: <ol style="list-style-type: none"> a. Pump Station Facility; b. Bulk Water Storage Infrastructure; or c. Bulk Water Facility.
	<p>AO5.3 Development including a major hazard facility, Extractive industry or any use involving explosive blasting does not occur within:</p> <ol style="list-style-type: none"> 1. 50m of a Pipelines and Channels; and 2. 100m of a: <ol style="list-style-type: none"> a. Pump Station Facility; b. Bulk Water Storage Infrastructure; or c. Bulk Water Facility.
	<p>AO5.4 Development is not located or intensified within a Wastewater Treatment Plant Buffer Area.</p>
Future Roads and Rail Network	
<p>PO6 Road Investigation Corridors and the Rail Network are:</p> <ol style="list-style-type: none"> 1. protected from development to facilitate the ongoing operation and maintenance of existing major road and rail infrastructure; 2. protected from development that may adversely affect the safety and efficiency of the infrastructure, corridors and networks; and 3. protected from development to facilitate the construction and operation of future major road and rail infrastructure. 	<p>AO6 No buildings or permanent structures (excluding fencing) are located or constructed within:</p> <ol style="list-style-type: none"> 1. a Road Investigation Corridor; or 2. a Rail Buffer Area.
<p>PO7 Sensitive land uses are not significantly impacted by environmental emissions generated by (existing or future) major road or rail infrastructure.</p> <p><i>Editor's note - Environmental emissions include noise, air, vibration and light emissions.</i></p>	<p>AO7 Sensitive land uses are not located within a Rail Buffer Area or Road Investigation Corridor.</p>
<p>PO8 Ensure development does not undermine the structural integrity of the Existing Rail Network.</p>	<p>AO8 Development (excluding fences) is set back at least 25m from any boundary or easement of an Existing Rail Network.</p>
<p>PO9 Development involving the handling, use or storage of hazardous and dangerous goods is not located adjacent to:</p> <ol style="list-style-type: none"> 1. Road Investigation Corridor; or 2. Existing Rail Network; or 3. Future rail network. 	<p>AO9 Development involving the handling, use or storage of hazardous and dangerous goods is located at least 100m from a:</p> <ol style="list-style-type: none"> 1. Road Investigation Corridor; or 2. Existing Rail Network; or 3. Future Rail Network.

Table 8.2.9.3.2 — Regional Infrastructure Overlay Code - for Assessable Development

Performance Outcomes	Acceptable Outcomes
Major Electricity Infrastructure	
<p>PO1 Major electricity infrastructure on private land is protected by an easement in favour of the service provider.</p>	<p>AO1 No Acceptable Outcome is prescribed.</p>
<p>PO2 Development does not compromise or adversely impact upon the efficiency and integrity of Major electricity infrastructure networks.</p>	<p>AO2 No Acceptable Outcome is prescribed.</p>
<p>PO3 Earthworks do not restrict access to Major electricity infrastructure.</p>	<p>AO3 For Operational Works only Earthworks: 1. do not alter levels along the boundaries of or within existing or proposed Major electricity infrastructure easements by more than 100mm; and 2. do not cause the worsening of inundation to Major electricity infrastructure.</p>
<p>PO4 There is no worsening of flooding, drainage or erosion conditions affecting the Major electricity infrastructure.</p> <p><i>Editor's note - The figures below illustrate the concept.</i></p> 	<p>AO4 No Acceptable Outcome is prescribed.</p>
<p>PO5 Development maintains a safe clearance from all powerlines.</p>	<p>AO5 For Operational Works only Development maintains the clearances required under Schedules 4 and 5 of the Electrical Safety Regulations 2013.</p>

PO6

Any earthworks are undertaken in a way which:

1. ensures stability of the land on or adjoining Major electricity infrastructure;
2. does not otherwise impact on the safety and reliability of the Major electricity infrastructure; and
3. does not restrict the placement or use of the Major electricity infrastructure provider's equipment.

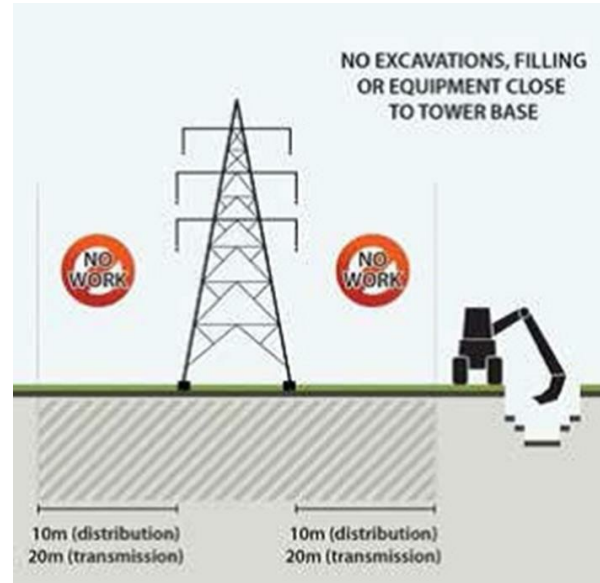
AO6.1

For Operational Works only

No earthworks are undertaken:

1. within 20m either side of the centre line of 110kV Transmission Line; or
2. within 10m either side of the centre line of 33kV Transmission Line; or
3. 10m from the shared boundary of an Electricity Substation property.

Editor's note - The figures below illustrate the concept.



AO6.2

For Operational Works only

No earthworks are undertaken, or other loading or displacement of earth caused, within the easement of an underground power line.

PO7

Other services and infrastructure works (which may include stormwater, sewerage or water) do not impact

AO7.1

For Operational Works only

Underground services are not located within:

on the safety and reliability of Major electricity infrastructure.

1. 20m of a tower, pole or stay for a 110kV Transmission Line;
2. 10m of a tower, pole or stay for a 33kV Transmission Line;
3. a vacant Major electricity infrastructure easement; or
4. 10m of an Electricity Substation property boundary.

A07.2

For Operational Works only

No valve pits occur within:

1. 60m of a tower, pole or stay for a 110kV Transmission Line; or
2. 10m of a tower, pole or stay for a 33kV Transmission Line.

A07.3

For Operational Works only

Underground services traversing an easement, cross at angles between 60 and 90 degrees to the overhead or underground lines.

A07.4

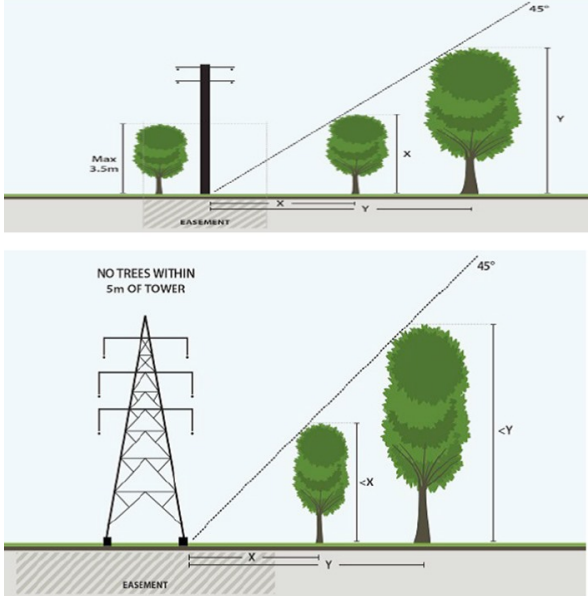
For Operational Works only

Trenches for services are backfilled to be compacted in 150 mm layers to at least 95% modified dry density compaction ratio.

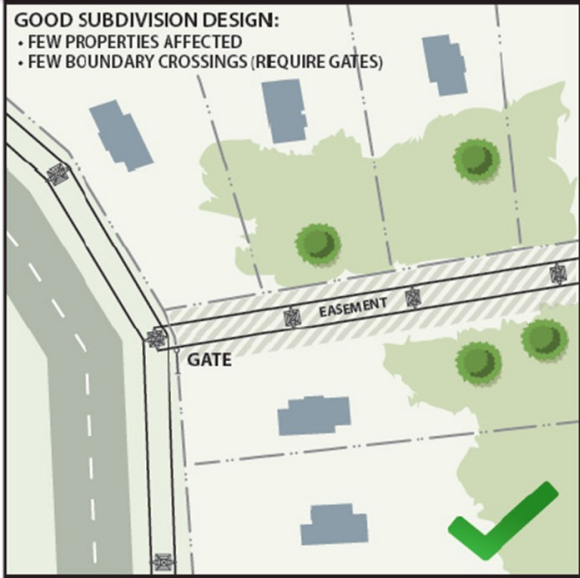

A07.5

For Operational Works only

Trenches under construction are not left open overnight.

<p>PO8 Vegetation does not pose a risk to the safety or reliability of Major electricity infrastructure.</p>	<p>AO8.1 For Operational Works only Where vegetation is planted near or under an overhead power line (whether located in an easement or otherwise) it must be planted:</p> <ol style="list-style-type: none"> 1. at least 5m either side of the area directly below the conductors where not within the area of influence of a power line; and 2. where within 20m of a power line structure, pole or stay, has a mature height of not more than 3.5m. <p>AO8.2 For Operational Works only Vegetation planted within an underground powerline easement has a mature root system less than 150 mm in depth and is not located within 1 metre of the area directly above the powerline.</p> <p>AO8.3 For Operational Works only Vegetation adjoining easements complies with the clearance dimensions illustrated in the figures below.</p>  <p>AO8.4 For Operational Works only Planting complies with (as relevant to the infrastructure concerned) either:</p> <ol style="list-style-type: none"> 1. Energex's Safe Tree Guidelines; 2. Ergon's Plant Smart brochures; or 3. Powerlink's Screening Your Home from Powerlines information sheet
<p>PO9 Lot reconfiguration integrates Major electricity infrastructure within the overall neighbourhood layout. In particular, the neighbourhood design:</p> <ol style="list-style-type: none"> 1. ensures land of sufficient size and suitability is located to accommodate the existing and future major infrastructure network; 2. minimises the likely visual prominence of major infrastructure; and 	<p>AO9 For Reconfiguring a Lot only No Acceptable Outcome is prescribed.</p>

<p>3. provides for an interface or relationship with surrounding land uses that minimises the potential for nuisance (including noise and odour), health and safety concerns.</p>	
<p>PO10 Reconfiguration does not intensify development within an easement for Major electricity infrastructure in a way that would impede access to the infrastructure by a responsible entity.</p>	<p>AO10 For Reconfiguring a Lot only The number of lots within an easement is not increased.</p> <p><i>Editor's note - The images below provide examples of subdivision design near an easement.</i></p>

	 <p>GOOD SUBDIVISION DESIGN:</p> <ul style="list-style-type: none"> • FEW PROPERTIES AFFECTED • FEW BOUNDARY CROSSINGS (REQUIRE GATES)  <p>POOR SUBDIVISION DESIGN:</p> <ul style="list-style-type: none"> • MANY PROPERTIES AFFECTED • MANY BOUNDARY CROSSINGS AND GATES
<p>PO11 Where the reconfiguration involves a Major electricity infrastructure corridor, the corridor is incorporated within a useable public open space network wherever possible.</p>	<p>AO11 For Reconfiguring a Lot only No Acceptable Outcome is prescribed.</p>
<p>PO12 Where Major electricity infrastructure is located within public open space, the dimensions and characteristics of the open space area are sufficient to accommodate the electricity easement on site, in combination with compatible recreational facilities and landscaping, which ensure:</p>	<p>AO12 For Reconfiguring a Lot only No Acceptable Outcome is prescribed.</p> <p><i>Editor's note - The figures below provide examples of a well-integrated transmission corridor.</i></p>

1. it has an open and expansive character, with landscaping design which assists in breaking up the linear and vertical dominance of the infrastructure;
2. landscaping is located outside the easement area and substantively screens and softens the appearance of poles, towers or other structures;
3. recreational facilities and landscaping are compatible with the electricity infrastructure, having regard to safety, height, the conductivity of materials and access to the electricity infrastructure by the electricity provider; and
4. the design is such that the function of the open space for recreation purposes is maintained.



Wastewater Treatment Plants and Bulk Water Supply Infrastructure

PO13

Development in a Bulk Water Supply Buffer Area or Wastewater Treatment Plant Buffer Area:

1. does not increase risk to community health or safety;
2. does not increase risk to the operation and reliability of Bulk Water Supply Infrastructure and Wastewater Treatment Plants; and
3. is separated from Bulk Water Supply Infrastructure to protect the integrity and safety of the infrastructure.

AO13

For Reconfiguring a Lot only

Reconfiguring a lot within a Bulk Water Supply Buffer Area or Wastewater Treatment Plant Buffer Area:

1. does not result in the creation of additional lots used or capable of being used for sensitive land uses; and
2. where realigning boundaries, does not worsen the existing situation with respect to the distance between sensitive land uses and the Bulk Water Supply Infrastructure and Wastewater Treatment Plant.

PO14

Development:

1. is screened from Bulk Water Supply Infrastructure and Wastewater Treatment Plant; and
2. ensures that the location and type of planting does not have an adverse effect on Bulk Water Supply Infrastructure or Wastewater Treatment Plant infrastructure (including any associated buildings)

AO14.1

A minimum 3m wide screen landscaping buffer is provided between development and the Bulk Water Supply Infrastructure or Wastewater Treatment Plant.

AO14.2

Planting is not undertaken within an easement.

AO14.3

Plant species will not damage Bulk Water Supply Infrastructure or Wastewater Treatment Plant infrastructure (including any associated buildings).

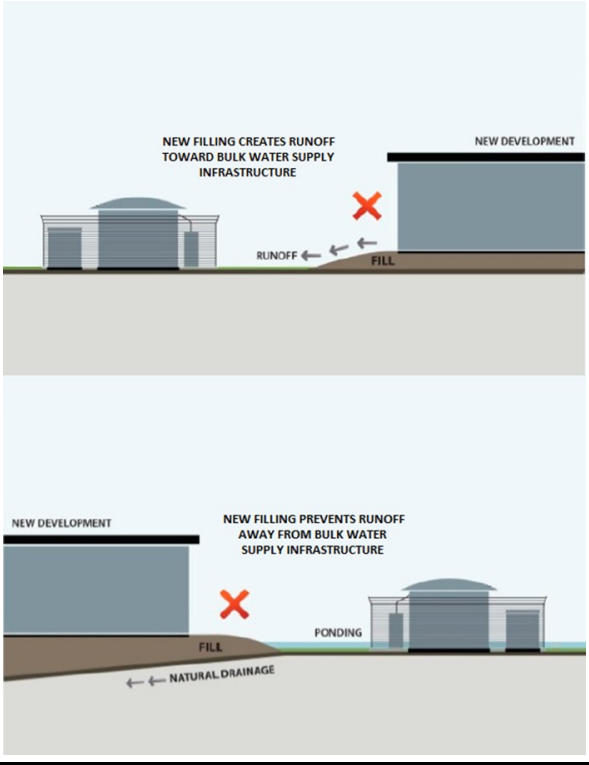
PO15

Bulk Water Supply Infrastructure and Wastewater Treatment Plant infrastructure on private land is protected by an easement in favour of the service

AO15

Existing Bulk Water Supply Infrastructure and Wastewater Treatment Plant easements are maintained and where none currently exist, new easements are


<p>provider.</p>	<p>created which are sufficient for the provider's requirements.</p>
<p>PO16 Development is located and designed to maintain access to Bulk Water Supply Infrastructure and Wastewater Treatment Plant infrastructure.</p>	<p>AO16 Development does not limit access to Bulk Water Supply Infrastructure or Wastewater Treatment Plant infrastructure with:</p> <ol style="list-style-type: none"> 1. landscaping along boundaries of, or traversing existing or proposed infrastructure easements; 2. fences constructed along the boundaries of, or traversing existing or proposed infrastructure easements; 3. storage of equipment or materials within or along the boundaries of existing or proposed infrastructure easements; 4. construction of buildings within or along the boundaries of existing or proposed infrastructure easements; or 5. earthworks which alter levels along the boundaries of or within easements by more than 100mm and do not cause any worsening of inundation to existing infrastructure.
<p>PO17 There is no worsening of flooding, drainage or erosion conditions affecting the Bulk Water Supply Infrastructure or Wastewater Treatment Plants.</p> <p><i>Editor's note - The figures below illustrate the concept.</i></p>	<p>AO17 For Operational Works only No acceptable outcome is nominated.</p>

	
<p>PO18 Any earthworks undertaken adjoining Bulk Water Supply Infrastructure or Wastewater Treatment Plant ensures no adverse impacts the infrastructure.</p>	<p>AO18.1 For Operational Works only Excavation and filling activities are undertaken in a manner to minimise erosion and sediment movement.</p> <p>AO18.2 For Operational Works only There is no worsening of flooding drainage or erosion conditions affecting the Bulk Water Supply Infrastructure or Wastewater Treatment Plant.</p> <p>AO18.3 For Operational Works only No permanent barrier is to be constructed that:</p> <ol style="list-style-type: none"> 1. limits access to Bulk Water Supply Infrastructure or Wastewater Treatment Plant; or 2. prevents legal access from a public place for the purpose of maintenance.
<p>PO19 Lot reconfiguration integrates Bulk Water Supply Infrastructure or Wastewater Treatment Plant within the overall neighbourhood layout. In particular, the neighbourhood design:</p> <ol style="list-style-type: none"> 1. ensures land of sufficient size and suitability is located to accommodate the existing and future major infrastructure network; 2. minimises the likely visual prominence of major infrastructure; and 3. provides for an interface or relationship with surrounding land uses that minimises the potential for nuisance (including noise and odour), health and safety concerns. 	<p>AO19 For Reconfiguring a Lot only No Acceptable Outcome is prescribed.</p>
<p>PO20 Reconfiguration does not intensify development within</p>	<p>AO20 For Reconfiguring a Lot only</p>

an easement for Bulk Water Supply Infrastructure or Wastewater Treatment Plant in a way that would impede access to the infrastructure by a responsible entity.

The number of lots within an easement is not increased.

Editor's note: - *The images below provide examples of subdivision design near an easement.*

	 <p>GOOD SUBDIVISION DESIGN: • FEW PROPERTIES AFFECTED • FEW BOUNDARY CROSSINGS (REQUIRE GATES)</p> <p>POOR SUBDIVISION DESIGN: • MANY PROPERTIES AFFECTED • MANY BOUNDARY CROSSINGS AND GATES</p>
<p>PO21 Where the reconfiguration involves additional lots encroaching Bulk Water Supply Infrastructure or Wastewater Treatment Plant, development ensures there are no adverse impacts on the infrastructure.</p>	<p>AO21.1 For Reconfiguring a Lot only Development: 1. does not limit access to Bulk Water Supply Infrastructure or Wastewater Treatment Plant infrastructure; and 2. maintains legal access from a public place for the purpose of maintenance.</p> <p>AO21.2 For Reconfiguring a Lot only Stormwater management does not cause an adverse impact on drinking water quality.</p>
<p>Future Roads and Rail Network</p>	
<p>PO22 Road Investigation Corridors and the Rail Network are: 1. protected from development to facilitate the ongoing</p>	<p>AO22.1 For Reconfiguring a Lot only No additional lots are created within a Rail Buffer Area.</p>

<p>operation and maintenance of existing major road and rail infrastructure;</p> <ol style="list-style-type: none"> 2. protected from development that may adversely affect the safety and efficiency of the infrastructure, corridors and networks; and 3. protected from development to facilitate the construction and operation of future major road and rail infrastructure. 	<p>AO22.2 No buildings or permanent structures (excluding fencing) are located or constructed within:</p> <ol style="list-style-type: none"> 1. a Road Investigation Corridor; or 2. a Rail Buffer Area.
	<p>AO22.3 For Reconfiguring a Lot only Where a site contains a Road Investigation Corridor, the subdivision layout dedicates a road corridor wide enough to facilitate a sub-arterial or arterial road along the corridor.</p>
	<p>AO22.4 For Reconfiguring a Lot only Where involving realigning boundaries, development does not result in additional lots within a Rail Buffer Area.</p>
<p>PO23 Development in a Rail Buffer Area does not increase risk to:</p> <ol style="list-style-type: none"> 1. community health or safety; and 2. the operation and maintenance of the existing or future rail network. 	<p>AO23.1 No Acceptable Outcome is prescribed.</p>

8.2.10 Water Resource Catchments Overlay Code



8.2.10.1 Application

This code applies to development:

1. within the Water Resource Catchments Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Water Resource Catchments Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

8.2.10.2 Purpose and Overall Outcomes

1. The purpose of the Water Resource Catchments Overlay Code is to:
 - a. protect the quality of water that is used for human consumption and urban purposes within the Water Supply Buffer Area and Water Resource Catchment Area as shown in the **Water Resource Catchments Overlay Map - Catchment Area OM-10-A** and **Water Resource Catchments Overlay Map - Streams and Dams OM-10-B**; and
 - b. ensure development is appropriately sited, designed and managed to maintain or improve water quality, flow regimes, environmental values and the physical integrity of natural processes to protect drinking water supply.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development:
 - i. maintains or improves the quality of surface water and groundwater entering Urban Water Supply Storage areas;
 - ii. does not increase the peak discharges or run-off volumes with the quantity of surface water generated from development;
 - iii. does not compromise the drinking water supply environmental values identified in the Environmental Protection Policy (Water) 2009; and
 - iv. protects the physical integrity of waterways, wetlands, lakes, springs, riparian areas and natural ecosystems that contribute to maintaining healthy functioning catchments.

8.2.10.3 Assessment Benchmarks

Table 8.2.10.3.1 — Water Resource Catchments Overlay Code - for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Wastewater and Sewage	
PO1 Development requiring sewage-treatment facilities and disposal areas protects water quality entering waterways and Urban Water Supply Storage areas by maintaining an adequate separation distance from waterways.	AO1.1 Development does not generate wastewater. OR

<p>Editor's note: refer to Water Resource Catchments Overlay Map - Streams and Dams OM-10-B for the location of waterways and Urban Water Supply Storage areas and refer to Flood Hazard Overlay Map - Hazard Area OM-06-A for an indication of areas with potential flood inundation.</p>	<p>AO1.2 Development is connected to reticulated sewer and does not involve an on-site sewerage treatment facility.</p> <p>OR</p> <p>AO1.3 Development involves (or will involve in the case of reconfiguring a lot) a sewage-treatment facility and disposal area that complies with the following:</p> <ol style="list-style-type: none"> 1. where involving a <i>Low density residential activity</i> or a <i>tourist accommodation site</i>, separation distances and locational criteria are in accordance with Table 8.2.10.3.3 - Minimum Horizontal Separation Distances and Locational Criteria for Residential and Tourist Accommodation; and 2. for all other development, separation distances and locational criteria are in accordance with Table 8.2.10.3.4 — Separation Distance and Other Locational Criteria. <p>Note - Where another setback distance or locational criteria is identified within this code, the higher standard applies.</p> <p>Editor's Note: Development involving reconfiguring a lot must demonstrate that the above requirements can be achieved.</p>
<p>PO2 Where a site is being used for a <i>dairy</i>, development maintains or improves the quality of surface water by adopting measures that prevent livestock from entering a waterbody.</p>	<p>AO2 Development fences all livestock from waterbodies on a site is being used for a <i>dairy</i>.</p>
<p>Hazardous Materials</p>	
<p>PO3 Dangerous goods, hazardous substances or environmentally hazardous materials are stored and handled in a manner that minimises the potential for contamination of surface and groundwater in the event of a leak or spill.</p>	<p>AO3.1 The storage or handling of dangerous goods, hazardous substances or environmentally hazardous materials involves an aggregate quantity equal to or less than 200L or 200kg.</p> <p>OR</p> <p>AO3.2 The storage or handling of dangerous goods, hazardous substances or environmentally hazardous materials with an aggregate quantity greater than 200L or 200kg and less than 1000L or 1000kg maintains the following separation distances:</p> <ol style="list-style-type: none"> 1. 50m to a stream order 1 to 3; 2. 100m to a stream order 4 to 7; and 3. 800m to an Urban Water Supply Storage area. <p>OR</p> <p>AO3.3 The storage of dangerous goods, hazardous substances or environmentally hazardous materials (other than petroleum products) in aggregate quantities greater than 1000L or 1000kg is not undertaken unless a site-specific risk assessment presents minimal risk to drinking water quality.</p> <p>Editor's note: refer to Water Resource Catchments Overlay Map - Streams and Dams OM-10-B for the location of Stream Orders 1 to 3, Stream Orders 4 to 7 and Urban Water Supply Storage areas.</p> <p>AO3.4 Dangerous goods, hazardous substances or environmentally hazardous materials with an aggregate quantity greater than 200L or 200kg and less than 1000L or 1000kg are located and stored in the following manner:</p> <ol style="list-style-type: none"> 1. undercover in a building or similar structure; 2. in or on a dedicated impervious secondary containment store or device that permits full recovery of spills; and 3. in accordance with AS 1940:2004 The Storage and Handling of Flammable and Combustible Liquids.

Editor's note: refer to **Flood Hazard Overlay Map - Hazard Area OM-06-A** for an indication of areas with potential flood inundation.

Table 8.2.10.3.2 - Water Resource Catchments Overlay Code - for Assessable Development

Performance Outcomes	Acceptable Outcomes
Wastewater (Other than Sewage)	
<p>PO1 Development involving wastewater (other than sewage) does not discharge wastewater unless the drinking water supply environmental values are not compromised.</p> <p>Note: <i>Drinking water supply environmental values are contained within Schedule 1 of the Environmental Protection Policy (Water) 2009.</i></p>	<p>AO1 Development involving wastewater (other than sewage) collects and contains wastewater on-site, and is:</p> <ol style="list-style-type: none"> 1. lawfully disposed to sewer; or 2. transferred off-site for treatment/disposal to an appropriately licensed facility; or 3. reused on-site in a closed-cycle irrigation scheme, industrial processes, washing/cleaning or other purpose; or 4. treated to meet the drinking water supply environmental values prior to release. <p>Note: <i>Where development involves the release of wastewater (other than sewage), a Wastewater Management Plan (WWMP) is to be prepared by a suitably qualified person. Plans are to provide an assessment of all risks and associated mitigation strategies for preventing adverse impact on the quality of drinking water and may require a water quality monitoring program.</i></p>
<p>PO2 Where treated wastewater (not involving sewage) is irrigated to land, it:</p> <ol style="list-style-type: none"> 1. is confined to a dedicated area of land on-site; 2. is suitably located and sized; and 3. uses irrigation practices that will not harm groundwater and on-site surface water quality. <p>Note: <i>Developments involving the irrigation of wastewater may need to provide a MEDLI Modelling Report demonstrating the nominated land area for wastewater irrigation is suitably located and sized to accommodate design wastewater loads, storages are suitably sized to accommodate design wastewater loads, and proposed irrigation practices will not damage water quality. It is recommended the modelling exercise incorporate scenarios based on both a 10-year and 20-year planning horizon and incorporate a minimum of three irrigation concepts.</i></p>	<p>AO2 No Acceptable Outcome is prescribed.</p>
Solid Waste	
<p>PO3 Solid wastes generated by the development are managed, stored and disposed of in a manner that does not adversely impact on the quality of any surface water or groundwater.</p>	<p>PO3.1 Development being an <i>Intensive animal industry</i> ensures:</p> <ol style="list-style-type: none"> 1. the stockpiling of waste litter, manure and other organics is undertaken as follows: <ol style="list-style-type: none"> a. on surfaces constructed with permanent impervious underlay to minimise leaching (groundsheets will only be accepted where stockpiling is temporary); b. located outside of an effluent irrigation area; c. located 3m above the seasonal high-water table and away from recharge areas; d. sized to accommodate the proposed disposal timeframes; e. designed with run-off diversion drainage upstream to prevent uncontaminated stormwater movement into the area; f. bunded to capture contaminated run-off for appropriate treatment and disposal; and g. covered, desirably within a shed but otherwise with weatherproof material; 2. the reuse of waste litter, manure and other organics as soil conditioners or fertilizers is not undertaken on-site; 3. composting activities are not undertaken on-site; and

	<p>4. carcasses are not buried on-site except as required in accordance with any emergency animal disease directive by a biosecurity agency.</p>
	<p>PO3.2 For all other development, no Acceptable Outcome is prescribed.</p>
Sewage Treatment and Disposal	
<p>PO4 Sewage treatment systems are designed, constructed and managed in ways that do not compromise the environmental values for the supply of drinking water.</p> <p>Note: <i>Drinking water supply environmental values are contained within Schedule 1 of the Environmental Protection Policy (Water) 2009.</i></p>	<p>AO4 No Acceptable Outcome is prescribed.</p>
Stormwater Quality and Hydrology	
<p>PO5 Development manages stormwater at the construction phase to protect the quality of water entering waterways and the Urban Water Supply Storage area.</p> <p>Note: <i>Drinking water supply environmental values are contained within Schedule 1 of the Environmental Protection Policy (Water) 2009.</i></p> <p>Editor's note: <i>refer to Water Resource Catchments Overlay Map - Streams and Dams OM-10-B for the location of waterways and Urban Water Supply Storage areas.</i></p>	<p>AO5.1 An erosion and sediment control program (ESCP) demonstrates that stormwater will achieve the design objectives listed in Table 8.2.10.3.5 - Construction phase — Stormwater Management Design Objectives during the construction stage.</p> <p>OR</p> <p>AO5.2 The ESCP demonstrates how stormwater quality will be managed so that target contaminants are treated to a design objective at least equivalent to Table 9.4.2.3.2 - Construction Phase — Stormwater Management Design Objectives.</p>
<p>PO6 Development avoids or minimises changes to the existing surface water natural hydrological regime so that:</p> <ol style="list-style-type: none"> 1. there is no change to the reference high-flow and low-flow duration frequency curves, low-flow spells frequency curve and mean annual flow to and from waterways as a result of the development; 2. the collection and re-use of stormwater occurs so there is no increase to the velocity or volume of stormwater flows entering a waterway. 	<p>AO6 No Acceptable Outcome is prescribed.</p>
<p>PO7 The design and location of artificial waterways:</p> <ol style="list-style-type: none"> 1. use natural channel design principles to minimise erosion, flooding and maintenance while maximising ecological and aesthetic values of waterways; 2. are compatible with any existing natural waterways; and 3. are designed to ensure surface water hydrological regimes are maintained. 	<p>AO7 No Acceptable Outcome is prescribed.</p>
Hazardous Materials (Petroleum Products)	
<p>PO8 Petroleum products are stored and handled in a manner that minimises the potential for contamination of surface and groundwater in the event of a leak or spill.</p>	<p>AO8.1 The storage of petroleum products in bulk (greater than 1000L) aboveground uses self-bunded vessels that meet <i>Australian Standard AS 1692 Steel Tanks for Flammable and Combustible Liquids</i>.</p> <p>OR</p> <p>AO8.2 The storage of petroleum products in bulk (equal to or greater than 100L) aboveground uses single-skin vessels installed within a bunded compound that:</p> <ol style="list-style-type: none"> 1. is sufficiently impervious (permeability should be <10—9 m/s) to retain and recover spillage; and 2. has a net capacity of at least 100% of the bunded vessel or aggregate quantity of vessels where operated as a single unit. <p>OR</p> <p>AO8.3</p>

	Petroleum products belowground (greater than 200L) are stored in vessels that are non-corrodible, double walled with an interstitial space between, and meet the requirements of Australian Standard AS 1692: <i>Steel Tanks for Flammable and Combustible Liquids</i> and/or UL 1316 <i>Glass fibre reinforced plastic underground storage tanks for petroleum products, alcohols and alcohol gasoline mixture</i> .
Reconfiguring a Lot	
PO9 Where involving reconfiguring a lot for the creation of new lots, all lots requiring an on-site wastewater treatment system do not compromise the environmental values of drinking water supply. Note - A wastewater site analysis is to be prepared by a suitably qualified professional demonstrating the opposite.	AO9 Any new lot can accommodate an area for on-site wastewater treatment and disposal complying with the separation distances and other locational criteria specified in Table 8.2.10.3.4 — Separation Distance and Other Locational Criteria .

Table 8.2.10.3.3 - Minimum Horizontal Separation Distances and Locational Criteria for Residential and Tourist Accommodation

Feature	Stream Order 1 to 3*	Stream Order 4 to 7*	Water supply well, bore &/or dam	Nearest cut embankment or other point where effluent might surface	Upper flood margin level of an Urban Water Supply Storage*	Flood immunity^	Maximum Slope#
Development involving Primary treated effluent disposal	50m	100m	50m	30m	400m	AEP 1%	Located on a slope less than 15.1%
Development involving Secondary treated effluent disposal	30m	30m	30m	-	30m		
Development involving Advanced Secondary treated effluent disposal	10m	10m	10m	-	10m		

*Refer to **Water Resource Catchments Overlay Map - Streams and Dams OM-10-B** for the location of Stream Orders 1 to 3, Stream Orders 4 to 7 and Urban Water Supply Storage areas

^Refer to **Flood Hazard Overlay Map - Hazard Area OM-06-A** for an indication of areas with potential flood inundation.

#Refer to **Landslide Hazard and Steep Slope Overlay Map - Steep Slope OM-07-A** for an indication of areas with a slope 15.1% or greater.

Table 8.2.10.3.4 — Separation Distance and Other Locational Criteria

Development type and activities	Stream Order 1 to 3*	Stream Order 4 to 7*	Urban Water Supply Storage Areas*	Flood immunity^	Maximum Slope#
Intensive animal industry	50m	100m	800m	AEP 1%	Located on a slope less than 15.1%
Aquaculture	Case-by-case basis	Case-by-case basis	N/A	N/A	
All other agricultural or forestry land uses	50m	100m	400m	Buildings — AEP 1% Other areas — AEP 20%	
Extractive industry	50m	100m	400m	AEP 1%	
Industry - Medium Impact, High Impact, Special, Marine	100m	100m	800m	AEP 1%	
Motor sport facility	50m	100m	400m	Buildings — AEP 1%	
Outdoor sport and recreation					

Major sport, recreation and entertainment facility				Other infrastructure (e.g. trails) — AEP 20%
Service station	50m	100m	800m	AEP 1%
All other development types	50m	100m	400m	AEP 1%

*Refer to **Water Resource Catchments Overlay Map - Streams and Dams OM-10-B** for the location of Stream Orders 1 to 3, Stream orders 4 to 7 and Urban Water Supply Storage areas

^Refer to **Flood Hazard Overlay Map - Hazard Area OM-06-A** for an indication of areas with potential flood inundation.

#Refer to **Landslide Hazard and Steep Slope Overlay Map - Steep Slope OM-07-A** for an indication of areas with a slope 15.1% or greater.

Table 8.2.10.3.5 - Construction Phase — Stormwater Management Design Objectives

Issue	Desired Outcomes
Drainage control Note - Refer to IECA 2008 Best Practice Erosion and Sediment Control (as amended) for details on the application of the Construction Phase requirements.	<ol style="list-style-type: none"> 1. Manage stormwater flows around or through areas of exposed soil to avoid contamination. 2. Manage sheet flows in order to avoid or minimise the generation of rill or gully erosion. 3. Provide stable concentrated flow paths to achieve the construction phase stormwater management design objectives for temporary drainage works as specified in Table 8.2.10.3.6 - Construction phase — stormwater management design objectives for temporary drainage works. 4. Provide emergency spillways for sediment basins to achieve the construction phase stormwater management design objectives of: <ol style="list-style-type: none"> a. 10% AEP where the design life is less than 3 months; b. 5% AEP where the design life is 3-12 months; c. 2% AEP where the design life is greater than 12 months.
Erosion control Note - Refer to IECA 2008 Best Practice Erosion and Sediment Control (as amended) for details on the application of the Construction Phase requirements.	<ol style="list-style-type: none"> 1. Stage clearing and construction works to minimise the area of exposed soil at any one time. 2. Effectively cover or stabilise exposed soils prior to predicted rainfall. 3. Prior to completion of works for the development, and prior to removal of sediment controls, all site surfaces must be effectively stabilised using methods which will achieve effective short-term stabilisation.
Sediment control	<ol style="list-style-type: none"> 1. Direct runoff from exposed site soils to sediment controls that are appropriate to the extent of disturbance and level of erosion risk. 2. All exposed areas greater than 2500 metres² must be provided with sediment controls which are designed, implemented and maintained to a standard which would achieve at least 80% of the average annual runoff volume of the contributing catchment treated (i.e. 80% hydrological effectiveness) to 50mg/L Total Suspended Solids (TSS) or less, and pH in the range (6.5—8.5).
Litter, hydrocarbons and other contaminants	<ol style="list-style-type: none"> 1. Remove gross pollutants and litter. 2. Avoid the release of oil or visible sheen to released waters. 3. Dispose of waste containing contaminants at authorised facilities.
Waterway stability and flood flow management	<ol style="list-style-type: none"> 1. Measures are either installed prior to land disturbance and are integrated with erosion and sediment controls, or equivalent alternative measures are implemented during construction. 2. Earthworks and the implementation of erosion and sediment controls are undertaken in ways which ensure flooding characteristics (including stormwater quantity characteristics) external to the development site are not worsened during construction.

Note - Drainage, erosion and sediment controls should be appropriate to the risk posed by the activity for the relevant

climatic region

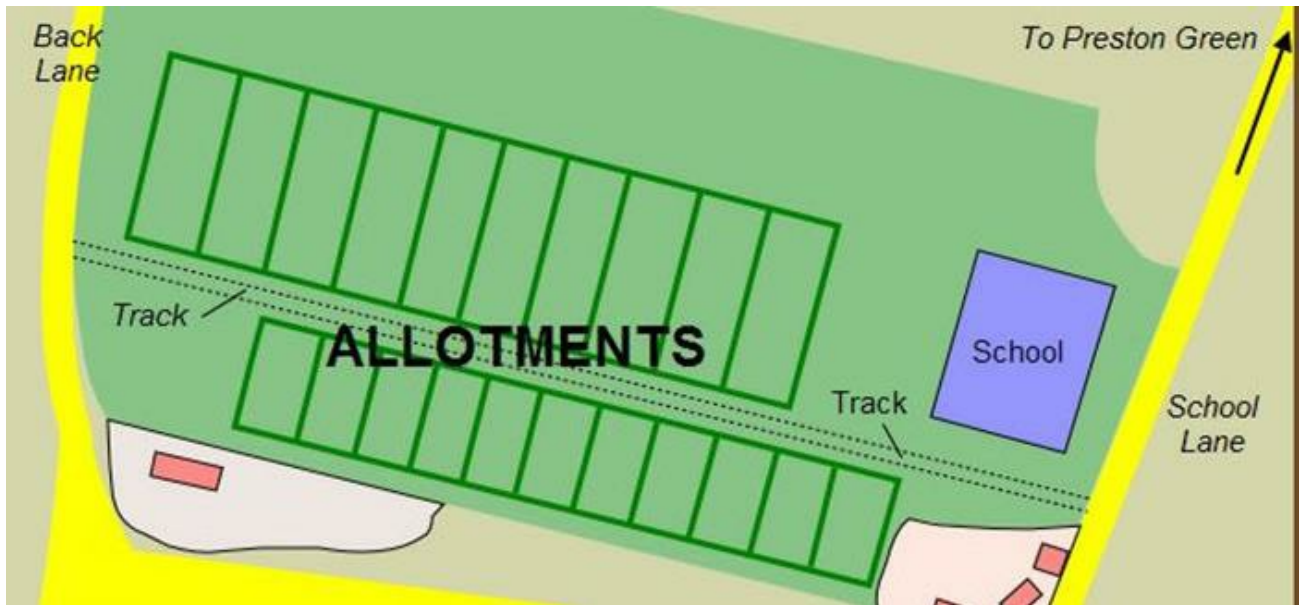
e.g. considering the potential soil loss rate, monthly erosivity or average monthly rainfall.

Note - An effectively stabilised surface is defined as one that does not, or is not likely to result in visible evidence of soil loss caused by sheet, rill or gully erosion or lead to sedimentation water contamination.

Table 8.2.10.3.6 - Construction phase — stormwater management design objectives for temporary drainage works

Temporary drainage works	Anticipated operation design life and minimum design storm event		
	< 12 months	12—24 months	> 24 months
Drainage structure	1 in 2 year ARI 39% AEP	1 in 5 year ARI 18% AEP	1 in 10 year ARI 10% AEP
Where located immediately up-slope of an occupied property that would be adversely affected by the failure or overtopping of the structure	1 in 10 year ARI 10% AEP		
Culvert crossing	1 in 1 year ARI 63% AEP		

8.2.11 Master Plan Areas Overlay Code



8.2.11.1 Application

This code applies to development:

1. within the Master Plan Areas Overlay as identified on the overlay maps contained in **Schedule 2 Mapping**; and
2. identified as requiring assessment against the Master Plan Areas Overlay Code by the tables of assessment in **Part 5 Tables of Assessment**.

8.2.11.2 Purpose and Overall Outcomes

1. The purpose of the Master Plan Areas Overlay Code is to ensure that master planning is undertaken on identified sites where detailed planning has not been carried out.
2. The purpose of the code will be achieved through the following overall outcome:
 - a. Master planning is undertaken on sites where detailed planning has not been undertaken and for Reconfiguring a Lot to:
 - i. actively promote the achievement of the Purpose and Overall Outcomes and specific Outcomes of applicable Zone Code provisions;
 - ii. ensure that sites are planned and develop in an orderly and sequential fashion, with the necessary infrastructure and services provided in an efficient and timely manner;
 - iii. provide certainty to the community by identifying the type and location of future land uses, infrastructure, and linkages to surrounding area; and
 - iv. effectively manage land use conflicts within the development and with the surrounding area.

8.2.11.3 Assessment Benchmarks

Table 8.2.11.3.1 — Master Plan Areas Overlay Code - for Assessable Development

Performance Outcomes	Acceptable Outcomes
Master Planning	
PO1 Development is master planned to provide for: <ol style="list-style-type: none"> 1. best practice site planning, development layout and 	AO1 No Acceptable Outcome is prescribed.

- building design;
2. an efficient and affordable infrastructure network;
3. the sequencing and orderly staging of development;
4. neighbourhoods that respond to natural features such as topography, waterway corridors and significant vegetation;
5. the incorporation of best practice water sensitive urban design principles;
6. identification of distinct areas for specific uses or activities and intended treatments to minimise conflict between different uses;
7. mitigation of conflict with potentially incompatible uses (e.g. commercial/residential);
8. a safe, attractive and integrated street network based on the grid street pattern that maximises permeability, legibility, accessibility and street tree plantings;
9. the integration with adjoining urban areas in the locality; and
10. residential development (where consistent with the intent of the zone) where:
 - a. the siting of dwellings to take advantage of local micro-climate benefits to promote the construction of energy-efficient buildings and adequate solar access.
 - b. a wide range of housing types, densities and lot sizes are provided; and
 - c. smaller lots adjacent to areas of open space, community and recreation facilities; and
11. development that has the appearance of a modern country town, not suburbia and incorporates attractive and diverse facades that address street frontages and public and communal open space.

Note - The preparation of a Master Plan in accordance with **Planning Scheme Policy 3 - Preparing Master Plans for Development Applications** is the preferred method to demonstrate the achievement of this outcome.

Note - To demonstrate compliance with this outcome, a Master Plan is prepared in accordance with **Planning Scheme Policy 3 - Preparing Master Plans for Development Applications**.

8.2.12 Transport Noise Corridor Overlay

8.2.12.1 Application

This overlay contains no code and is for information purposes.

8.2.13 Minimum Lot Size Overlay

8.2.13.1 Application

This overlay contains no code and is to be used for administrative purposes. References to this overlay can be found in the following sections:

1. **Part 3 Strategic Framework**
2. **Part 5.6 Categories of development and Assessment - Reconfiguring a Lot**
3. **Part 9.4.6 Reconfiguring a Lot Code**

8.2.14 Higher Order Roads Overlay

8.2.14.1 Application

This overlay contains no code and is to be used for administrative purposes. References to this overlay can be found in the following section:

1. **Part 5 Tables of Assessment**
2. Relevant sections of **Part 6 Zones**

8.2.15 Road Hierarchy Overlay

8.2.15.1 Application

This overlay contains no code and is to be used for information purposes.

Part 9 Development Codes

9.1 Preliminary

1. The following are the use codes for the planning scheme:
 - a. Adult Store Code;
 - b. Animal Keeping Code;
 - c. Caretaker's Accommodation Code;
 - d. Dual Occupancy Code;
 - e. Dwelling House Code;
 - f. Extractive Industry Code;
 - g. General Development Provisions Code;
 - h. Home Based Business Code;
 - i. Intensive Animal Industry Code;
 - j. Intensive Horticulture and Wholesale Nursery Code;
 - k. Market Code;
 - l. Medium Density Residential Code;
 - m. Roadside Stall Code;
 - n. Sales Office Code;
 - o. Service Station Code;
 - p. Telecommunications Facilities Code;
 - q. Tourism Uses Code;
 - r. Tourist Park Code; and
2. The following are the other development codes for the planning scheme:
 - a. Advertising Devices Code;
 - b. Earthworks, Construction and Water Quality Code;
 - c. Infrastructure Design Code;
 - d. Landscaping Code;
 - e. Parking and Access Code; and
 - f. Reconfiguring a Lot Code.

9.2 Prescribed Development

The planning scheme does not include requirements or assessment benchmarks for development prescribed by the Regulation.

Refer to the Schedules of the Regulation for this information.

9.3.1 Adult Store Code

9.3.1.1 Application

1. This code applies to development identified as requiring assessment against the Adult Store Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.1.2 Purpose

2. The purpose of the Adult Store Code is to manage the location of Adult stores to avoid their close proximity to Childcare centres, Educational establishments involving primary and secondary schools and Places of worship.
3. The purpose of the code will be achieved through the following overall outcomes:
 - a. An Adult store is;
 - i. located away and not readily visible from Childcare centres, Places of worship and Educational establishments involving primary and secondary schools;
 - ii. not located in areas of high foot traffic by young persons and children attending Childcare centres, Educational establishments involving primary and secondary schools and Places of worship; and
 - iii. presented to a public area so as not to cause offence to the public.

9.3.1.3 Assessment Benchmarks

Table 9.3.1.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Location of Adult Stores	
<p>PO1 An Adult Store is not:</p> <ol style="list-style-type: none"> 1. located in close proximity to a Childcare centre, Educational establishment involving primary and secondary schools or Place of worship; 2. readily visible from a Childcare centre, Educational establishment involving primary and secondary schools or Place of worship; and 3. located in areas of high foot traffic by young persons and children attending a Childcare centre, Educational establishment involving primary and secondary schools and Places of worship. 	<p>AO1 The distance between the boundary of the land occupied by a Childcare centre, Educational establishment involving primary and secondary schools or Place of worship and the entrance of an Adult store is the greater of the following:</p> <ol style="list-style-type: none"> 1. more than 200 metres according to the shortest route a person may lawfully take, by vehicle or on foot; or 2. more than 100 metres measured in a straight line. <p><i>Note - To remove any doubt, the Adult Store Code does not apply to new Childcare centres, Educational establishments involving primary and secondary schools and Places of worship locating close to existing Adult stores.</i></p>
Signage and Displays	
<p>PO2 The presentation of the Adult store to a public area satisfies reasonable community expectations and does not cause offence.</p>	<p>AO2.1 The display window of the Adult store is completely screened to prohibit viewing into the interior of the development where goods are displayed.</p>
	<p>AO2.2 Signage associated with the Adult store that is visible external to the development is not sexually suggestive or potentially offensive in graphical or written form.</p>

9.3.2 Animal Keeping Code



9.3.2.1 Application

This code applies to development identified as requiring assessment against the Animal Keeping Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.2.2 Purpose

1. The purpose of the Animal Keeping Code is to ensure that development for Animal keeping does not cause environmental harm and avoids adverse impacts on the amenity and character of the surrounding area.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Animal keeping;
 - i. is established on sites of sufficient size to accommodate appropriate separation distances and where environmental and amenity impacts can be effectively managed;
 - ii. provides for appropriate separation distances or other mitigation measures between the development and sensitive receivers to minimise land use conflict;
 - iii. is of a scale and intensity that is compatible with the surrounding area and preferred character of the surrounding communities;
 - iv. is of a high quality design which appropriately responds to local character, environment and amenity considerations; and
 - v. can be managed so that significant environmental impacts are contained within the site itself, or are managed and mitigated so as not to unduly impact sensitive receivers or the environment.

9.3.2.3 Assessment Benchmark

Table 9.3.2.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Siting and Location	
PO1 Animal keeping occurs on a site which has an appropriate area and dimensions for:	AO1 Development, including structures, complies with the minimum separation distances, boundary clearances

<ol style="list-style-type: none"> 1. buildings and structures; 2. waste disposal areas; and 3. separation distances between the use and: <ol style="list-style-type: none"> a. public places; b. sensitive receivers; and c. waterways. 	and minimum site areas in Table 9.3.2.3.3 Standards for Animal Keeping.
PO2 An Animal keeping use provides supervision and management to ensure development does not impact adversely on the amenity of neighbouring properties.	AO2 Development has on-site supervision by a person/s occupying a dwelling on the site including a Dwelling House, Dwelling Unit and Caretaker's accommodation.
Aviary	
PO3 An aviary does not cause environmental harm to people or properties not associated with the use.	AO3 Aviary structures have a total site cover not exceeding: <ol style="list-style-type: none"> 1. 5% on a site up to 4000m²; or 2. 200m² on a site more than 4000m².
Stables	
PO4 Facilities associated with a stable do not cause environmental harm to people or properties not associated with the use.	AO4 A stable provides that a formal training, sporting and exercise area is used during daylight hours only.

Table 9.3.2.3.2— Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
Kennels	
PO1 A kennel or cattery does not adversely impact on the amenity of neighbouring properties.	AO1.1 A kennel (including a kennel building, run or exercise yard) is a minimum distance of 1,000 metres from any kennel building, run or exercise yard of another lawfully established or approved kennel.
	AO1.2 Kennel and cattery structures are separated a maximum of 20 metres from the house on the site occupied by the supervisor of the kennel or cattery.
PO2 A kennel is of a scale that does not adversely impact on local amenity by reason of: <ol style="list-style-type: none"> 1. noise; 2. traffic movements; and 3. air quality (dust and odour) 	AO2 A development being a kennel, does not exceed; <ol style="list-style-type: none"> 1. a ratio of more than 10 dogs per hectare; and 2. a maximum of 100 dogs. <i>Editor's Note - This is the maximum ratio possible under the most ideal conditions and would usually require special noise attenuation treatment.</i>
PO3 Kennels including exercise runs or pens are visually screened from public roads and adjoining properties.	AO3 No acceptable outcome is prescribed.
General Amenity	
PO4 Development is sited and designed to integrate with the streetscape and complement the scale and character of existing uses in the surrounding area.	AO4 No acceptable outcome is prescribed.

Landscaping	
PO5 Development integrates with its surroundings to minimise adverse impacts on visual amenity.	AO5.1 A development provides for the retention of existing trees except for those located where buildings and runs or yards are to be established.
	AO5.2 A development does not require extensive cutting, filling, draining and/or modification of the site.
	AO5.3 On all common boundaries with land in a residential zone, development provides: <ol style="list-style-type: none"> 1. buffer landscaping with a minimum width of 2 metres designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design; or 2. solid screen fencing 1.8m high.
Noise	
PO6 Noise impacts from dogs and cats are minimised.	AO6 For kennels and catteries, animals are kept in enclosures at all times between the hours of 6pm and 7am and are kept inside buildings constructed of sound attenuating materials.
Facilities and Infrastructure	
PO7 Kennels and catteries are fenced to provide for the exercise and security for the number and type of dogs and cats kept on the site.	AO7.1 Development being a kennel: <ol style="list-style-type: none"> 1. provides for fencing immediately surrounding and containing the kennel building, pens and runs which has a minimum height of 1.8 metres and is mesh, chain or hinge-joint stock proof wire so that dogs are unable to escape; 2. provides that all gates and posts are of galvanised steel, fitted with dog proof catches and bolts; and 3. involving the boarding of dogs, provides security fencing with tops which crank inwards, under fence concrete dig strips and wire canopies.
	AO7.2 Development involving a cattery provides a double gate system to all pens and runs to prevent the escape of cats.

Table 9.3.2.3.3 Standards for Animal Keeping

Maximum number of animals kept*	Minimum site area (hectares)	Minimum distance to off-site residences (metres)	Minimum Boundary clearance to any side Boundary (metres)	Minimum Boundary clearance to a constructed road Boundary (metres)	Minimum separation distance to a water way or wetland (metres)
Kennel					
5	2	100	15	50	50
6-10	2	150	15	50	50

11 or more	4	200	30	100	50
Cattery					
20	Nil	10	5	6	Nil
21 or more	0.3	30	10	20	50
Aviary					
Not applicable	Not applicable	10	1.5	6	15
Stable					
Stable housing up to 5 Horses	Not Specified	50	10	10	15
Stable housing more than 5 Horses	Not Specified	100	50	50	15
Associated Outdoor Horse Training Tracks and Arenas					
6-9 Horses	10	50	-	50	15
10 or more Horses	10	100	-	100	15

Editor's note - Animal Keeping may be subject to requirements, standards and Approvals specified in local laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for animal keeping to be conducted. Potential operators should contact Council for further details.

9.3.3 Caretaker's Accommodation Code



9.3.3.1 Application

This code applies to development identified as requiring assessment against the Caretaker's Accommodation Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.3.2 Purpose

1. The purpose of the Caretaker's Accommodation Code is to ensure that development for a Caretaker's accommodation reflects the needs of the primary non-residential use of the premises and provides acceptable domestic living standards for residents.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. A Caretaker's accommodation;
 - i. assists in the operation of, and is subservient to, the primary use of the premises;
 - ii. is functional for residents through the inclusion sufficient car parking and useable recreation areas;
 - iii. provides high levels of privacy and amenity for residents;
 - iv. is provided with sufficient on-site water supply to meet the needs of the user where reticulated water supply is unavailable; and
 - v. maintains the primary purpose of the relevant zone.

9.3.3.3 Assessment Benchmarks

Table 9.3.3.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Scale	
PO1 A Caretaker's accommodation is of a height that is: <ol style="list-style-type: none"> 1. consistent with the surrounding area; 2. protects the amenity of adjoining premises and the streetscape; and 3. ensures the privacy between adjoining residential dwellings. 	AO1 Building height does not exceed 2 storeys with a maximum height of 8.5m.
PO2 A Caretaker's accommodation is provided to fulfil a genuine need for a caretaker on the subject site.	AO2 The Caretaker's accommodation is occupied by a person or persons having responsibility for the security, maintenance or management of non- residential activities conducted on the same site and, if applicable, that person's immediate family.
PO3	AO3.1

The Caretaker's accommodation is small scale, ancillary and subordinate to the non-residential use on the same site.	Only one Caretaker's accommodation is established on the site.
	AO3.2 The Caretaker's accommodation has a gross floor area not exceeding 100m ² .
	AO3.3 The Caretaker's accommodation is located on the same lot as the primary use to which it is ancillary and subordinate to.
	AO3.4 The Caretaker's accommodation is the only dwelling established on the site.
Amenity	
PO4 The design of the Caretaker's accommodation achieves an acceptable level of residential amenity for residents of the Caretaker's accommodation.	AO4 Bedrooms and living rooms of the Caretaker's accommodation do not adjoin, and face away from, noise generating activities conducted on the site or adjoining sites.
PO5 The Caretaker's accommodation is provided with private open space that is useable, adequately screened from the primary activities on the site, and directly accessible from the Caretaker's accommodation.	AO5.1 The Caretaker's accommodation contains an area of private open space which is directly accessible from a habitable room, and: <ol style="list-style-type: none"> 1. if at ground level, has an area of not less than 25m², with a minimum width of 5 metres; or 2. if a balcony, verandah or deck, has an area of not less than 15m², with a minimum width of 2.5 metres.
	AO5.2 Private open space: <ol style="list-style-type: none"> 1. is sited and orientated so that other buildings on the site do not directly overlook the private open space; or 2. where directly viewable from another building, is screened by: <ol style="list-style-type: none"> a. a minimum 1.8 metre high solid screen fence for private open space provided at ground level; or b. roof form or lightweight screening devices for private open space located above the ground level.
Facilities and Services	
PO6 Sufficient vehicle parking is provided for the Caretaker's accommodation.	AO6 A minimum of one car park is provided for the Caretaker's accommodation.

9.3.4 Dual Occupancy Code

9.3.4.1 Application

This code applies to development identified as requiring assessment against the Dual Occupancy Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.4.2 Purpose

1. The purpose of the Dual Occupancy Code is to ensure that development for a Dual occupancy contributes to the provision of a greater range of housing types for the community while ensuring compatibility with, and protection of the amenity of the surrounding area.
2. The purpose of the code will be achieved through the following overall outcomes.
 - a. A Dual occupancy;
 - i. is designed and sited to protect the amenity of adjoining premises and the streetscape;
 - ii. is of a character and built form consistent with the zone;
 - iii. located outside of a drinking water connection area or a waste water connection area, is provided with on-site water storage and waste water treatment and disposal to meet the needs of residents;
 - iv. has an attractive built form that positively contributes to the streetscape;
 - v. ensures outbuildings do not dominate the built form; and
 - vi. provides safe vehicle access and parking.

9.3.4.3 Assessment Benchmarks

Table 9.3.4.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Access and Parking	
PO1 A Dual occupancy allows for safe and convenient vehicular access to the site, provides for on-site car parking and makes a positive contribution to the amenity and character of the surrounding area.	AO1.1 The Dual occupancy obtains access from a constructed road.
	AO1.2 A minimum of 1 covered car parking space per dwelling of the Dual occupancy is provided on-site.
	AO1.3 The covered car parking spaces are set back a minimum of 1m from the front building façade of the Dual occupancy.
	AO1.4 The Dual occupancy provides: <ol style="list-style-type: none"> 1. a shared driveway; or 2. a separate driveway to each dwelling where the Dual occupancy is located on a lot with two street frontages.
Design and Amenity	
PO2 A Dual occupancy enhances the amenity and character of the zone by: <ol style="list-style-type: none"> 1. visually integrating with the streetscape and 	AO2.1 The main living area of one dwelling of the Dual occupancy is located within 20m of a main living area of the other dwelling of the Dual occupancy.

<p>adjacent premises by having the appearance and bulk of a single house when viewed from the street; and</p> <p>2. addressing the street frontage.</p>	<p>A02.2 Each dwelling of the Dual occupancy is oriented to address the street frontage.</p>
<p>PO3 A Dual occupancy is sited and designed to maintain the privacy of the residents of each dwelling and neighbouring premises.</p>	<p>A02.3 Where located on a site having two street frontages, each dwelling of the Dual occupancy is oriented to address a separate street frontage.</p> <p>A03 The Dual occupancy prevents direct overlooking of the main internal living areas and private open space of nearby dwellings through measures such as:</p> <ol style="list-style-type: none"> 1. offsetting the development from the adjacent dwellings by a distance sufficient to limit direct views into the adjacent windows; or 2. incorporating sill heights a minimum of 1.5m above floor level; or 3. utilising screening devices, such as fixed frosted or textured glazing, for any part of the window below 1.5m above floor level; or 4. providing fixed external screens.
Private Open Space	
<p>PO4 Each dwelling of a Dual occupancy is provided with sufficiently sized and suitably located outdoor private open space to meet the recreational needs of residents.</p>	<p>A04 The private open space for each dwelling of the Dual occupancy has:</p> <ol style="list-style-type: none"> 1. minimum dimensions of 5m x 5m; and 2. a maximum gradient not exceeding one in ten.
Casual Surveillance	
<p>PO5 Each dwelling of a Dual occupancy is sited and designed to provide opportunities for casual surveillance of the street and any adjoining public spaces.</p>	<p>A05 The window of at least one habitable room of each dwelling of the Dual occupancy overlooks the street or adjoining public spaces.</p>
On-site Waste Water Treatment and Water Supply	
<p>PO6 Where located outside of a wastewater connection area, a Dual occupancy has adequate land area for treatment and disposal of wastewater on-site.</p>	<p>A06 Where located outside of a wastewater connection area, the Dual occupancy:</p> <ol style="list-style-type: none"> 1. is established on lots greater than 8,000m²; and 2. disposes of all wastewater on-site. <p><i>Note - A Site and Soil Evaluation for the design of the on-site wastewater management systems will be required to indicate compliance with this outcome.</i></p>
<p>PO7 Where located outside of the drinking water connection area, the Dual occupancy is provided with sufficient on-site water storage to meet the needs of the residents.</p>	<p>A07 Where located outside of a drinking water connection area, each dwelling of the Dual occupancy is connected to an on-site water supply with a storage capacity of at least 45000L.</p>
Domestic Outbuildings	
<p>PO8 Domestic outbuildings in residential areas are of a scale and have a built form that:</p>	<p>A08 Domestic outbuildings in a residential zone:</p> <ol style="list-style-type: none"> 1. have a combined total gross floor area that does

<ol style="list-style-type: none"> 1. is compatible with the dwellings of the Dual occupancy and adjoining dwellings having regard to height, mass and proportion; 2. is subordinate to the dwellings of the Dual occupancy and adjoining dwellings; and 3. maintains or contributes positively to the streetscape. 	<p>not exceed:</p> <ol style="list-style-type: none"> a. 55m² on a lot 600m² or smaller; or b. 110m² on a lot greater than 600m² and up to 2000m²; or c. 200m² on a lot greater than 2000m²; and d. does not exceed the gross floor area of any dwellings on the site; and <ol style="list-style-type: none"> 2. are a single storey structure; and 3. have a building height that does not exceed the building height of any residence on the premises.
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Table 9.3.4.3.2— Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
Design and Amenity	
<p>PO1 A Dual occupancy is designed to:</p> <ol style="list-style-type: none"> 1. provide visual interest to the streetscape through the use of varying building colours and materials, architectural elements, landscape and pavement treatments, changes in roof form and pitch; 2. provide for roofed verandas or eaves; 3. address the street frontage; and 4. ensure covered car parking spaces are visually compatible with, and subordinate to, the building form and appearance. 	<p>AO1 No acceptable outcome is prescribed.</p>
<p>PO2 A Dual occupancy that adjoins or is directly opposite an existing Dual occupancy is designed to:</p> <ol style="list-style-type: none"> 1. add visual interest to the streetscape; 2. provide differentiation between developments through contrasting building articulation, construction materials, colour and architectural design; and 3. address the street frontage. 	<p>AO2 The design of the Dual occupancy differs from existing Dual occupancies in the immediate area.</p>

9.3.5 Dwelling House Code



9.3.5.1 Application

This code applies to development identified as requiring assessment against the Dwelling House Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.5.2 Purpose

1. The purpose of the Dwelling House Code is to ensure that development for a Dwelling house (including a secondary dwelling) is compatible with, and protects the amenity of the surrounding area.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. A Dwelling house;
 - i. is designed and sited to protect the amenity of adjoining premises and the streetscape;
 - ii. is of a scale and built form consistent with the surrounding area;
 - iii. has an attractive built form that positively contributes to the streetscape;
 - iv. provides safe vehicle access to the premises;
 - v. is provided with sufficient on-site water supply to meet the needs of the residents where reticulated water supply is unavailable; and
 - vi. involving a secondary dwelling is sited and designed to integrate with, and be subordinate to, the (primary) Dwelling house.

9.3.5.3 Assessment Benchmarks

Table 9.3.5.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Building Height	
PO1 A Dwelling house (including secondary dwellings) is of a height that is: <ol style="list-style-type: none"> 1. consistent with the surrounding area; 2. protects the amenity of adjoining premises and the streetscape; and 3. ensures privacy between adjoining residential dwellings. 	AO1 Building height does not exceed 2 storeys and a maximum height of 8.5m.
Setbacks	

P02

Setbacks:

1. assist in the protection of the amenity of adjacent premises;
2. allow for access around the building;
3. positively contribute to the amenity of the streetscape; and
4. allow for on-site car parking.

A02

Setbacks comply with the following Table:

Zone	Street Frontage Minimum Distances Measured in Metres (m)	
Low Density Residential Zone Low-medium Density Residential Zone Minor Tourism Zone Township Zone Limited Development Zone	6m	
Rural Residential Zone Rural Zone	10m	
Zone	Secondary frontage of corner lot	
Low Density Residential Zone Low-medium Density Residential Zone Minor Tourism Zone Township Zone Limited Development Zone	3m	
Rural Residential Zone Rural Zone	10m	
Zone	Side and Rear Boundary Minimum Distances Measured in Metres (m)	
	Building Height	Setback
Low Density Residential Zone Low-medium Density Residential Zone Minor Tourism Zone Township Zone	Up to 4.5m	1.5m
	For that part between 4.5m — 7.5m	2m
	For that part exceeding 7.5m	2m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m
Limited	Up to 4.5m	3m

	Development Zone Rural Residential Zone	For that part between 4.5m — 7.5m	5m
		For that part exceeding 7.5m	5m plus an extra 0.5m is added for every 3m in height or part thereof over 7.5m
	Rural Zone	N/A	6
Access and Parking			
PO3 A Dwelling house allows for safe and convenient vehicular access to the site and provides for on-site car parking.	AO3.1 A Dwelling house obtains access from a constructed road.		
	AO3.2 A minimum of 1 covered car parking space is provided on-site.		
Additional Requirements for a Secondary Dwelling			
PO4 A secondary dwelling: 1. is designed to be subordinate to and visually integrate with the (primary) Dwelling house; 2. does not adversely impact on the privacy and amenity of adjoining premises; 3. contributes to a safe and pleasant living environment; 4. has adequate land area to treat and dispose wastewater on-site where access to the reticulated sewerage network is unavailable; and 5. provides a useable outdoor recreation area for residents.	AO4 The secondary dwelling: 1. has a gross floor area not exceeding 60m ² ; 2. where established on a site where access to the reticulated sewerage network is unavailable, can dispose of wastewater on-site by connection to the wastewater disposal system of the (primary) Dwelling house; 3. is provided with a minimum of one off-street car parking space in addition to the requirement for the Dwelling house; 4. is located within 20 metres of the outermost projection of the (primary) Dwelling house; and 5. is connected to the same water and electricity supply as the (primary) Dwelling house.		
Domestic Outbuildings			
PO5 A domestic outbuilding within a residential zone is of a scale and has a built form that: 1. is compatible with the residence and adjoining residential premises having regard to height, mass and proportion; 2. is subordinate to the residence and surrounding dwellings; and 3. maintains or contributes positively to the streetscape.	AO5 Domestic outbuildings: 1. have a combined total gross floor area of domestic outbuildings within a residential zone that does not exceed: a. 55m ² on a lot 600m ² or smaller; or b. 110m ² on a lot greater than 600m ² and up to 2000m ² ; or c. 200m ² on a lot greater than 2000m ² ; and d. the gross floor area of any dwellings on the site; and 2. are a single storey structure; and 3. have a building height that does not exceed the building height of any residence on the premises.		
Water Supply			
PO6 Where located on a site not serviced by a reticulated water supply, the Dwelling house is provided with	AO6 Where located on a site not serviced by a reticulated water supply, the Dwelling house is connected to an on-		

sufficient on-site water supply to meet the needs of the residents.	site water supply with a storage capacity of at least 45000L.
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9.3.6 Extractive Industry Code



9.3.6.1 Application

This code applies to development identified as requiring assessment against the Extractive Industry Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.6.2 Purpose

1. The purpose of the Extractive Industry Code is to ensure extractive industry operations are undertaken in a safe and efficient manner that is environmentally sensitive and minimises off-site impacts.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Extractive industries:
 - i. involving groundwater extraction occur only on large sites within Rural Zone (excluding the Tamborine Mountain Rural Precinct and Rural Escarpment Precinct) and avoid or minimise traffic impacts on residential zones;
 - ii. are established on sites of sufficient size to accommodate appropriate separation distances to ensure environmental and amenity impacts can be effectively managed within the site;
 - iii. provide for appropriate separation distances or other mitigation measures between the development and existing or likely future sensitive land uses to minimise land use conflict;
 - iv. are managed so that significant environmental impacts are contained within the site, or are managed and mitigated so as not to adversely impact sensitive receivers or the environment;
 - v. provide for the safe operation of the use;
 - vi. manage adverse amenity and environmental impacts;
 - vii. provide effective visual buffers to minimise land use conflict between extractive industry operations and urban development or future urban development areas;
 - viii. ensure haulage routes are safe for all road users, operate efficiently and safely, and do not unduly impact on adjoining sensitive receivers; and
 - ix. ensure land disturbed by extractive industry operations is restored and rehabilitated during the life of the development to achieve a stable and environmentally sustainable landform suitable for a future land

use.

9.3.6.3 Assessment Benchmarks

Table 9.3.6.3.1— Criteria for Assessable Development - Groundwater Extraction Only

Performance Outcomes	Acceptable Outcomes
PO1 Groundwater extraction: <ol style="list-style-type: none"> occurs on large sites within Rural Zone only (excluding the Tamborine Mountain Rural Precinct and Rural Escarpment Protection Precinct); and avoids or minimises traffic impacts on residential zones. 	AO1 No acceptable outcome is prescribed.
PO2 Vehicle movements generated by the development: <ol style="list-style-type: none"> access roads of a standard and construction to adequately cater for the type and volume of traffic generated; must not create or worsen any traffic hazard; and must not have adverse effects on the amenity of the locality. 	AO2 No acceptable outcome is prescribed.
PO3 The proposed haulage route to and from the site does not involve roads which: <ol style="list-style-type: none"> are not suitable for a high volume of heavy vehicle movements; would result in an increased risk to other motorists; and require heavy vehicles to traverse residential or rural residential streets. 	AO3 No acceptable outcome is prescribed.
PO4 Development accesses the road network directly onto a higher order road.	AO4 No acceptable outcome is prescribed.
PO5 Development mitigates potential environmental nuisance from dust.	AO5 All driveways, car parking and manoeuvring areas are sealed where located within 200m of an off-site sensitive land use.
PO6 Development does not cause environmental nuisance.	AO6 No acceptable outcome is prescribed.
PO7 Development protects the amenity of residents in the surrounding area and on primary haulage routes.	AO7 No acceptable outcome is prescribed.
PO8 Development is located on a site which has sufficient area to provide for an appropriate setback of operations from: <ol style="list-style-type: none"> road frontages; site boundaries; surrounding residential uses; and other sensitive land uses; so that the development mitigates environmental nuisance and achieves an acceptable standard of visual amenity.	AO8 Buildings and structures associated with the use are set back a minimum of: <ol style="list-style-type: none"> 40 metres from the front boundary of the site; and 15 metres from the side and rear boundaries of the site.

<p>PO9 Large scale structures do not present an appearance of bulk to adjacent sensitive land uses, roads or public places through buffer screening, design or distance.</p>	<p>AO9 Development:</p> <ol style="list-style-type: none"> 1. provides buffer landscape planting where the development is visible from adjacent sensitive land uses, roads or public places; and 2. ensures that landscaping is designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design.
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Table 9.3.6.3.2 — Criteria for Assessable Development- Extractive Industry (other than groundwater extraction)

Performance Outcomes	Acceptable Outcomes
Siting and Location	
<p>PO1 An Extractive industry is located on a site which has sufficient area to mitigate noise, light, dust and vibration impacts from blasting, by providing for adequate setback of operations from:</p> <ol style="list-style-type: none"> 1. road frontages; 2. site boundaries; 3. bulk water supply infrastructure; 4. surrounding residential uses; and 5. other sensitive land uses. 	<p>AO1 A development being:</p> <ol style="list-style-type: none"> 1. a hard rock extraction and processing activity involving blasting is not carried out within: <ol style="list-style-type: none"> a. 40m of any boundary of the site; or b. 200m of Bulk Water Supply Infrastructure as identified on Overlay Map OM-09-A Regional Infrastructure Overlay - Water and Wastewater Infrastructure; or c. 1km of any residential premises not associated with the use, land included within a residential zone or other sensitive land uses; or 2. an extractive and/or processing activity not involving blasting is not carried out within: <ol style="list-style-type: none"> a. 30m of any boundary of the site; or b. 200m of Bulk Water Supply Infrastructure as identified on Overlay Map OM-09-A Regional Infrastructure Overlay - Water and Wastewater Infrastructure; or c. 500m of any sensitive land use not associated with the use, or land included within a residential zone; or 3. an extraction and/or processing activity is contained within the Resource and Processing area of the Key Resource Area (KRA), as shown in the State Planning Policy Guideline: Mining and Extractive Resources. <p><i>Note - a topographic feature providing a natural buffer between extractive and processing activities and a sensitive use may justify provision of a lesser setback distance.</i></p>
Amenity	
<p>PO2 The development protects existing visual amenity having regard to the characteristics of the site, the resource, the surrounding area and the character of the locality.</p>	<p>AO2 No acceptable outcome is prescribed.</p>
<p>PO3 An Extractive industry does not impact on the scenic qualities of the area and maintains significant vistas.</p>	<p>AO3 Extraction and processing activities are screened from view from any major road or any land included in a residential zone and adjacent sensitive land uses.</p>
Environmental Impacts	

PO4
 Environmental management requirements for the Extractive industry are properly identified in an Environmental Management Plan prepared by a suitably qualified person and submitted to Council that demonstrates appropriate management practices to protect environmental standards, by addressing the following:

1. Air quality;
2. Stormwater;
3. Noise;
4. Waste;
5. Water quality including, erosion and sedimentation control;
6. Stream bed and bank stability;
7. Landscape and rehabilitation;
8. Workplace procedures;
9. Emergency and hazard procedures;
10. Flora and fauna protection; and
11. Auditing and review.

AO4
 No acceptable outcome is prescribed.

Noise and Vibration

PO5
 An Extractive industry provides for blasting, crushing, screening and loading to be carried out safely and in accordance with best practice management standards so that disturbance to the amenity of surrounding land uses is minimised.

AO5
 Blasting and other operations are confined to the periods identified in **Table 9.3.6.3.3 (Extractive Industry Operations Periods)**.

Table 9.3.6.3.3 Extractive Industry Operation Periods

Column 1 Extractive Industry Activity	Column 2 Hours of Operation
Blasting operations	9am to 5pm Monday to Friday. No operations Saturday, Sunday or public holidays.
Other operations	6am to 7pm Monday to Friday. 7am to 4pm Saturday No operations Sunday or public holidays.

Note - maintenance of plant equipment and vehicles may occur outside of the hours of operation prescribed in the above table provided it can be demonstrated that the use will comply with the outcomes of the General Development Provisions Code.

Note - Extractive industry operations, both permanent or temporary, may only occur outside of the hours of operation specified in the above table provided that it can be demonstrated that the use will comply with the outcomes of the General Development Provisions Code

Water Quality

PO6
 An Extractive industry provides on-site drainage that is

AO6.1
 Diversion channels are constructed to divert clean

designed, constructed and maintained so as to: 1. avoid erosion; 2. prevent pollution of groundwater and surface water; 3. protect downstream water quality; and 4. provide opportunities to recycle water for reuse in processing, washing and/or screening materials, dust suppression and on product stockpiles, overburden stockpiles, revegetation or rehabilitation areas and wheel wash facilities.	stormwater away from extraction and disturbed areas.
	AO6.2 Sediment basins are provided as required to detain stormwater from extraction and disturbed areas to ensure no off-site discharge causes environmental harm.
	AO6.3 Bunding, treatment and disposal of wastes ensures no environmental harm is caused.
	AO6.4 Lining or other suitable treatment of erosion prone areas is established and maintained at discharge points.
Roads	
PO7 The safety and amenity of residential uses fronting the haulage route is not compromised through dust and extracted materials on roads.	AO7 No acceptable outcome is prescribed. Note - Fulfilment of this performance outcome may include that: <ol style="list-style-type: none"> 1. the load is covered; and 2. wheel cleaning equipment is used to prevent wastes, stone and soil adhering to wheels and being deposited on access roads.
PO8 Vehicle access to, from, and within the Extractive industry site is provided to: <ol style="list-style-type: none"> 1. be adequate for the type and volume of traffic generated; 2. not create or worsen any traffic hazard; 3. not have adverse effects on the amenity of the locality; and 4. ensure disturbance to surrounding land uses is minor and that impacts from emissions are minimised. 	AO8.1 The proposed haulage route to and from the site is along sealed roads and does not require heavy vehicles to traverse residential or rural residential streets.
	AO8.2 The haulage route is on roads that are designed and constructed to a standard to meet the needs of the traffic generated by the use without compromising the safety and amenity of residential uses fronting the haulage route.
Public Safety	
PO9 An Extractive industry is designed and operated to minimise impacts on the safety of persons not associated with the use.	AO9 Fencing that is 1.8 metre in height is erected and maintained to prevent unauthorised access to active areas including: <ol style="list-style-type: none"> 1. roads; 2. excavation areas (excluding rehabilitated areas); 3. buildings and machinery; and 4. any areas which may pose a health or safety risk to persons.
Rehabilitation	
PO10 Rehabilitation of an Extractive industry site achieves: <ol style="list-style-type: none"> 1. restoration and rehabilitation of excavated areas progressively over the life of the development to achieve a stable and environmentally sustainable landform that is suitable for a future land use; 	AO10.1 The Extractive industry provides for all rehabilitation works to be undertaken in accordance with an approved final landform design and site rehabilitation plan prepared by a suitably qualified person (Master Rehabilitation Plan).

<ol style="list-style-type: none"> 2. progressive/staged rehabilitation works that minimises the visual impact of large tracts of extracted areas; 3. appropriate clean-up works (taking particular account of areas of possible soil contamination); 4. an agreed landform and soil profiles; 5. suitable revegetation; 6. provision of suitable financial bonds to ensure rehabilitation works occur; 7. the rehabilitation, with native riparian vegetation, of streams, creeks and drainage lines; and 8. the removal and proper disposal of machinery, rubbish, stockpiles, site office and other infrastructure resulting from the use. 	<p>AO10.2 A Master Rehabilitation Plan will include:</p> <ol style="list-style-type: none"> 1. general rehabilitation actions and concepts; 2. indicative staging of proposed operations over the entirety of the area subject to approval; 3. criteria for preparation of Detailed Rehabilitation Plans for each stage including: <ol style="list-style-type: none"> a. all technical aspects of rehabilitation including restoration works, earthworks and re-vegetation works including plant species and densities; b. erosion and sediment control actions associated with restoration; c. anticipated life of the stage and any progressive rehabilitation works planned; d. any on-going maintenance for the applicable stage; and e. accurate boundaries for each applicable stage; 4. Criteria for the provision of suitable financial bonds to ensure the effective return of disturbed areas to acceptable land use suitability including: <ol style="list-style-type: none"> a. the submission of a rehabilitation bond prior to the commencement of each stage; b. the bond to be based on an anticipated full rehabilitation cost for the stage area by a third party; and c. provisions for the annual review of the bond taking into account CPI, actual excavated area and rehabilitation works completed; and 5. A process for the approval by Council of detailed Rehabilitation Plans prior to the commencement of each stage.
<p>PO11 Rehabilitation allows for:</p> <ol style="list-style-type: none"> 1. the use of any water bodies created through the extraction process, having regard to water quality, hydraulic conditions, land form and vegetation; 2. the safety of the public and native fauna; 3. appropriate water depth and batter slopes, which can support aquatic vegetation; and 4. water quality of a standard which can support aquatic vertebrates and invertebrates. 	<p>AO11 No acceptable outcome is prescribed.</p>

9.3.7 General Development Provisions Code



9.3.7.1 Application

This code applies to development identified as requiring assessment against the General Development Provisions Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.7.2 Purpose

1. The purpose of the General Development Provisions Code is to ensure development maintains community health and well-being, and protects environmental values by preventing or mitigating environmental emissions.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development;
 - i. ensures adjacent lands and environmental values are protected by preventing or minimising emissions that have the potential to cause environmental harm or environmental nuisance resulting from the release of contaminants, particularly noise, odour, light, dust and particulates;
 - ii. maintains neighbouring amenity and lifestyle values;
 - iii. operates in a manner that protects the health of the community both on and adjacent to the site;
 - iv. manages waste and recyclables to protect the health and amenity of persons;
 - v. being a sensitive land use, does not impact on the operation or long term viability of adjacent existing lawful uses;
 - vi. does not impact on stormwater flooding or the drainage of properties external to the site;
 - vii. is provided with sufficient on-site wastewater disposal, that is determined by a suitably qualified person, to meet the needs of residents and users; and
 - viii. is provided with sufficient on-site water supply to meet the needs of the development where located outside a drinking water connection area.

Table 9.3.7.3.1— Criteria for Assessable Development Only

Performance Outcomes	Acceptable Outcomes		
Acoustic Amenity and Noise			
PO1 Development is located, designed, constructed and operated to ensure that noise emissions do not cause environmental harm or environmental nuisance to sensitive receivers. <i>Note - this performance outcome also applies to noise emissions generated by sensitive land uses, from sources such as communal areas, service areas, plant and equipment.</i>	AO1 1. Development involves activities that are inaudible from an adjacent sensitive receiver or would not cause noise related environmental harm or environmental nuisance sensitive receiver; or 2. The emission of noise from the premises must not exceed the following levels:		
	Time Period	At A Sensitive Land Use	At Commercial Premises

	7:00am-10:00pm	Background +5dB(A)	Background +10dB(A)
	10:00pm-7:00am (sleeping areas)	35dB(A)	Background +8dB(A)
	10:00pm-7:00am (living areas)	40dB(A)	Background +8dB(A)
	10:00pm-7:00am (unless otherwise specified)	Background +3dB(A)	Background +8dB(A)
	<p>Note -</p> <ol style="list-style-type: none"> Levels are measured as the adjusted maximum sound pressure level as defined in the Noise Measurement Manual (Environmental Protection Agency, 2000). Noise generated from vehicle movements on the site, including noise from entering or exiting the vehicle, shall not be considered when assessing the Acceptable Outcome AO1. Background=LA90 <p>or;</p> <ol style="list-style-type: none"> Development achieves the Acoustic Quality Objectives for Sensitive Receptors listed within the Environmental Protection (Noise) Policy 2008. <p>Note - where the adjacent sensitive land use is not listed in the Environmental Protection (Noise) Policy 2008, the development will achieve the noise levels specified in AO1 (2)</p>		
PO2 Air conditioning units, refrigeration units and any other form of mechanical ventilation or extraction systems do not adversely impact on the acoustic amenity of surrounding sensitive receivers.	AO2 Roof-top mounted plant and equipment is located away from surrounding sensitive land uses and is acoustically shielded to maintain the background noise levels (L90) at the nearest sensitive receiver.		
PO3 Development does not involve activities that would cause vibration related environmental harm or environmental nuisance to a sensitive receiver.	AO3 No Acceptable Outcome is prescribed. Editor's Note - the proponent may need to obtain a vibration impact assessment or alternatively include vibration details within an environmental impact report for the site which demonstrates that the acceptable outcomes come be achieved.		
Air Emissions - Dust, Particulates and Odour			
PO4 Development (excluding Intensive animal industry) is sited, designed and operated to avoid the generation of odour emissions of a level that have the potential to cause environmental harm to a sensitive receiver. Editor's Note - The Intensive Animal Industry Code contains the assessment benchmarks for Air Emissions - Dust, Particulates and Odour applicable to Intensive animal industries.	AO4 No Acceptable Outcome is prescribed. Note - An applicant is likely to be required to provide an Assessment Report prepared by a suitably qualified person in relation to odour impacts. The assessment is to be prepared in accordance with the Guideline - Odour Impact Assessment for Developments - Department of Environment and Heritage Protection, for modelled odour concentrations.		
PO5	AO5		

<p>Development (excluding Intensive animal industry) does not create dust or particulate nuisance at any point beyond the boundary of the site.</p> <p>Editor's Note - <i>The Intensive Animal Industry Code contains the assessment benchmarks for Air Emissions - Dust, Particulates and Odour applicable to Intensive animal industries.</i></p>	<p>Development (excluding Intensive animal industry) does not involve activities that would cause dust related environmental harm or environmental nuisance; or</p> <p>Note - <i>in assessing potential dust emissions, consideration will include emissions from the use itself, on site unsealed roads or parking sites, and any other incidental source associated with the development.</i></p> <ol style="list-style-type: none"> 1. Development (excluding Intensive animal industry); <ol style="list-style-type: none"> a. does not result in particle emissions that exceed any of the acceptable levels specified within the Environmental Protection (Air) Policy 2008; b. generates dustfall, averaged over a 30 day period of time, that does not exceed 130mg/m²/day when measured at the site boundary. <p>Note - <i>An applicant is likely to be required to provide an Assessment Report prepared by a suitably qualified person in relation to dust and particulate impacts.</i></p> <p>Note - <i>Where development is likely to create ongoing significant dust issues an Applicant may be required to provide a 'site based management plan' which adequately addresses dust mitigation measures includes;</i></p> <ol style="list-style-type: none"> 1. <i>an adequate water supply available at all times in order to undertake proactive dust reduction measures e.g. watering of access roads;</i> 2. <i>areas within the site that are frequently used for vehicular purposes are imperviously sealed or treated to reduce dust emissions; and</i> 3. <i>activities undertaken on site that create dust are performed in an enclosed structure with suitable dust extraction and filtration systems.</i>
<p>PO6 Air emission vents or stacks are sited to ensure that surrounding land uses are not exposed to concentrated levels of air contaminants.</p>	<p>AO6 Exhaust stacks are located the maximum practical distance away from the boundary of the development site.</p>
<p>Outdoor Lighting and Glare</p>	
<p>PO7 Development does not impact on the amenity of nearby sensitive receivers as a result of light spill.</p>	<p>AO7.1 Development:</p> <ol style="list-style-type: none"> 1. provides no outdoor lighting as part of the development; or 2. provides only minor external lighting devices, located, designed and installed to: <ol style="list-style-type: none"> a. be consistent with and appropriate to the surrounding character and amenity; and b. minimise the impact of direct and indirect light spillage on surrounding sensitive land uses; or <p>Note - <i>Effective methods to comply with outcome AO7.1 (2) include:</i></p> <ol style="list-style-type: none"> a. <i>providing covers or shading around lights that prevent direct light spillage on neighbouring premises or roadways; or</i> b. <i>directing lights downwards to prevent direct</i>

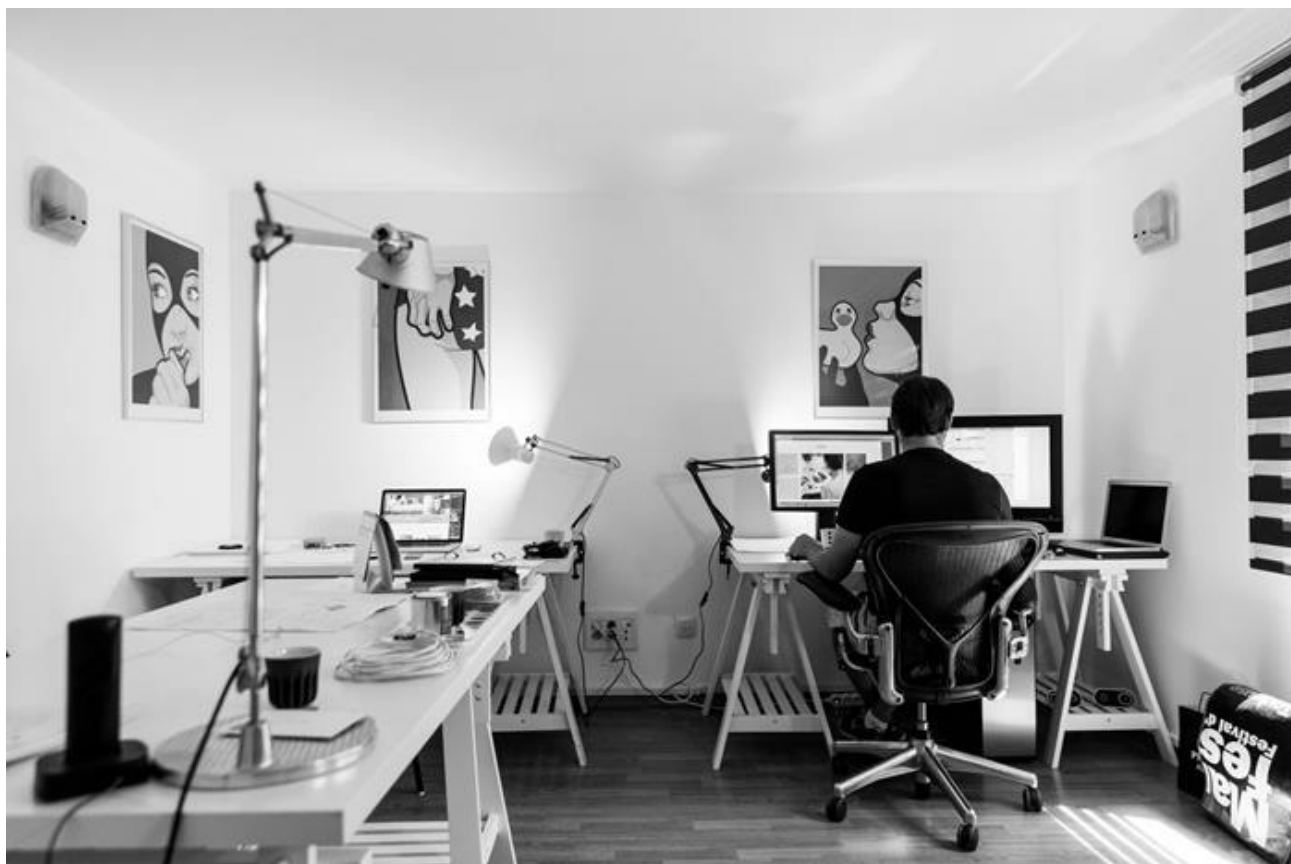
	<p><i>light spillage on neighbouring premises or road ways; and</i></p> <ul style="list-style-type: none"> c. <i>positioning and/or directing lights away from sensitive land uses; and</i> d. <i>enabling the brightness of lights to be adjusted to lower output levels where appropriate; and</i> e. <i>use of motion sensor lights or electronic controls to switch off lights when not required.</i> <p>3. provides external lighting which is compliant with the technical parameters, design, installation, operation and maintenance standards of the following as applicable:</p> <ul style="list-style-type: none"> a. outdoor lighting complies with the requirements of Australian Standard AS4282-1997 Control of the Obtrusive Effects of Outdoor Lighting; and b. sporting fields and sporting courts, comply with the requirements of Australian Standard AS4282-1997 — Control of the Obtrusive Effects of Outdoor Lighting and a compliance statement by a lighting designer has been provided in accordance with the Australian Standard (Section 4). <p>Note - <i>An applicant may be required to provide a lighting proposal and impact assessment (environmental and amenity) as part of the application to demonstrate that the lighting will not create nuisance issues for surrounding sensitive land uses.</i></p>
	<p>A07.2 Development operating at night;</p> <ul style="list-style-type: none"> 1. provides that the alignment of streets, driveways and parking areas avoid light from vehicle headlights falling directly upon any window or outdoor recreational area of adjacent residential dwellings; or 2. provides a solid screen fence prevents light from vehicle headlights falling directly upon any window or outdoor recreational area of adjacent residential dwellings.
<p>PO8 Development does not impact on the amenity of the surrounding area or cause nuisance as a result of glare or reflection.</p>	<p>A08 No Acceptable Outcome is prescribed.</p>
<p>Waste Management</p>	
<p>PO9 Development provides:</p> <ul style="list-style-type: none"> 1. sufficient area for the storage of waste and recyclables; and 2. for the separation of wastes to maximise alternatives to disposal. 	<p>A09.1 All waste produced on site is stored in approved containers of a sufficient capacity to receive all waste generated by the development.</p> <p>A09.2 Waste and recyclables are managed in accordance with the Waste Reduction and Recycling Act 2011.</p> <p>A09.3</p>

	<p>Waste and recyclables produced on site are managed in accordance with the waste and resource management hierarchy* specified in the Waste Reduction and Recycling Act 2011.</p> <p>*Editor's Note - The waste and resource management hierarchy is the following precepts, listed in the preferred order in which waste and resource management options should be considered—</p> <ol style="list-style-type: none"> a. <i>AVOID unnecessary resource consumption;</i> b. <i>REDUCE waste generation and disposal;</i> c. <i>RE-USE waste resources without further manufacturing;</i> d. <i>RECYCLE waste resources to make the same or different products;</i> e. <i>RECOVER waste resources, including the recovery of energy;</i> f. <i>TREAT waste before disposal, including reducing the hazardous nature of waste;</i> g. <i>DISPOSE of waste only if there is no viable alternative.</i>
<p>PO10 Development is designed to ensure that waste storage and collection can be undertaken in a safe and convenient manner.</p>	<p>AO10.1 Development:</p> <ol style="list-style-type: none"> 1. has a street frontage (exclusive of driveways) of 1 metre per 240L wheeled bin service required; or 2. provides waste container/s which are able to be accessed on site by collection vehicles being able to enter and leave the premises in forward gear, or sufficient and accessible road frontage exists to allow the containers to be placed kerbside for collection; or 3. provides an alternate storage and collection method for adequate storage capacity and safe collection of waste in accordance with the Waste Reduction and Recycling Act 2011. <p>AO10.2 Development provides unobstructed access to the container for removal of the waste by the local government or waste collection entity.</p> <p>AO10.3 Development, which includes the provision of roads including private or public roads, designs and constructs such roads to provide access by waste collection vehicles to each tenancy or the container storage area/s.</p>
<p>PO11 Development ensures the placement of waste containers does not create a health or amenity nuisance.</p>	<p>AO11 Development provides:</p> <ol style="list-style-type: none"> 1. a dedicated area for refuse storage that is screened or otherwise located to avoid visual impacts on streetscapes, public spaces and adjoining properties; and 2. an: <ol style="list-style-type: none"> a. elevated stand for holding all waste containers at the premises; or b. imperviously paved and drained area, upon which can be stood all waste containers at the premises; and c. a hose cock and hose in the vicinity of the

	stand or paved area.
<p>PO12 Putrescible waste generated as a result of the development does not cause odour nuisance issues for surrounding land uses.</p>	<p>AO12 Development stores all putrescibles waste in a manner that prevents odour nuisance and fly breeding and is disposed of at intervals not exceeding seven (7) days.</p> <p><i>Note - Examples of acceptable outcomes may, either permanently or as required, include:</i></p> <ol style="list-style-type: none"> a. storing putrescible waste at low temperatures; and/or b. increased frequency of collection to avoid the generation of odours.
<p>PO13 Development involving:</p> <ol style="list-style-type: none"> 1. reconfiguring of a lot creating 4 or more new lots; 2. the construction or demolition of buildings over 400m² GFA; 3. Multiple dwellings being 4 or more dwellings; 4. Intensive animal industry; 5. regulated waste; <p>manages waste and recycling from the development to ensure optimum resource recovery and waste minimisation.</p>	<p>AO13 Development provides and implements a Waste Management Plan (WMP) for pre-construction, construction and post-construction stages addressing:</p> <ol style="list-style-type: none"> 1. the management of waste and recyclables in accordance with the Waste Reduction and Recycling Act 2011; 2. waste and recyclables produced on site are managed in accordance with the waste and resource management hierarchy specified in the Waste Reduction and Recycling Act 2011; 3. optimisation of resource recovery; 4. waste minimisation and disposal procedures; 5. management of: <ol style="list-style-type: none"> a. construction and demolition waste; b. organic waste including vegetation clearing; c. hazardous waste; 6. ongoing waste and resource recovery measures to be provided once the development is operational; 7. access and infrastructure required to enable waste and recycling services to be effectively provided; and 8. review process for the WMP to allow for ongoing flexibility, adaptability and new innovation.
General Amenity	
<p>PO14 The use of vehicles associated with the development does not impact on the safe or convenient use of the road network.</p>	<p>AO14.1 Loading or unloading activities are undertaken within the site.</p>
	<p>AO14.2 Development provides that all vehicles associated with the use can be parked on the site.</p>
	<p>AO14.3 Development has access to the road network is via a constructed road.</p> <p><i>Note - Acceptable Outcome AO14.3 does not reduce or eliminate the need to comply with other Performance Outcomes that may require a higher or specific standard of road.</i></p>
Reverse Amenity	
<p>PO15 Development involving a sensitive land use in close proximity to existing lawful land uses that generate</p>	<p>AO15 No Acceptable Outcome is prescribed.</p>

<p>noise, dust, odour and other emissions, are located and designed to not impede the operation of the existing lawful use.</p> <p>Editor's Note - <i>Development design principles may include;</i></p> <ol style="list-style-type: none"> 1. <i>locating open space and roadways to increase separation distances;</i> 2. <i>use of dense landscaping as a visual and particulate barrier;</i> 3. <i>reducing residential densities adjacent to impacting sites;</i> 4. <i>building design, including air conditioning; and</i> 5. <i>providing barriers to impacting sites.</i> 	
Stormwater - Quantity	
<p>PO16 Stormwater quantity management outcomes demonstrate no adverse impact on stormwater flooding or the drainage of properties external to the subject site.</p>	<p>AO16.1 A site based stormwater quantity management plan (SQMP) is prepared by a suitably qualified person and demonstrates achievable stormwater quantity control measures for discharge during operational phases of development designed in accordance with the Queensland Urban Drainage Manual (QUDM).</p> <p>AO16.2 Stormwater flows discharged from development are either within the capacity of the downstream drainage system such that non-worsening occurs, or are mitigated to pre-development characteristics.</p>
On-site Wastewater Disposal	
<p>PO17 Where located outside a wastewater connection area, development is provided with sufficient on-site wastewater disposal, that is determined by a suitably qualified person, to meet the needs of residents and users.</p>	<p>AO17 No Acceptable Outcome is Prescribed</p>
On-site Water Supply	
<p>PO18 Where reticulated water supply is unavailable, the development is provided with sufficient on-site water supply to meet the needs of residents and users.</p>	<p>AO18 No Acceptable Outcome is Prescribed.</p>

9.3.8 Home Based Business Code



9.3.8.1 Application

This code applies to development identified as requiring assessment against the Home Based Business Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.8.2 Purpose

1. The purpose of the Home Based Business Code is:
 - a. to allow and encourage small scale business to establish and develop; and
 - b. to ensure business activities are integrated within a dwelling, whilst ensuring the primary use of the land remains residential and the amenity of the residential neighbourhood is maintained.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Home based business:
 - i. is domestic in scale and operates in a manner that is subservient and ancillary to the primary residential use on the premises;
 - ii. integrates visually with the surrounding built and natural environment;
 - iii. is managed so that impacts that have the potential to cause environmental harm or environmental nuisance are managed within the site itself;
 - iv. does not require the services, facilities, accessibility or amenities of a commercial or industrial centre or would not be more appropriately located in a commercial or industrial zone;
 - v. does not include Industrial Activities other than minor industrial activities in residential areas, or in close proximity to residential uses;
 - vi. operates in a manner that maintains acceptable standards to protect the health and amenity of the community both on and adjacent to the site; and
 - vii. immediately accesses a road of a standard that can safely carry traffic generated by the use.

9.3.8.3 Assessment Benchmarks

Table 9.3.8.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Scale and Operation	
PO1 The Home based business: <ol style="list-style-type: none"> is of a scale and nature that is consistent with that of a single dwelling; and maintains the safety and amenity of the locality and does not impact on the amenity of surrounding premises as a result of emissions including odour and noise. 	AO1.1 A Home based business; <ol style="list-style-type: none"> is carried out by residents of the dwelling and involves only one non-resident employee on the site at one time; is conducted entirely within the dwelling and/or any associated domestic outbuilding on the site; and stores equipment, goods and materials associated with the use inside the dwelling or associated domestic outbuilding.
	AO1.2 A Home based business does not: <ol style="list-style-type: none"> hire out materials, goods, appliances or vehicles stored on-premises; or involve the display of products that are visible from the site's road frontage or an adjoining property; or service or repair lawn mowers, outboard engines or motors; or store goods external to a building; or store chemicals, gases or other hazardous materials; or involve Industrial Activities other than minor industrial activities.
	AO1.3 Except for bed and breakfast or home based childcare, the total gross floor area used exclusively for all home based business activity on the site, including storage, is a maximum of 50m ² .
	AO1.4 With the exception of noise generated by the arrival and departure of vehicles to the premises, a Home based business does not generate any noise audible beyond the boundary of the site.
Advertising Devices	
PO2 The Home based business ensures that advertising devices are discrete and complementary to the character of the surrounding area.	AO2 Only 1 advertising device is displayed on the premises and the sign: <ol style="list-style-type: none"> has a maximum sign face area of: <ol style="list-style-type: none"> 0.3m² where located on a site not exceeding 2,000m² in area; or 0.5m² located on a site exceeding 2,000m² in area; is attached to a fence or wall; and is not illuminated, flashing, moving or rotating.
Operating Hours	
PO3 The operating hours of a Home based business:	AO3 A Home based business, other than for office activities,

<ol style="list-style-type: none"> is compatible with the nature and type of use on adjoining premises; and does not have an adverse impact on the amenity of adjoining residences. 	domestic boarding or a bed and breakfast, must only be conducted: <ol style="list-style-type: none"> between the hours of 7am to 7pm Monday to Saturday; and not on Sundays or public holidays.
Traffic	
PO4 Vehicles associated with and vehicle movements generated by a Home based business do not cause noise nuisance or generate more traffic than reasonably expected in the zone.	AO4.1 A Home based business does not involve or require the use of or visit by a vehicle larger than a small rigid vehicle.
	AO4.2 Loading or unloading activities are undertaken within the site.
	AO4.3 A Home based business does not generate more than 15 vehicle trips per day excluding vehicle trips of residents of the dwelling or employees.
Parking	
PO5 Sufficient on-site car parking is available to satisfy the needs of the Home based business.	AO5 A Home based business provides that all vehicles associated with the use can be, and are, parked on the site at all times.
Additional Matters - Bed and Breakfast	
PO6 A bed and breakfast is small-scale and subordinate to the Dwelling house or Dual occupancy and ensures: <ol style="list-style-type: none"> the primary function of the Dwelling house or Dual occupancy is retained; the number of residents, including permanent residents and guests, is consistent with the residential capacity of the dwelling; and the use is compatible with the character and built form expectations for development in the zone. 	AO6 A bed and breakfast: <ol style="list-style-type: none"> is conducted from a Dwelling house or Dual occupancy by a permanent resident of the dwelling; ensures at least one bedroom within the dwelling is excluded from use by guests; uses a maximum number of three (3) bedrooms per dwelling to accommodate guests; accommodates a maximum number of six (6) guests per dwelling at any one time; and is contained within a single building under the same roof and not in a separate building to the dwelling. <p><i>Editor's Note - A bed and breakfast includes a farm stay which involves short-term accommodation in a house occupied by residents of the farm.</i></p> <p><i>Editor's Note - See Short-term accommodation in regard to letting dwellings for tourists or travellers where the use is not conducted by a permanent resident of the dwelling.</i></p>
	PO7 Bed and breakfast accommodation is provided for short-term stay only.
PO8 Privacy is provided for guests of the bed and breakfast.	AO8 Guests are provided with a bedroom capable of being enclosed and secured to prevent visual or other intrusion by other persons.
PO9 Sufficient parking spaces are provided on the site to cater for guests of the bed and breakfast.	AO9 A minimum of 1 (one) on-site car parking space per guest bedroom is provided in addition to the car parking spaces required for a dwelling house or dual occupancy.

	<p>Note - car parking spaces may be provided in a tandem configuration, provided that all spaces are wholly contained within the site such that parked vehicles do not protrude into the road reserve.</p>
Additional Matters - Domestic Boarding	
<p>PO10 Domestic boarding is small-scale and subordinate to the Dwelling house or Dual occupancy and ensures:</p> <ol style="list-style-type: none"> 1. the primary function of the Dwelling house or Dual occupancy is retained; 2. the number of boarders is consistent with the residential capacity of the dwelling; and 3. the use is compatible with the character and built form expectations for development in the zone. 	<p>AO10 Domestic boarding:</p> <ol style="list-style-type: none"> 1. is conducted within a self-contained dwelling; 2. is conducted by a permanent resident of the dwelling; and 3. accommodates not more than three boarders at any one time.
<p>PO11 Privacy is provided for boarders.</p>	<p>AO11 Boarders are provided with a bedroom capable of being enclosed and secured to prevent visual or other intrusion by other persons.</p>

Editor's note -

Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a home based business to operate. Home based businesses, in certain circumstances and locations may also require:

- an Approval pursuant to Councils local laws, particularly accommodation and food uses
- development approval being a building or plumbing permit

When considering commencing a home based business, contact Council for further details

9.3.9 Intensive Animal Industry Code



9.3.9.1 Application

This code applies to development identified as requiring assessment against the Intensive Animal Industry Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.9.2 Purpose

1. The purpose of the Intensive Animal Industry Code is to ensure Intensive animal industry uses are located, designed and managed to protect:
 - a. environmental and landscape values; and
 - b. the amenity of the surrounding locality.
2. The purpose of the Intensive Animal Industry Code will be achieved through the following overall outcomes:
 - a. An Intensive animal industry:
 - i. is appropriately separated from land in a residential zone, Urban Area or Investigation Area (shown on **Strategic Framework Map SFM-01: Communities and Character**) to avoid any adverse impacts on the amenity and character of these areas;
 - ii. is on a site of sufficient area and located, designed and managed so as not to generate emissions of a level that have the potential to adversely impact the amenity of a sensitive land use or a place known or likely to become a sensitive land use in the future¹;
 - iii. is located, designed and managed to avoid adverse impacts on the environmental values of the locality including the water quality of receiving waters;
 - iv. is located and designed to avoid adverse impacts on the landscape character and scenic amenity values of the locality, and visually integrates with the surrounding landscape; and
 - v. obtains access from roads of a standard that can safely carry the traffic anticipated to be generated by the development.

¹ Refer to the **Note** in Performance Outcome 1 for the parameters to consider in the determination of a "place known or likely to become a sensitive land use in the future".

9.3.9.3 Assessment Benchmarks

Table 9.3.9.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Siting and Location	

<p>PO1 The Intensive animal industry is located on a site which has sufficient area to:</p> <ol style="list-style-type: none"> 1. accommodate the use (including all buildings, structures and waste disposal areas involved in the use); and 2. provide adequate setbacks to road frontages and side and rear boundaries, waterways and wetlands and, if a poultry farm, other poultry farms; <p>so as not to have an adverse impact on the amenity of a sensitive land use or a place known or likely to become a sensitive land use in the future*.</p> <p><i>*Note - When determining a "place known or likely to become a sensitive land use in the future", and its location on adjacent lands, the following matters must be considered and demonstrated:</i></p> <ol style="list-style-type: none"> 1. any current development approvals or development applications; 2. the current zoning; 3. the likely location of future dwellings; 4. the availability of a minimum area of 2ha (in one contiguous area) to locate the uses; 5. any development constraints applicable to the land which may limit where a sensitive land use can be located (including but not limited to bushfire hazard, flooding and steep slope); 6. the reasonable construction and delivery of internal infrastructure (including internal driveways and electricity connection); and 7. the availability of a development footprint of reasonable shape and dimension to allow for the future uses. 	<p>AO1.1 Development (excluding poultry farms):</p> <ol style="list-style-type: none"> 1. for the number of animals to be kept, is located on a site which complies with the minimum area, and minimum setbacks to side and rear boundaries and constructed roads provided in Table 9.3.9.3.2 Standards for Small Scale Intensive Animal Industry; or 2. for the number of animals to be kept, is located on a site which complies with the minimum area, and minimum setbacks to side and rear boundaries and constructed roads provided in Table 9.3.9.3.4 Standards for Assessable Intensive Animal Industry.
	<p>AO1.2 Development involving a poultry farm with less than 1000 birds, is located on a site which complies with the minimum area, and minimum setbacks to side and rear boundaries and constructed roads provided in Table 9.3.9.3.2 Standards for Small Scale Intensive Animal Industry.</p>
	<p>AO1.3 Development involving a poultry farm with 1000 birds or more:</p> <ol style="list-style-type: none"> a. is located on a site having a minimum area of 100ha; and b. can site the poultry farm complex to comply with the minimum setbacks provided in Table 9.3.9.3.5 - Poultry Farming Setback Distances.

Environmental Impacts

<p>PO2 Appropriate separation distances are maintained between Intensive animal industries and waterways and wetlands to ensure water quality is maintained and protected.</p>	<p>AO2.1 Development (excluding poultry farms):</p> <ol style="list-style-type: none"> 1. for the number of animals to be kept, is located on a site which complies with the minimum setbacks to waterways and wetlands provided in Table 9.3.9.3.2 Standards for Small Scale Intensive Animal Industry; or 2. for the number of animals to be kept, is located on a site which complies with the minimum setbacks to waterways and wetlands provided in Table 9.3.9.3.4 Standards for Assessable Intensive Animal Industry. <p><i>Note - The setbacks to waterways or wetlands of the Water Resource Catchments Overlay will apply to development in the Water Supply Buffer Area in Water Resource Catchments Overlay Maps OM 10.1-4.</i></p>
	<p>AO2.2 Development involving a poultry farm with 1000 birds or more is located on a site which complies with the minimum setbacks to waterways and wetlands provided in Table 9.3.9.3.5 - Poultry Farming Setback Distances.</p>

Note - The setbacks to waterways or wetlands of the Water Resource Catchments Overlay will apply to development in the Water Supply Buffer Area in **Water Resource Catchments Overlay Maps OM 10.1-4**.

Facilities and Infrastructure

<p>PO3 An Intensive animal industry is located on a site which has access to a reliable water supply.</p>	<p>AO3 Development is provided with a reliable water supply, which has the capacity to store a minimum two week supply for: 1. drinking water for the animals; and 2. water for cleaning and maintenance.</p>
<p>PO4 An Intensive animal industry obtains access from a road and transport route which: 1. can safely carry the number and types of vehicles generated by the development; and 2. has a pavement design, standard and width that can carry the additional number and types of vehicles generated by the development.</p>	<p>AO4 Development is located on a site which has direct access to a constructed road.</p>

Table 9.3.9.3.2 Standards for Small Scale Intensive Animal Industry

Number of animals kept	Minimum site area (hectares)	Minimum setback to side and rear boundaries (metres)	Minimum setback to a constructed road (metres)	Minimum setback to a water way or wetland (metres)	Minimum setback to a Water supply (well, bore &/or dam) used for human consumption (metres)	Upper flood margin level of an urban water supply storage (metres)
Cattle (Standard Units)						
1-10	5	50	50	50	50	800
10-50	20	100	100	50	50	800
51-149	50	150	150	100	50	800
Pigs (Standard Pig Units)						
1	1	15	20	20	50	800
2-10	10	50	100	50	50	800
11-50	50	200	200	50	50	800
Goats, Sheep, Alpaca and Llama in total						
1-50	5	50	50	50	50	800
51-300	20	100	100	50	50	800
301-999	40	150	100	100	50	800
Ostrich and Emu in total						
1-10	0.8	20	50	20	50	800
11-20	5	50	50	50	50	800
21-50	10	100	100	50	50	800
51-149	40	150	100	100	50	800

Poultry in total						
101-500	5	50	50	50	50	800
501-999	10	100	100	50	50	800
Quail or Pheasant in total						
1-999 #	5	50	50	50	50	800

! Editor's Note - The keeping of up to 100 poultry is defined as domestic animals. Local laws regulate the type, number, lot size and standards for the keeping of poultry as domestic animals.

Editor's Note - Where keeping of quail or pheasant is for egg or meat production. Local laws regulate quail kept in aviaries as domestic animals including the number, lot size and keeping standards.

Table 9.3.9.3.3— Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
Siting and Location	
PO1 The Intensive animal industry is located on land which has suitable terrain and is sufficiently elevated to facilitate ventilation and drainage.	AO1 Development is not located: <ol style="list-style-type: none"> on land exceeding 10% slope; or in the defined flood event; or in an overland flow path.
PO2 An Intensive animal industry is appropriately separated from land in a residential zone, Urban Area or Investigation Area (shown on Strategic Framework Map SFM-01: Communities and Character) to avoid any adverse impacts on the amenity and character of these areas.	AO2 An Intensive animal industry involving an Environmentally Relevant Activity, is located a minimum distance of 2,500 metres from land included in a residential zone, Urban Area or Investigation Area (shown on Strategic Framework Map SFM-01: Communities and Character).
PO3 The Intensive animal industry is located to conserve the productive characteristics of Agricultural Land Classification (ALC) Class A and Class B land (shown on Overlay Map OM-01 - Agricultural Land Overlay).	AO3 Buildings are not located on ALC Class A or Class B land (shown on Overlay Map OM-01 - Agricultural Land Overlay).
Environmental Impacts	
PO4 The Intensive animal industry avoids adverse impacts on the water quality of any receiving waters arising from: <ol style="list-style-type: none"> the release of sediment, nutrients, chemicals or other pollutants; the alteration of stormwater quality and hydrological processes; and waste water. 	AO4 No Acceptable Outcome provided.
PO5 Liquid and solid waste disposal including carcass disposal does not result in environmental harm or environmental nuisance or adversely impact water quality of receiving waters.	AO5 No Acceptable Outcome provided.
PO6 The Intensive animal industry avoids adverse impacts on the water quality of any receiving waters arising from: <ol style="list-style-type: none"> the release of sediment, nutrients, chemicals or 	AO6 No Acceptable Outcome is prescribed.

<p>other pollutants; 2. the alteration of stormwater quality and hydrological processes; and 3. waste water.</p>	
<p>PO7 The Intensive animal industry is located, designed and managed so as not to generate odour emissions of a level that has the potential to cause environmental harm or environmental nuisance at a sensitive land use or a place known or likely to become a sensitive land use in the future.</p> <p>Note - When determining a "place known or likely to become a sensitive land use in the future", and its location on adjacent lands, the following matters must be considered and demonstrated:</p> <ol style="list-style-type: none"> 1. any current development approvals or development applications; 2. the current zoning; 3. the likely location of future dwellings; 4. the availability of a minimum area of 2ha (in one contiguous area) to locate the uses; 5. any development constraints applicable to the land which may limit where a sensitive land use can be located (including but not limited to bushfire hazard, flooding and steep slope); 6. the reasonable construction and delivery of internal infrastructure (including internal driveways and electricity connection); and 7. the availability of a development footprint of reasonable shape and dimension to allow for the future uses. <p>¹Note - Use of site-specific meteorological data, obtained through a suitably configured and on-site weather station, deployed for a minimum of 12 months, is required to confirm local weather behaviour and inform the odour report.</p> <p># Editor's Note - Where keeping of quail or pheasant is for egg or meat production. Local laws regulate quail kept in aviaries as domestic animals including the number, lot size and keeping standards.</p>	<p>A07.1 For poultry farms involving 300,000 birds or less, development is located to meet the separation distances as determined using the S-factor* methodology to:</p> <ol style="list-style-type: none"> 1. a sensitive land use, or a place known or likely to become a sensitive land use in the future, in a rural zone; and 2. the boundary of a non-rural zone. <p>*Note - S-factor must be calculated in accordance with Queensland Guidelines Meat Chickens Farms: Appendix 2 - Calculating separation distances.</p> <p>Note - Where the separation distance required by the S-factor formula cannot be achieved, or the poultry farm involves more than 300,000 birds, a site-specific plume dispersion modelling must be conducted to address A07.2-A07.4.</p> <p>Note - Applies to the keeping of quail for egg or meat production Local laws regulate quail kept in aviaries as domestic animals including the number, lot size and keeping standards.</p> <p>A07.2 Where adjacent to a site that contains a sensitive land use, an Intensive animal industry is located, designed and managed to ensure that odour concentrations do not exceed 2.5 odour units, 1-hour average, 99.5th percentile¹:</p> <ol style="list-style-type: none"> 1. within 200m of the existing adjacent sensitive land use; and 2. over more than 50% of the area of the adjacent site. <p>AND</p> <p>A07.3 Where adjacent to a site that does not contain a sensitive land use, an Intensive animal industry is located, designed and managed to ensure that odour concentrations do not exceed 2.5 odour units, 1-hour average, 99.5th percentile¹:</p> <ol style="list-style-type: none"> 1. over more than 50% of the area of the adjacent site; and 2. where involving a site less than 20ha, at a place on the adjacent site known or likely to become a sensitive land use in the future[#]. <p>AND</p> <p>A07.4 An Intensive animal industry is located, designed and managed to ensure that odour concentrations do not exceed 1 odour unit, 1-hour average, 99.5th percentile¹ at the boundary of land in a non-rural zone.</p>
<p>PO8 The Intensive animal industry does not generate emissions (in terms of dust, noise and lighting) of a level</p>	<p>A08.1 Development does not cause environmental harm or environmental nuisance to adjacent properties by</p>

that has the potential to cause environmental harm or environmental nuisance at any point beyond the boundary of the site.	ensuring: <ol style="list-style-type: none"> access points and roads are located to minimise noise impacts to adjoining properties; and the design and siting of all mechanical equipment including fans, pneumatic feed systems and other equipment, minimises the generation of mechanical noise and the potential for off-site vibration.
	AO8.2 All external lighting is designed and operated in accordance with the Australian Standard AS4282: The Control of Obtrusive Effects of Outdoor Lighting.
	AO8.3 Development: <ol style="list-style-type: none"> does not result in particle emissions that exceed any of the acceptable levels specified within the Environmental Protection (Air) Policy 2008 at any point beyond the site boundary; and generates dust fall, averaged over a 30 day period of time, that does not exceed 130mg per m² per day when measured at any point beyond the site boundary.
Amenity	
PO9 Buildings and structures associated with the Intensive animal industry are sited and designed to avoid adverse impacts on the scenic amenity and landscape character of the surrounding area.	AO9 Buildings associated with the development are finished externally in muted natural colours so as to visually blend with the surrounding rural and natural environment. <i>Editors' Note - colours may include greens and light browns.</i>

Table 9.3.9.3.4 Standards for Assessable Intensive Animal Industry

Maximum number of animals kept	Minimum site area (hectares)	Minimum setback to any side boundary (metres)	Minimum setback to a waterway or wetland (metres)	Minimum setback to a water supply (well, bore &/or dam) used for human consumption (metres)	Upper flood margin level of an urban water supply storage (metres)
Cattle (Standard Cattle Units)					
150-500	40	250	50	100	800
500+	150	500	100	100	800
Pigs (Standard Pig Units)					
51-400	80	250	50	100	800
Goats, Sheep, Alpaca and Llama (all measured as Standard Sheep Units) in total					
1000+	40	200	100	100	800
Ostrich and Emu in total					
150+	40	150	100	100	800
Quail or Pheasant in total					

1000+ #	10	50	100	50	800
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Editor's Note - The keeping of quail for egg or meat production. Local laws regulate quail kept in aviaries as domestic animals including the number, lot size and keeping standards.

Table 9.3.9.3.5 - Poultry Farming Minimum Boundary Setbacks

Aspect	Distance in Metres (measured from poultry farm building complex to relevant aspect)
Areas of Environmental Interest	
Surveyed bank of a permanent water course	100
Water supply dam	250
Upper flood margin level of an urban water supply storage	800
Wetlands	250
Other surface waters (not covered by other categories)	100
Constructed road	Road carrying >50 vehicles per day — 200 Road carrying <50 vehicles per day - 100
Another poultry farm	1 kilometre between new and existing meat chicken farm complexes and any alternative form of intensive farming (chickens, turkeys, guineafowl, ducks, geese, quails, pigeons, pheasants, partridges, ostriches and emus reared or kept in captivity); 5 kilometres between a meat chicken farm complex and a meat chicken breeder farm.

9.3.10 Intensive Horticulture and Wholesale Nursery Code



9.3.10.1 Application

This code applies to development identified as requiring assessment against the Intensive Horticulture and Wholesale Nursery Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.10.2 Purpose

1. The purpose of the Intensive Horticulture and Wholesale Nursery Code is to ensure development is appropriately located and operated in a manner which minimises adverse amenity and environmental impacts.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Intensive horticulture and Wholesale nurseries:
 - i. are appropriately sited and operated according to the type of proposed use and surrounding existing and planned uses;
 - ii. provide for appropriate separation distances to site boundaries or other mitigation measures to minimise land use conflict;
 - iii. are of a scale and intensity that is compatible with the preferred character of the zone and local area;
 - iv. are managed so that significant environmental impacts are contained within the site itself; and
 - v. ensure access roads are of a standard that can safely carry traffic generated by the development having regard to the type and frequency of existing traffic movement on access roads.

9.3.10.3 Assessment Benchmarks

Table 9.3.10.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Siting and Location	
PO1 Development is located on a site which has sufficient area to: <ol style="list-style-type: none"> provide for an adequate setback of operations from road frontages and site boundaries; and mitigate environmental nuisance within its site and is compatible with the character and built form expectations for development in the zone. 	AO1.1 Development in the Rural Zone has a minimum site area of 5 ha.
	AO1.2 Development provides that structures associated with the use are set back a minimum of: <ol style="list-style-type: none"> 40 metres from the front boundary of the site; and 15 metres from the side and rear boundaries of the site.
	AO1.3 Development provides that, other than structures specified in AO1.2 , all development is set back a minimum of: <ol style="list-style-type: none"> 20 metres from the front boundary of the site; and 10 metres from the side and rear boundaries of the site.
	AO1.4 Where any plants or plant material are removed from the site, the site is directly accessed from a constructed road.

Table 9.3.10.3.2— Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
Siting and Location	
PO1 Development is located on a site which has sufficient area to: <ol style="list-style-type: none"> provide for an adequate setback of operations from road frontages and site boundaries; and mitigate environmental nuisance within its site and is compatible with the character and built form expectations for development in the zone. 	AO1.1 Development in the Rural Zone has a minimum site area of 5 ha.
	AO1.2 Development provides that structures associated with the use are set back a minimum of: <ol style="list-style-type: none"> 40 metres from the front boundary of the site; and 15 metres from the side and rear boundaries of the site.
	AO1.3 Development provides that, other than structures specified in AO1.2 , all development is set back a minimum of: <ol style="list-style-type: none"> 20 metres from the front boundary of the site; and 10 metres from the side and rear boundaries of the site.
	AO1.4 Where any plants or plant material are removed from the site, the site is directly accessed from a constructed road.
Scale	

<p>PO2 The scale of buildings and structures associated with the development maintains the rural or semi-rural landscape amenity and rural character of the surrounding area.</p>	<p>AO2 Buildings and structures associated with the development have a maximum site coverage of: 1. 10% in the Rural Zone; or 2. 5% in any other zone.</p>
Environmental Impacts	
<p>PO3 A development, being a mushroom farm, does not cause environmental harm or environmental nuisance at any point beyond the site boundary.</p> <p><i>Editor's Note - A mushroom farm does not involve the manufacturing of substrate. Manufacturing substrate for mushroom growing is defined as High impact industry. An Odour Impact Report prepared by a suitably qualified person is likely to be required to demonstrate compliance with this outcome.</i></p>	<p>AO3 No Acceptable Outcome is prescribed.</p>
Water Quality	
<p>PO4 Development incorporates best practice water quality management and retains all impacted run off on the subject site, or treats run off to acceptable standards before leaving the site.</p>	<p>AO4 No Acceptable Outcome is prescribed.</p>
Roads	
<p>PO5 Development is accessed via a road that is of a standard to adequately cater for the traffic generated by the use without causing traffic hazards, damage to the road or dust nuisance to persons or property not connected with the use.</p>	<p>AO5 Development is located on a site which has constructed road access suitable for the number and type of vehicles associated with the use.</p>
Waste Management	
<p>PO6 Development provides that disposal of waste water does not have an adverse effect on the environment.</p>	<p>AO6 Development: 1. which involves the pre-treatment of liquid waste provides that: a. noise generating equipment is acoustically baffled to reduce noise; and b. covers are provided over odour generating processes with odour stripping of waste air; 2. which involves industrial on-site treatment systems provides that the associated off-site sludge disposal is to an approved waste disposal facility; 3. does not result in discharges to local streams, waterways, natural wetlands or dry watercourses; 4. does not involve bulk storage of hazardous or toxic liquids or gases (e.g. bulk chlorine); and 5. provides that liquid wastes that cannot be disposed of to a sewerage system are to be disposed of off-site to an approved waste disposal facility.</p>

9.3.11 Market Code



9.3.11.1 Application

This code applies to development identified as requiring assessment against the Market Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.11.2 Purpose

1. The purpose of the Market Code is to ensure Markets are appropriately located and are undertaken in a safe and efficient manner and minimises off-site impacts.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. A Market:
 - i. is co-located with existing community facilities or commercial activities;
 - ii. is conducted at a frequency that is compatible with the character of the local area;
 - iii. is managed so that significant environmental impacts are contained within the site itself and do not cause nuisance to neighbouring and nearby sensitive receivers;
 - iv. is established where infrastructure and services are available or can easily be provided to meet the needs of users; and
 - v. does not cause unacceptable impacts on safety, off site amenity, health or infrastructure including the road network as a result of traffic movements and parking.

9.3.11.3 Assessment Benchmarks

Table 9.3.11.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Siting and Location	
PO1 The frequency of operation of a Market does not adversely impact the amenity of the locality, particularly	AO1 A Market is conducted not more than two days in any calendar month and not more than two consecutive

for residents and persons in the vicinity.	days. <i>Note - Conducting a market does not include set-up and dismantling of a market where no retail activity occurs</i>
PO2 A Market provides adequate access to amenities.	AO2 Public toilets: <ol style="list-style-type: none"> 1. are provided within the area of a Market or are located within 200m of a Market; 2. remain open and accessible for use during Market hours including set-up and dismantling activities; 3. are maintained in a clean, safe and tidy state; and 4. are identified by directional signage indicating their location.
Amenity	
PO3 A Market is operated at times that does not adversely impact the amenity of neighbouring and nearby sensitive receivers.	AO3 A Market, including setup and dismantling, operates between the hours of 5.00am and 10.00pm.
Environmental Impacts	
PO4 A Market does not cause noise nuisance to neighbouring and nearby sensitive receivers.	AO4 The use of amplified music, megaphones, public address systems and noise generating plant and equipment does not occur between the hours of 9.00pm-7.00am.
Lighting and Glare	
PO5 A Market does not cause light nuisance to neighbouring and nearby sensitive receivers.	AO5 Any temporary lighting is turned off or dismantled immediately on closure of a Market.

9.3.12 Medium Density Residential Uses Code



9.3.12.1 Application

This code applies to development identified as requiring assessment against the Medium Density Residential Uses Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.12.2 Purpose

1. The purpose of the Medium Density Residential Uses Code is to ensure that medium density residential activities are high quality, attractive and well-designed to provide residents with a high quality living environment and to make a positive contribution to the amenity of the neighbourhood.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. development:
 - i. is designed to create attractive and high quality buildings that add visual interest to the streetscape and contribute positively to the character of a neighbourhood;
 - ii. supports the provision of housing diversity for various household types to meet the existing and future needs of the community;
 - iii. is designed to address the street and public spaces and integrate with neighbouring residential premises;
 - iv. provides a high standard of privacy and amenity for occupants and residents of adjoining residential premises;
 - v. provides private and communal open space that is adequate and useable to service the recreational needs of residents;
 - vi. is designed and orientated to promote a safe environment within the site, adjoining streets and public spaces, including safe and convenient pedestrian and vehicle access to and from the site;
 - vii. incorporates and is supported by infrastructure and services commensurate with the scale of the use and its location;
 - viii. being Non-resident workforce accommodation, is limited to short or medium term accommodation required in conjunction with a specific large-scale project.
 - ix. larger Retirement facilities and Residential care facilities and other similar high density residential developments are established in localities that have access to an appropriate level of services and infrastructure to cater for the needs of the future residents of these facilities, and also to ensure that their scale and intensity does not detrimentally impact the communities in which they are located.

9.3.12.3 Assessment Benchmarks

Table 9.3.12.3.1 — Criteria for Assessable Development - Multiple dwelling, Residential Care Facility, Retirement Facility and Rooming Accommodation

Performance Outcomes	Acceptable Outcomes
Design and Appearance	
PO1 Development is designed to: <ol style="list-style-type: none"> create visual interest and contribute positively to the streetscape and character of the area; and visually integrate with the desired built form of the area as expressed by the zone. 	AO1.1 A building: <ol style="list-style-type: none"> has a maximum unarticulated length of 5 metres to any street frontage or public space; and includes articulation such as windows and openings, verandahs, balconies and wall variations.
	AO1.2 The building design, scale, roof form, articulation, materials and colours are compatible and integrate with the intended character of the area.
PO2 Buildings are orientated and designed to address the street and public spaces.	AO2 No acceptable outcome is prescribed.
Car Parking Area and Vehicular Access	
PO3 The car parking area, vehicular access and associated structures do not dominate the street frontage of the development.	AO3 No acceptable outcome is prescribed.
PO4 Development is accessible to vehicles, pedestrians and cyclists and has immediate legal and practical access via a constructed road.	AO4 No acceptable outcome is prescribed.
Privacy	
PO5 The building is designed to minimise adverse privacy impacts for the occupants of the building and neighbouring dwellings.	AO5.1 The habitable room windows of a building do not directly face: <ol style="list-style-type: none"> a habitable room window of another building within 10m; and an access way, footpath or communal open space area within 3m. OR The habitable room windows have: <ol style="list-style-type: none"> a fixed obscure glazing in any part of the window below 1.5m above floor level; privacy screens that cover a minimum of 50% window view.
	AO5.2 Where a direct view exists into the private open space of an adjoining dwelling, the outlook from windows, stairwells, terraces, decks and other private, communal or public areas, is obscured or screened by privacy screens.
Safety and Security	
PO6 Building design enhances safety and security on and off the site.	PO6.1 Above ground floor dwellings have windows or balconies that provide clear lines of sight towards internal private access ways, the street and all adjacent public space.
	PO6.2

	<p>Lighting is provided to driveways, property entrances, pathways, communal service areas, car-parking areas, lobbies, stairwells, steps and ramps.</p> <p>PO6.3 Entrances and exits to the street are directly accessible, illuminated and highly visible from public areas.</p>
<p>PO7 Pedestrian access to and within the site is safe and convenient.</p>	<p>AO7.1 Separate pedestrian and vehicular access is provided to the site.</p>
	<p>AO7.2 The main pedestrian access into the building is easily identified and visible from the street.</p>
Private Open Space	
<p>PO8 Development provides sufficiently sized and useable private open space to meet the recreation needs of residents.</p>	<p>AO8.1 For development involving a Multiple dwelling or Rooming accommodation, all ground floor dwellings have an area of private open space which:</p> <ol style="list-style-type: none"> 1. has a minimum area of 25m²; 2. has a minimum width of 3 metres; 3. is directly accessible from a living area; and 4. has a maximum gradient of 1 in 10.
	<p>AO8.2 For development involving a Multiple dwelling or Rooming accommodation, all above ground dwellings have an area of private open space which:</p> <ol style="list-style-type: none"> 1. consists of a balcony; 2. has a minimum area of 8m²; 3. has a minimum length and width of 2 metres; and 4. is directly accessible from a living area.
Communal Open Space and Facilities	
<p>PO9 Multiple dwelling and Rooming accommodation involving 5 or more dwellings provides a communal open space area that:</p> <ol style="list-style-type: none"> 1. is accessible, useable and safe for the recreational use of all occupants of the development; and 2. provides outdoor recreational areas required to service the open space needs of residents of the development. 	<p>AO9 Development provides a minimum of 10% of the site area for communal open space which:</p> <ol style="list-style-type: none"> 1. is in addition to private open space areas; 2. has a minimum length and width of 10 metres; 3. is readily accessible to all residents; 4. has a maximum gradient not exceeding 1 in 10; and 5. is clearly delineated from any private areas of the site.
<p>PO10 Communal open space is designed and located to minimise impacts on the amenity of adjacent sensitive receivers.</p>	<p>AO10 No acceptable outcome is prescribed.</p>
<p>PO11 Communal garbage bin storage areas:</p> <ol style="list-style-type: none"> 1. are provided to service the needs of future residents and located to be accessible to all residents; and 2. are not visible from the primary street frontage. 	<p>AO11 No acceptable outcome is prescribed.</p>
Landscaping	
<p>PO12</p>	<p>AO12</p>

<p>Landscaping is provided that:</p> <ol style="list-style-type: none"> enhances the appearance of the development where viewed from the street and public spaces; integrates the development with its surroundings; screens incompatible uses and provides privacy to adjoining sensitive land uses; and mitigates the visual amenity impacts of hardstand areas such as car parking, vehicular access and communal recreation areas where viewed from the street and public spaces. 	<p>No acceptable outcome is prescribed.</p>
<p>Fire Hydrant Infrastructure and Emergency Vehicle Access</p>	
<p>PO13 Development minimises the risk of damage to life, property and the environment from fire, by providing:</p> <ol style="list-style-type: none"> unimpeded internal access for emergency service vehicles; and appropriate and readily accessible fire hydrant infrastructure. 	<p>AO13.1 Development ensures fire hydrants are installed and located to enable fire services to access water safely, effectively and efficiently.</p> <p>AO13.2 Fire hydrants are suitably identified so that fire services can locate them at all hours.</p> <p>AO13.3 Road widths, and construction within the development, are adequate for fire emergency vehicles to gain access to a safe working area close to buildings and near water supplies whether or not on-street parking spaces are occupied.</p>

Table 9.3.12.3.2 — Criteria for Assessable Development - Non-Resident Workforce Accommodation Only

Performance outcomes	Acceptable outcomes
<p>PO14 Development is sited and designed to:</p> <ol style="list-style-type: none"> provide amenity for residents of the premises; avoid conflicts with residents and rural activities on surrounding properties; and maintain the visual continuity and pattern of buildings and landscape elements within the locality. 	<p>AO14 No acceptable outcome provided.</p>
<p>PO15 Except where self-contained accommodation is provided, Non-resident workforce accommodation is provided with sufficient kitchen, dining, laundry and recreation facilities to cater for the needs of residents and staff.</p>	<p>AO15 No acceptable outcome provided.</p>
<p>PO16 Development is provided only where short or medium term accommodation is required in conjunction with a specific large-scale project.</p>	<p>AO16 Development is:</p> <ol style="list-style-type: none"> located on the same site or an adjoining site to the project; and conducted only while the project is operational; and used to accommodate workers on the project including support staff. <p><i>Note - support staff includes cooks, cleaners and the like engaged to service the accommodation facilities and its residents.</i></p>

Table 9.3.12.3.3 — Criteria for Assessable Development - Relocatable Home Park

Performance Outcomes	Acceptable Outcomes
PO17 The site is an appropriately sized area and configuration to accommodate the use, landscaped buffer areas, appropriate setbacks to adjoining land uses, and ancillary amenities and facilities.	AO17 Development has a minimum site area of 20,000m ² with an average depth to width ratio that does not exceed 4 to 1.
PO18 Development is designed to complement the existing landscape.	AO18.1 Development does not require extensive cutting, filling, draining and/or modification of the site.
	AO18.2 Existing vegetation is retained where practical.
PO19 Development is located on a road system which has the capacity to accommodate increases in traffic volumes associated with the use.	AO19 No acceptable outcome provided.
PO20 Development has a residential density that is compatible with the preferred character of the local area in which it is located. The density of the development is sufficient to ensure that the site can accommodate the proposed number of relocatable home sites, all required facilities and services, recreational spaces, landscaping and appropriate setbacks to all boundaries.	AO20 The maximum site density is 30 relocatable home or caravan sites per hectare.
PO21 Development provides outdoor storage area for use by residents.	AO21 A relocatable home park provides an area for the storage of vehicles not able to be accommodated within a relocatable home site. Such vehicles may include caravans, Recreational Vehicles (RV's) or trailered boats.
PO22 Development is provided with appropriate facilities.	AO22 Adequate toilet, shower and laundry facilities are provided for: <ol style="list-style-type: none"> 1. the number of visitors; 2. the typical duration of stay; 3. the number of self-contained sites; and 4. the number of tourist park visitors providing self-contained facilities such as toilet and showers.

Table 9.3.12.3.4 — Criteria for Assessable Development - Rooming Accommodation Only

Performance Outcomes	Acceptable Outcomes
PO23 Except where self-contained accommodation is provided, Rooming accommodation is provided with sufficient kitchen, dining, laundry and recreation facilities to cater for the needs of residents and staff.	AO23 No acceptable outcome provided.

Table 9.3.12.3.5— Criteria for Assessable Development - Rural Worker's Accommodation

Performance Outcomes	Acceptable Outcomes
PO24 Rural workers accommodation is provided to fulfil a genuine need to accommodate a rural worker/s on the subject site.	AO24 The Rural workers accommodation is occupied by a person or persons being engaged in the maintenance, management or operations of rural activities conducted

	on the same site and, if applicable, that person's immediate family.
<p>PO25 The Rural workers accommodation use is sited and designed to:</p> <ol style="list-style-type: none"> 1. provide amenity for users of the premises; 2. avoid conflicts with residents and rural activities on surrounding properties; and 3. maintain the visual continuity and pattern of buildings and landscape elements within the locality. 	<p>AO25.1 The Rural workers accommodation use is setback;</p> <ol style="list-style-type: none"> 1. a minimum of 20m from any site frontage; and 2. a minimum of 50m from any other site boundary <p>AO25.2 The Rural workers accommodation is sited to be sufficiently separated from conflicting uses to minimise any adverse impacts from noise, odour or dust.</p> <p><i>Editor's Note - Conflicting uses would include, but not be limited to, intensive animal industry, cropping, animal keeping and intensive horticulture.</i></p>
<p>PO26 The Rural workers accommodation is of a scale and has a built form that:</p> <ol style="list-style-type: none"> 1. is compatible with the rural amenity; 2. is less dominant than the on-site dwelling; and 3. maintains the visual continuity and pattern of buildings and landscape elements within the locality. 	<p>AO26.1 Where the Rural workers accommodation comprises a dwelling being a Class 1a building:</p> <ol style="list-style-type: none"> 1. the use will not result in more than two dwellings on the same lot; 2. the building shall have a gross floor area less than any dwelling on the same lot; and 3. the site has a frontage to a constructed road or access to a constructed road granted from a registered access easement. <p>AO26.2 Where the Rural workers accommodation comprises a building other than a Class 1a building:</p> <ol style="list-style-type: none"> 1. the site contains lots in the same ownership with a combined area of at least 40 ha; 2. the use will not result in more than one Rural worker's accommodation building on the site; 3. the site has a frontage to a constructed road or access to a constructed road granted from a registered access easement; and 4. 12 or less persons are accommodated in the premises.
<p>PO27 Sufficient car parking is available for the Rural workers accommodation.</p>	<p>AO27 One car park is provided per employee accommodated in the Rural workers accommodation.</p>

9.3.13 Roadside Stall Code



9.3.13.1 Application

This code applies to development identified as requiring assessment against the Roadside Stall Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.13.2 Purpose

1. The purpose of the Roadside Stall Code is to ensure a Roadside stall:
 - a. provides rural producers an ancillary opportunity for the sale of goods direct to consumers;
 - b. enhances the rural tourism experience; and
 - c. is sited and operated in a safe manner.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. A Roadside stall;
 - i. is small scale and consistent with the character of the surrounding rural or rural residential area;
 - ii. is compatible with the intended amenity and character of the zone;
 - iii. is located to ensure safe access; and
 - iv. does not cause unacceptable impacts on safety, amenity or the road network as a result of traffic movements and parking.

9.3.13.3 Assessment Benchmarks

Table 9.3.13.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
Siting and Location	
PO1 A Roadside stall is appropriately located on the site to:	AO1 A Roadside stall has a minimum side boundary

<ol style="list-style-type: none"> 1. be visible to road users; and 2. minimise any adverse impacts to adjoining premises, including from noise, traffic or damage to the road shoulder. 	clearance of 6 metres where adjoining a lot not located in the Rural Zone.
Scale	
<p>PO2 A Roadside stall is:</p> <ol style="list-style-type: none"> 1. small-scale; and 2. visually integrates with the surrounding area. 	<p>AO2.1 A Roadside stall is fully located within the site and has a total development footprint (excluding on-site parking, access and manoeuvring areas) of no more than 9m².</p> <p>AO2.2 A maximum of 2 advertising devices are associated with the use.</p> <p>AO2.3 Each advertising device associated with the use:</p> <ol style="list-style-type: none"> 1. has a maximum sign face area of 1m²; 2. is located on the same site as the Roadside stall; 3. is not illuminated, flashing, moving, rotating or reflective; 4. is written so as to be easily read by motorists with lettering at least 150 millimetres in height; and 5. must not imitate a traffic control device. <p>AO2.4 The majority of goods sold from the Roadside stall are grown or produced on the site.</p> <p>AO2.5 A Roadside stall is not artificially illuminated.</p>
Roads	
<p>PO3 A Roadside stall is located to be visible to motorists and avoid creating a traffic hazard.</p>	<p>AO3 Signage for a Roadside stall is visible to a motorist approaching from any direction for the following minimum distances:</p> <ol style="list-style-type: none"> 1. on a road with a posted speed limit of 81-100km/h - 150metres; or 2. on a road with a posted speed limit of 61-80km/h - 100metres; or 3. on a road with a posted speed limit of 0-60km/h - 50metres.
Parking and Access	
<p>PO4 A Roadside stall has:</p> <ol style="list-style-type: none"> 1. adequate access; and 2. on-site and/or on-road parking that: <ol style="list-style-type: none"> a. will adequately cater for the traffic generated by the use without causing traffic hazards or damaging the road; b. ensure the safety of vehicles and persons exiting and entering cars; and c. does not interfere with other road users. 	<p>AO4.1 For a Roadside stall located on a state-controlled road where the posted speed limit is 90km/hr or higher:</p> <ol style="list-style-type: none"> 1. parking can safely occur within the state-controlled road reserve with vehicles able to be parked, with driver doors open, fully on the shoulder of the road; or 2. provision for parking is made on-site where: <ol style="list-style-type: none"> a. vehicles can enter and leave the site in forward gear via an approved driveway access; b. a parking directional sign is displayed at the access to the Roadside stall site; and c. the access is not located within 100 metres of an intersection. <p><i>Editor's note - Roadside stalls fronting a state controlled</i></p>

road may be subject to additional requirements. Prior to establishing a roadside stall, operators should consult with the relevant State Government Department in this regard.

AO4.2

A Roadside stall located on a non-state controlled road:

1. is:
 - a. located so that customers exiting a vehicle parked on the opposite roadside can safely cross the road;
 - b. has sufficient roadside parking near the site on both sides of the road; and
 - c. ensures parking does not unduly obstruct the free passage of pedestrians; or
2. has provision for parking on-site where vehicles can enter and leave the site in forward gear via an approved access, and a parking directional sign is located at the access to the roadside stall site

AO4.3

Development obtains immediate access from a constructed road.

9.3.14 Sales Office Code



9.3.14.1 Application

This code applies to development identified as requiring assessment against the Sales Office Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.14.2 Purpose

1. The purpose of the Sales Office Code is to ensure a Sales office reflects a legitimate and temporary need for the display and/or sale of development in a way that:
 - a. protects the amenity of the surrounding area; and
 - b. does not preclude longer term intended outcomes for development in the zone.

***Editor's Note** - A prize home being open to the public for a period not exceeding 8 weeks is defined as a Temporary use. See - 1.7 Local Government Administrative Matters.*

2. The purpose of the code will be achieved through the following overall outcomes:
 - a. A Sales office:
 - i. is appropriately sited and operated according to the surrounding existing and planned uses;
 - ii. is of a scale and intensity that is compatible with the surrounding area;
 - iii. does not adversely impact upon the character and amenity of the surrounding area;
 - iv. integrates visually with the surrounding built and natural environment;
 - v. provides a high standard of privacy and amenity for neighbours;
 - vi. has adequate and safe vehicle access and parking; and
 - vii. is operated for a temporary duration only that reflects a legitimate need for the display and/or sale of development.

9.3.14.3 Assessment Benchmarks

Table 9.3.14.3.1— Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
Siting and Location	
PO1 A Sales office is appropriately located to service land or premises that are: for sale (estate office); or	AO1 A Sales office is only carried out on the same premises, or adjacent to the land or building(s), being displayed, raffled or sold.

<ol style="list-style-type: none"> 1. on display (display home / display village); or 2. able to be won as a prize (prize home). 	
Intensity and Amenity	
<p>PO2 A Sales office in a residential zone or the Rural Zone is small scale, of a low intensity and does not adversely affect the amenity of the area.</p>	<p>AO2 The number of employees engaged in the operation of a Sales office in a residential zone or the Rural Zone at any one time does not exceed:</p> <ol style="list-style-type: none"> 1. 3 employees where a dwelling is offered as a prize; or 2. 2 employees otherwise.
<p>PO3 A Sales office has operating hours that are compatible with the nature and type of use on adjoining premises.</p>	<p>AO3 A Sales office has operating hours that are limited to:</p> <ol style="list-style-type: none"> 1. 8am to 5pm Monday to Saturday; and 2. 10am to 5pm on Sundays and public holidays.
<p>PO4 The visual appearance of development is consistent with the intended built form character of the relevant zone.</p>	<p>AO4 No Acceptable Outcome is prescribed.</p>
Duration	
<p>PO5 The duration of the use of premises for a Sales office:</p> <ol style="list-style-type: none"> 1. in the case of a display dwelling, display village or estate sales office does not extend beyond a reasonable period required to construct and complete sales within the development or the applicable stage of the development; or 2. in the case of dwelling offered as a prize, does not extend beyond a reasonable period of time to allow for promotion of the prize. 	<p>AO5.1 Where a display home, display village or estate sales office, the use operates for a maximum period of:</p> <ol style="list-style-type: none"> 1. 2 years; or 2. not greater than 2 years beyond the date of sealing of plans of the last stage of the estate.
	<p>AO5.2 Where a prize home, the use operates for a maximum period of 6 months.</p>
Screening	
<p>PO6 A Sales office is screened by fencing to the property boundaries to protect the amenity of adjoining sensitive receivers.</p>	<p>AO6 A Sales office provides a 1.8 metre high solid screen fence along all common property boundaries adjoining sensitive receivers.</p>

9.3.15 Service Station Code



9.3.15.1 Application

This code applies to development identified as requiring assessment against the Service Station Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.15.2 Purpose

1. The purpose of the Service Station Code is to ensure Service stations are developed in a manner which meets the needs of users, provides safe access and protects the environment and amenity of surrounding premises.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. A Service station:
 - i. is appropriately sited and operated to avoid adverse impacts on the amenity surrounding area;
 - ii. is not located in residential zones;
 - iii. provides for appropriate separation distances or other mitigation measures between the development and sensitive receivers to minimise land use conflict;
 - iv. is of a high quality design incorporating good design principles and appropriately responds to local character, environment and amenity considerations;
 - v. does not adversely impact the health of surrounding residents;
 - vi. provides a high standard of privacy and amenity for neighbours;
 - vii. incorporates a high standard of landscape design;
 - viii. is provided with safe and convenient access to the road network; and
 - ix. is managed so that environmental impacts are contained within the site itself, or are managed and mitigated so as not to cause environmental harm to sensitive receivers.

9.3.15.3 Assessment Benchmarks

Table 9.3.15.3.1— Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
Siting and Location	
PO1 The siting of a Service station is: <ol style="list-style-type: none"> 1. compatible with the existing and planned land uses of the locality; 2. maintains the amenity of surrounding area; and 	AO1 No Acceptable Outcome is prescribed.

<p>3. located in a centre zone, Township Zone, Mixed Use Zone or Industry Zone.</p>	
<p>PO2 A Service station is located on a site having sufficient area and dimensions to accommodate required buildings and structures, vehicle access and manoeuvring areas and landscaping.</p>	<p>AO2 A Service station is located on a site that:</p> <ol style="list-style-type: none"> 1. is at least 1,500m² in area; and 2. if located on a: <ol style="list-style-type: none"> a. corner site, provides that at least one road frontage is a minimum length of: <ol style="list-style-type: none"> i. 45 metres and has not more than 2 access points; or ii. 35 metres and has not more than 1 access point; or b. site which has one road frontage, provides that the road frontage has a minimum length of 50 metres.
<p>PO3 Buildings and structures associated with a Service station are designed and sited so as to:</p> <ol style="list-style-type: none"> 1. ensure the safe and efficient use of the site and operation of the facility; 2. protect streetscape character; and 3. provide adequate separation to adjoining land uses to avoid or minimise environmental harm to sensitive receivers. 	<p>AO3.1 Fuel pumps and canopies are setback a minimum of 7.5 metres from the front property boundary.</p>
	<p>AO3.2 All buildings and structures are setback at least 10 metres from any road property boundaries.</p>
	<p>AO3.3 Where adjoining an existing residential use or land included a residential zone, all buildings, structures and hardstand areas are setback at least 5 metres from the property boundary.</p>
	<p>AO3.4 The building height of a Service station does not exceed 2 storeys with a maximum height of 8.5 metres.</p>
<p>PO4 Fuels pumps and bulk fuel storage tanks are located:</p> <ol style="list-style-type: none"> 1. wholly within the site; 2. to enable installation, servicing and removal without affecting the physical integrity of any adjoining premises including the road reserve; and 3. such that vehicles, while fuelling and refuelling, are standing wholly within the site and are parked away from entrances and circulation driveways. 	<p>AO4.1 Fuel pumps are located such that vehicles while refuelling are standing wholly within the site and are parked away from entrances and circulation driveways.</p>
	<p>AO4.2 Bulk fuel storage tanks are situated no closer than 8 metres to any road frontage.</p>
	<p>AO4.3 Inlets to bulk fuel storage tanks are located to ensure that tankers, while discharging fuel, are standing wholly within the site and are on level ground.</p>
<p>PO5 Customer air and water facilities, and any other services on the site, are located such that:</p> <ol style="list-style-type: none"> 1. vehicles using, or waiting to use, such facilities are standing wholly within the site; and 2. an adequate buffer is provided to any adjoining residential use to avoid environmental harm. 	<p>AO5 No Acceptable Outcome is prescribed.</p>
<p>Screening</p>	
<p>PO6 The Service station and associated infrastructure is screened from:</p> <ol style="list-style-type: none"> 1. adjacent public places not being a road; 	<p>AO6 Where adjoining a sensitive receiver, a Service station provides a 1.8 metre high solid screen fence is provided along all common property boundaries other than at</p>

<p>2. sensitive receivers; and 3. other land uses adversely affected by the development.</p>	<p>driveways. <i>Note - where acoustic fencing is also specified, additional construction criteria may apply</i></p>
<p>Environmental Impacts</p>	
<p>PO7 A Service station ensures environmental harm is avoided or minimised to existing or planned residential areas from sources including noise, light, dust and odour.</p>	<p>AO7 Where a Service station adjoins a sensitive receiver the operation of the service station must only be conducted between the hours of 7.00am to 10.00pm.</p>
<p>PO8 A Service station is designed and constructed so as to ensure that on-site operations:</p> <ol style="list-style-type: none"> 1. do not cause any environmental nuisance or environmental harm; 2. do not result in the release of untreated pollutants; and 3. achieve acceptable levels of stormwater run-off quality and quantity. 	<p>AO8.1 Air vents are located to avoid impacts on health and amenity, particularly in refuelling processes.</p>
	<p>AO8.2 Sealed impervious surfaces are provided in areas where potential spills of contaminants may occur.</p>
	<p>AO8.3 Grease and oil arrestors or other infrastructure is provided to prevent the movement of contaminants from the site.</p>
<p>PO9 The collection, treatment and disposal of solid and liquid wastes ensures that:</p> <ol style="list-style-type: none"> 1. off-site releases of contaminants do not occur; 2. environmental harm is prevented; and 3. measures to minimise waste generation and to maximise recycling are implemented. 	<p>AO9 No Acceptable Outcome is prescribed.</p>
<p>Roads</p>	
<p>PO10 A Service station:</p> <ol style="list-style-type: none"> 1. does not impair traffic flow or road safety; and 2. facilitates, through the design and arrangement of vehicular crossovers, safe and convenient movement to and from the site. 	<p>AO10.1 Land is dedicated as road where the Council or the State Government requires land for road widening, corner truncation or for acceleration or deceleration lanes.</p>
	<p>AO10.2 Separate entrances and exits from the site are provided, and these are clearly marked for their intended use.</p>
	<p>AO10.3 Reinforced industrial crossovers are constructed to provide suitable access for fuel delivery vehicles.</p>
	<p>AO10.4 Vehicle crossovers are at least 8 metres wide.</p>
	<p>AO10.5 No part of a vehicle crossover is closer than:</p> <ol style="list-style-type: none"> 1. 14 metres from any other vehicle crossover on the same site; 2. 12 metres from an intersection; and 3. 3 metres from any property boundary.
	<p>AO10.6 Development provides that the frontage of the site is marked with a kerb, or similar vehicular barrier for the full length, excluding crossovers.</p>

Other Outcomes	
PO11 Ancillary uses; 1. are subordinate to the Service station; 2. are small scale; and 3. do not interfere with the primary use.	AO11.1 The gross floor area for the retail sale and display of ancillary goods and services is limited to 150m ² .
	AO11.2 The provision of any outdoor ancillary uses does not use or inhibit any car parks, driveways or manoeuvring areas.

9.3.16 Telecommunications Facilities Code



9.3.16.1 Application

This code applies to development identified as requiring assessment against the Telecommunications Facilities Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.16.2 Purpose

1. The purpose of the Telecommunications Facilities Code is to ensure that Telecommunications facilities are developed in a manner which effectively services local communities without significant adverse impacts on amenity, the community and the environment.
 - a. The purpose of the code will be achieved through the following overall outcomes:
 - b. Telecommunications facilities;
 - i. provide for appropriate separation distances or other mitigation measures between the development and sensitive receivers to minimise land use conflict;
 - ii. are of a high quality design which reflects good design principles and appropriately responds to local character, environment and amenity considerations; and
 - iii. provide a high level of amenity and integrate visually with the surrounding built and natural environment.

9.3.16.3 Assessment Benchmarks

Table 9.3.16.3.1— Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
<p>PO1 Telecommunications facilities are designed and located to:</p> <ol style="list-style-type: none"> 1. minimise the visual dominance and impact of the structure; and 2. protects important views to significant landscape features, such as ridgelines. 	<p>AO1 Telecommunications facilities:</p> <ol style="list-style-type: none"> 1. are, where practical, below the level of the predominant tree canopy or surrounding premises; 2. if a monopole, are finished in muted natural colours so as to visually blend with the surrounding vegetation; 3. are co-located with existing facilities where practical; and 4. do not obstruct the views to a ridgeline from a road or public place.

<p>PO2 Telecommunications facilities do not adversely impact on the amenity of nearby residential, community or other sensitive receivers.</p>	<p>AO2.1 Except where co-located with an existing Telecommunications facilities, the Telecommunications facilities are located at least:</p> <ol style="list-style-type: none"> 1. 200 metres from any child care centre, community care centre, educational establishment or park; 2. 20 metres from any public pathway; and 3. 1 kilometre from any other existing or approved Telecommunications facility.
	<p>AO2.2 Any building associated with the Telecommunications facilities is setback from any street front boundary a distance at least equal to the front setback required for the adjoining use.</p>
<p>PO3 The Telecommunications facilities are designed to facilitate co-location with other Telecommunications facilities.</p>	<p>AO3 The structural elements of the Telecommunications facilities are designed to support future co-masting or co-siting.</p>
<p>PO4 Development avoids or manages any emissions of light, vibration or electromagnetic radiation (EMF) beyond the site boundary such that:</p> <ol style="list-style-type: none"> 1. nuisance is not caused beyond the site boundary; and 2. applicable State and National standards and requirements are met; and 3. risks to the environment, personal and the public are mitigated. 	<p>AO4 No Acceptable Outcome is prescribed.</p>

9.3.17 Tourism Use Code



9.3.17.1 Application

This code applies to development identified as requiring assessment against the Tourism Use Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.17.2 Purpose

1. The purpose of the Tourism Use Code is to ensure that development is appropriately designed to:
 - a. meet visitor needs;
 - b. protect environmental and landscape values;
 - c. protect the amenity of surrounding premises; and
 - d. avoid land use conflicts.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Tourism activities:
 - i. are appropriately sited and operated according to the type of proposed use and surrounding existing and planned uses;
 - ii. are located and designed in a manner which sensitively responds to the characteristics of the site;
 - iii. are provided with services, utilities and high quality facilities consistent with the setting, needs of the use and the type of accommodation where supplied;
 - iv. provide a high level of amenity and integrate visually with the surrounding built and natural environment;
 - v. are of a scale and intensity that is compatible with the preferred character identified in the relevant zone code and predominant use of the local area;
 - vi. only involve accommodation on a temporary basis and do not facilitate long term residential accommodation;
 - vii. do not adversely impact on the amenity of rural and residential areas or the viable operation of Rural activities; and
 - viii. where undertaken in the Rural Zone, are subordinate to rural activities conducted on the site.

9.3.17.3 Assessment Benchmarks

Table 9.3.17.3.1— Criteria for Accepted and Assessable Development

Performance Outcomes	Acceptable Outcomes
General Outcomes	
PO1 Development is located to avoid land use conflicts with residential activities and rural activities on surrounding	AO1 Development is sited or screened so as to not overlook the living areas of adjoining residential properties.

properties.											
PO2 Accommodation is only supplied to guests on a temporary basis and does not facilitate long term residential accommodation.	AO2 Accommodation is only supplied to guests on a temporary basis with no stay being more than 40 consecutive nights.										
Road Access											
PO3 Development is provided with safe and all weather access.	AO3.1 Development is accessed via a constructed road.										
	AO3.2 Development is provided with safe and all weather access.										
Environment facility											
PO4 An Environment facility is small scale and remains subordinate to the area or feature of significance.	AO4 If involving an Environment facility, development: <ol style="list-style-type: none"> is based on and has a direct association with a demonstrated on-site environmental, landscape, scenic or heritage value; and does not exceed 100m² TUA. 										
Short-term Accommodation and Nature Based Tourism - (where involving cabins and tents -"tourist accommodation sites")											
PO5 Tourist accommodation sites: <ol style="list-style-type: none"> are developed at an intensity and scale that retain the predominant natural character and amenity of the site and surrounding area; are designed to complement the environmental or landscape setting of the site and surrounding area; are screened from public areas to reduce the visual impact of the bulk and density of buildings; and do not adversely impact on the privacy and amenity of the surrounding area. 	AO5.1 Where not in the Rural Zone, development has a maximum site coverage of 10%.										
	AO5.2 In the Rural Zone, development has the following accommodation density:										
	<table border="1"> <thead> <tr> <th>Site Area (ha)</th> <th>Maximum no. of tourist accommodation sites</th> </tr> </thead> <tbody> <tr> <td>0-20</td> <td>6</td> </tr> <tr> <td>21-40</td> <td>10</td> </tr> <tr> <td>41-60</td> <td>15</td> </tr> <tr> <td>More than 60</td> <td>20</td> </tr> </tbody> </table>	Site Area (ha)	Maximum no. of tourist accommodation sites	0-20	6	21-40	10	41-60	15	More than 60	20
	Site Area (ha)	Maximum no. of tourist accommodation sites									
	0-20	6									
21-40	10										
41-60	15										
More than 60	20										
PO6 The traffic and noise associated with Short-term accommodation and Nature based tourism does not cause nuisance to surrounding properties.	AO6 Development does not receive guests between 10pm and 6am.										
PO7 Development is small scale and is compatible with the character and amenity of the area.	AO7 Cabins have a maximum GFA of 100m ² .										
PO8 Development: <ol style="list-style-type: none"> is designed to complement the environmental or landscape setting of the surrounding area; is sited so as not to be visually prominent or intrusive; and does not detract from the environmental or landscape character of the local area. 	AO8.1 Development does not involve more than 2 buildings located on ridge lines that are highly visible from public roads or surrounding areas.										
	AO8.2 Development has a direct association with: <ol style="list-style-type: none"> an area of environmental, landscape, scenic or heritage value; or a place of local interest. 										

Tourist Attraction	
<p>PO9 Tourist attractions in the Rural Zone:</p> <ol style="list-style-type: none"> 1. are ancillary and subordinate to a rural activity; 2. support existing rural activities; 3. do not conflict with on-site or adjoining rural activities; and 4. maintain existing rural amenity. 	<p>AO9 Tourist attractions:</p> <ol style="list-style-type: none"> 1. directly relate to, or are ancillary to, Rural activities being conducted on the site; or 2. have a direct association with an on-site environmental, landscape, scenic or heritage value. <p><i>Editor's Note - Potential operators must undertake due diligence by assessing other legislative requirements for matters such as food manufacture, building, plumbing and workplace health and safety.</i></p>
Parking (all uses)	
<p>PO10 Development provides sufficient car parking to satisfy the projected needs of the development.</p>	<p>AO10 Development provides:</p> <ol style="list-style-type: none"> 1. that all vehicles associated with the use can be parked on the site; and 2. 1 car parking space per tourist accommodation site. <p><i>Note - This Outcome must be read in conjunction with the Carparking and Access Code where it applies.</i></p>

***Editor's Note** - A Bed and Breakfast is included within the definition of Home Based Business, whether conducted in a rural area or otherwise. Please refer to the Home Based Business Code for details.*

Table 9.3.17.3.2— Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
Scale and Design Outcomes	
<p>PO1 The scale, design and external finish of buildings:</p> <ol style="list-style-type: none"> 1. complements the character and integrates with the natural landscape of the surrounding area; 2. incorporates colours and finishes that allow the buildings to blend in with the natural landscape; and 3. complements the existing scale and character of commercial areas. 	<p>AO1.1 The scale and bulk of the development is managed by ensuring the form of development comprises a series of smaller, separate buildings rather than one larger building/structure.</p>
	<p>AO1.2 The architectural style of the development complements the character of surrounding and intended development in the zone.</p>
	<p>AO1.3 External materials used for any new building predominantly comprises a mix of lightweight and textured materials such as timber cladding and corrugated iron.</p>
	<p>AO1.4 External finishes to buildings are muted and natural colours used so as to visually blend with the surrounding environment.</p>
Protection of Rural Activities	
<p>PO2 Development, where in or adjacent to land in the Rural Zone, is of a scale and intensity and located in a manner that minimises conflicts with existing rural activities.</p>	<p>AO2 No Acceptable Outcome is prescribed.</p>

Editor's Note - *A Bed and Breakfast is included within the definition of Home Based Business, whether conducted in a rural area or otherwise. Please refer to the Home Based Business Code for details.*

9.3.18 Tourist Park Code



9.3.18.1 Application

This code applies to development identified as requiring assessment against the Tourist Park Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.3.18.2 Purpose

1. The purpose of the Tourist Park Code is to ensure that development occurs in a manner that provides:
 - a. sustainable tourism development that is complimentary to and compatible with other land uses;
 - b. a range of temporary accommodation choices;
 - c. acceptable levels of amenity for short term holiday guests in tourist parks;
 - d. mitigation of external impacts on surrounding communities and the environment.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. a Tourist park:
 - i. is well located and offers convenient access to the services and facilities required to support occupants needs;
 - ii. is provided with appropriate facilities, community services, utilities and services commensurate with its setting, the types of accommodation supplied and the length of stay anticipated;
 - iii. provides for appropriate separation distances or other mitigation measures between the development and sensitive receivers to minimise land use conflict;
 - iv. does not adversely impact on the amenity of rural areas or the viable operation of Rural activities;
 - v. is of a scale and intensity that is compatible with the preferred character of the local area;
 - vi. provides a high level of amenity and integrates visually with the surrounding built and natural environment;
 - vii. is managed so that significant environmental impacts are contained within the site itself, or are managed and mitigated so as not to unduly impact sensitive receivers;
 - viii. is able to be operated and maintained in a manner that protects and promotes the health, safety and wellbeing of occupants; and
 - ix. provides safe and legal vehicle access to and within the site.

9.3.18.3 Assessment Benchmarks

Table 9.3.18.3.1— Criteria for Accepted and Assessable Development in the Rural Zone involving not more than 5 tourist accommodation sites only

Performance Outcomes	Acceptable Outcomes
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Siting and Location	
PO1 A Tourist park: <ol style="list-style-type: none"> is located on a site having sufficient area and dimensions to accommodate the use without causing adverse amenity to adjacent land uses; and is appropriately and safely located within a site. 	AO1.1 The site has a minimum area of 20 ha.
	AO1.2 The part of the land proposed to be used for the Tourist park is not located closer than: <ol style="list-style-type: none"> 20 metres to a waterway; 50 metres from any boundary; and 200 meters to any residence not associated with the use.
Scale	
PO2 Tourist parks are low impact and non-permanent in nature.	AO2.1 Visitors to a Tourist park provide their own accommodation facility
	AO2.2 A Tourist park: <ol style="list-style-type: none"> Is non-permanent in nature; does not involve any cabins or similar buildings; and does not involve the letting of on-site caravans, tents, structures or accommodation.
Amenity	
PO3 A Tourist park is visually and functionally integrated with the surrounding area.	AO3 Visibility of a Tourist park from all roadways and adjoining residences is minimised and softened by the use of buffer landscaping. <i>Note - Visibility reduction can include existing vegetation and topography</i>
Roads	
PO4 The external and internal road system caters for anticipated vehicle use in the development, access and safety.	AO4.1 An all-weather access road is provided to each tourist accommodation site.
	AO4.2 Development is located on a site which has a constructed road access.
Facilities and Infrastructure	
PO5 A Tourist park provides on-site supervision for the safety and convenience of occupants.	AO5 A Tourist park has on-site supervision by a person/s occupying a dwelling on the site. <i>Editor's Note - On-site supervision may be located away from the tourist park provided that it is within the same site, and guests are made aware of its location in case of need or emergency.</i>

Editor's note - Tourist parks are subject to requirements, standards and Approvals specified in local laws. This will include health and amenity provisions for toilet, shower, laundry and like facilities. Potential operators should contact Council for further details.

Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a tourist park or relocatable home park to be conducted

Table 9.3.18.3.2— Criteria for Assessable Development - (Where Table 9.3.18.3.1— Criteria for Assessable Development in the Rural Zone involving not more than 5 tourist accommodation sites only does not apply)

Performance Outcomes	Acceptable Outcomes
Density	
PO1 A Tourist park has a density that is compatible with the character of the local area in which it is located.	AO1.1 The maximum tourist accommodation site density for a development does not exceed 35 tourist accommodation sites per hectare.
	AO1.2 The total number of cabins within a Tourist park does not exceed 1 cabin for every 4 tourist accommodation sites.
Environmental Impacts	
PO2 A Tourist park is located, designed, constructed and operated to ensure that noise emissions do not cause environmental harm to sensitive receivers in the surroundings of the proposed development.	AO2 Pools, outdoor active recreation areas and other potentially noise generating activities are not located within 25m of a boundary to an adjoining sensitive receiver or are set back beyond intervening buildings/structures and/or an acoustic fence.
Roads	
PO3 A Tourist park is located on a road system which has the capacity to accommodate increases in traffic volumes associated with the use.	AO3 No Acceptable Outcome is prescribed.
PO4 A Tourist park has an internal road system design that caters for all anticipated vehicles and vehicle use in the development, enabling suitable manoeuvrability and safety, and avoiding congestion.	AO4 No Acceptable Outcome is prescribed.
PO5 A Tourist park makes adequate provision for access and measures to assist emergency personnel in the event of a fire or emergency situation that threatens the safety of people or property.	AO5.1 Emergency vehicles have direct access to every tourist accommodation site and building.
	AO5.2 A site plan is prominently and publicly displayed at the entrance or adjacent the office indicating: <ol style="list-style-type: none"> 1. the overall plan of the development; 2. tourist accommodation site numbers where allocated; 3. emergency on-site contact details; and 4. location of fire hydrants and/or fire fighting water storage.
PO6 A Tourist park provides for the safe and convenient movement of pedestrians and vehicles within the site to communal open space and facilities and external roads.	AO6.1 Development provides that where an internal accessway services not more than 25 tourist accommodation sites : <ol style="list-style-type: none"> 1. the internal access has a minimum width of 4 metres for one way traffic and 5.5 metres for two way traffic, with widening on curves; and 2. a turning bay is provided at the end of the internal accessway that is capable of allowing conventional service trucks to turn around in the opposite

	<p>direction with multiple reverse movements; and</p> <p>3. the internal accessway has a dual function for pedestrian and vehicular movement.</p> <p>AO6.2 Development provides that where an internal accessway services 26 or more tourist accommodation sites:</p> <ol style="list-style-type: none"> 1. the internal access has a minimum width of 4 metres for one way traffic and 5.5 metres for two way traffic with widening on curves; and 2. a pedestrian path with a minimum width of 1.5 metres is provided between the internal access and the caravan, cabin or tent area; and 3. a turning bay is provided at the end of the internal access that is capable of allowing conventional service trucks to turn around in the opposite direction with a maximum of 1 reverse movement. <p>AO6.3 Development provides that an internal access, pedestrian path and community facility is provided with adequate:</p> <ol style="list-style-type: none"> 1. directional signage; and 2. night lighting.
Facilities and Infrastructure	
<p>PO7 A Tourist park provides that a tourist accommodation site:</p> <ol style="list-style-type: none"> 1. is designed and equipped to ensure orderly and convenient use and servicing; and 2. has a sufficient size and dimension to accommodate the intended use, having regard to the length of stay and varying styles and sizes of accommodation. 	<p>AO7.1 A tourist accommodation site allocated to accommodate a caravan, recreational vehicle, camper van or the like:</p> <ol style="list-style-type: none"> 1. is a minimum of 75m² with an average of 100m²; 2. has a frontage of at least 7.5 metres to any internal access way; 3. is connected with electricity, water and has suitable site drainage and sullage points; and 4. is prominently numbered. <p>AO7.2 A tourist accommodation site allocated to accommodate a cabin:</p> <ol style="list-style-type: none"> 1. is at least 100m²; 2. has a frontage of at least 10 metres to any internal access way; 3. is connected with electricity, water and has suitable site drainage and sullage points; 4. is prominently numbered; and 5. is separated from any other occupation area by a minimum of 3 metres to allow for pedestrian movement. <p>AO7.3 A tourist accommodation site allocated to accommodate a tent:</p> <ol style="list-style-type: none"> 1. has access to electricity and water; 2. has suitable site drainage and sullage dump points; and 3. is prominently numbered or identified.
<p>PO8 A Tourist park provides communal open space that is:</p> <ol style="list-style-type: none"> 1. useable; 	<p>AO8 Development provides a communal open space area of at least 10% of the site area that:</p>

<ol style="list-style-type: none">2. clearly defined;3. safe and attractive; and4. available for recreational use by all occupants and visitors.	<ol style="list-style-type: none">1. is provided in addition to landscape buffer areas; and2. is clear of obstacles including clothes hoists, driveway accesses, parking spaces and garbage receptacles; and3. has an minimum dimension of 15 metres.
<p>PO9 A Tourist park provides adequate lighting to facilitate the safe use of roads and pedestrian areas within the site.</p>	<p>AO9 No Acceptable Outcome is prescribed.</p>

Editor's notes - *Tourist parks may be subject to requirements, standards and Approvals specified in local laws. Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for a tourist park to be conducted. Potential operators should contact Council for further details.*

*A recommended reference document is **Guidelines on Good Design for Caravan Parks and Relocatable Home Parks 1997** prepared by the Queensland Department of Local Government and Planning, in partnership with Caravan Industry Australia and Queensland's Q-Parks*

9.4 Other Development Codes



9.4.1 Advertising Devices Code

9.4.1.1 Application

This code applies to work identified as requiring assessment against the Advertising Devices Code by the tables of assessment in **Part 5 Tables of Assessment**.

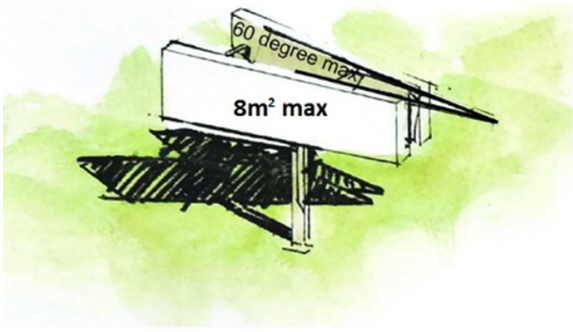
9.4.1.2 Purpose

1. The purpose of the Advertising Devices Code is to ensure that advertising devices are consistent with the character and amenity of the region and do not impact the safe and efficient operation of the transport network.
2. The purpose of the Advertising Devices Code will be achieved through the following overall outcomes:
 - a. Advertising devices:
 - i. do not impact on the visual amenity and scenic qualities of the region including views and vistas where viewed from designated tourist routes and the local road network;
 - ii. do not result in visual clutter;
 - iii. are sited and are of a scale consistent with the character of the streetscape and surrounding area;
 - iv. complement the surrounding landscape and presents a visually attractive appearance to public areas;
 - v. are not located in residential zones; and
 - vi. do not create a traffic hazard or distraction.

9.4.1.3 Assessment Benchmarks

Table 9.4.1.3 — Assessable Development

Performance Outcomes	Acceptable Outcomes
Visual Amenity	

<p>PO1 A Third party billboard sign:</p> <ol style="list-style-type: none"> 1. does not adversely impact on the visual amenity of the locality; 2. is compatible with local character and does not dominate their landscape setting; 3. does not detract from the scenic quality of the area including views and vistas; 4. in the Rural Zone, is separated from any existing or approved third party billboard sign by a minimum distance of 5 km (as measured by the shortest route via a constructed road) and is only located on the Mount Lindesay Highway, Cunningham Highway, or Ipswich- Boonah Road; 5. has a single face area not exceeding 8m²; 6. has a maximum height, including supports, of 8.5m; and 7. involves not more than two sign faces which are adjoined and may be splayed at an angle not greater than 60° to each other.  <p>A01 BILLBOARD SIGN</p> <p>Figure 1 Example of maximum sized sign</p>	<p>A01 No acceptable outcome is prescribed.</p>
<p>PO2 The siting of a third party billboard sign:</p> <ol style="list-style-type: none"> 1. is consistent with the preferred uses of the site; 2. does not impact on the visual amenity or streetscape of the surrounding area; and 3. is not located in the: <ol style="list-style-type: none"> a. Community Facilities Zone; or b. Conservation Zone; or c. Emerging Community Zone; or d. Limited Development Zone; or e. Low Density Residential Zone; or f. Low-medium Density Residential Zone; or g. Minor Tourism Zone; or h. Mixed Use Zone (not including the Commercial Industrial Precinct); or i. Passive Recreation Precinct; or j. Rural Escarpment Protection Precinct; or k. Rural Residential Zone; or l. Tamborine Mountain Rural Precinct; or m. Township Residential Precinct. 	<p>AO2 No acceptable outcome is prescribed.</p>

<p>PO3 A pylon sign does not:</p> <ol style="list-style-type: none"> 1. adversely impact on the visual amenity of the locality; 2. dominate their landscape setting; 3. detract from the scenic quality of the area including views and vistas: and 4. detract from the built form of the site and adjacent sites. 	<p>AO3.1 Only one pylon sign is located on a site.</p> <hr/> <p>AO3.2 A pylon sign;</p> <ol style="list-style-type: none"> 1. has a cumulative face area not exceeding 20m²; 2. is located at the front of the site; 3. does not project beyond the boundary of the site; and 4. is at least 3m from a side boundary. <div data-bbox="815 577 1406 1077" data-label="Image"> </div> <p style="text-align: center;">Figure 2 Pylon Sign</p> <hr/> <p>AO3.2 The height of a pylon sign (including supporting structures) shall not exceed the lesser of;</p> <ol style="list-style-type: none"> 1. 10m; or 2. the maximum development height specified in the relevant Zone Code.
<p>PO4 A pylon sign is located within a:</p> <ol style="list-style-type: none"> 1. Centre Zone; or 2. Industry Zone; or 3. Special Purposes Zone; or 4. Major Tourism Zone; or 5. Mixed Use Zone - Commercial Industrial Precinct only; or 6. site associated with an approved or lawful commercial or industrial activity in a non-residential building. 	<p>AO4 No acceptable outcome is prescribed.</p>
<p>PO5 A pylon sign is only used for the display of information relating to the use being conducted on the same site as the pylon sign,</p>	<p>AO5 No acceptable outcome is prescribed.</p>
<p>PO6 Assessable advertising devices do not adversely impact on views, vistas or the skyline when viewed from a public place.</p>	<p>AO6 No acceptable outcome is prescribed.</p>

<p>PO7 Illumination and lighting of assessable advertising devices is appropriate to the locality of the sign and:</p> <ol style="list-style-type: none"> 1. does not create an environmental nuisance; and 2. is consistent with the visual amenity and exterior lighting of the surrounding area; and 3. is unlikely to create a hazard or distraction to drivers of vehicles on adjacent roads. <p>Note - a hazard includes loss of night vision due to differences between ambient illumination and signage brightness. Editor's Note - maximum signage luminance levels may account for variations to ambient illumination including weather conditions, dusk or twilight.</p>	<p>A07.1 Third party billboard signs are only illuminated where located within urban areas.</p> <hr/> <p>A07.2 The luminance level for an assessable advertising device does not exceed:</p> <ol style="list-style-type: none"> 1. 7000cd/m² during daylight hours; and 2. at other times: <ol style="list-style-type: none"> a. 400cd/m² where located on land within a Centre zone; or b. 300cd/m² where located on land not within a Centre zone.
Traffic	
<p>PO8 Assessable advertising devices do not:</p> <ol style="list-style-type: none"> 1. obstruct visibility of road users; 2. pose a traffic safety risk; and 3. distract users of the transport network so as to cause a traffic hazard. <p>Note - use of nationally recognised standards will be considered necessary in assessing compliance with this outcome.</p>	<p>A08 An assessable advertising device:</p> <ol style="list-style-type: none"> 1. structure does not move, spin or rotate; 2. is not a beacon light or a revolving or flashing light; 3. is not located within 50m of a road intersection not involving a State controlled road; 4. has lettering appropriately sized for the speed environment of the road it addresses; 5. where involving moving or changing images, complies with the Department of Transport and Main Roads "Roadside Advertising Manual Edition 2 Technical Volume October 2017 Section 9 Variable Message Signs (VMS)"; and 6. otherwise complies with the Department of Transport and Main Roads " Roadside Advertising Manual Edition 2 October 2017 ".
Environment	
<p>PO9 Assessable advertising devices do not impact adversely on the natural environment.</p>	<p>A09 Native vegetation, with the exception of grass and shrubs less than 1 metre in height, is not cleared for the placement or ensuring visibility of assessable advertising devices.</p>

9.4.2 Earthworks, Construction and Water Quality Code



9.4.2.1 Application

This code applies to development identified as requiring assessment against the Earthworks, Construction and Water Quality Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.4.2.2 Purpose

1. The purpose of the Earthworks, Construction and Water Quality Code is to protect premises, people and the natural environment from adverse impacts associated with excavation, filling and construction activities.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Development involving filling and excavation is safe, protects infrastructure, does not increase hazards and provides for the safety of the community;
 - b. Construction activities are undertaken safely and protect the existing amenity of the locality and the natural environment;
 - c. Development contributes to protecting or enhancing the environmental values of receiving waters;
 - d. Development avoids or minimises disturbance to natural drainage, erosion risk, salinity, and landscape features and mitigates any impacts from disturbance to receiving waters to maintain environmental values;
 - e. The water quality of both surface and groundwaters and the ecological and hydrological processes of catchments is protected;
 - f. Stormwater is managed to maintain or re-create natural hydrological processes and minimise impacts from altered run-off regimes;
 - g. Environmental values of receiving waters are protected from adverse development impacts arising from the creation or expansion of artificial waterways;
 - h. Development adopts best practice water-sensitive urban design and integrated water-cycle management approaches to ensure:
 - i. Life-cycle costs of water quality infrastructure are considered and minimised; and
 - ii. Development facilitates the achievement of water quality objectives for waterways.

Note: Water quality objectives for waterways are outlined in the *Environmental Protection (Water) Policy 2009*.

9.4.2.3 Assessment Benchmarks

Table 9.4.2.3.1—Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
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Earthworks	
<p>PO1 Earthworks do not result in increased instability of the subject or adjoining lands.</p>	<p>AO1.1 Retaining walls:</p> <ol style="list-style-type: none"> 1. are designed and certified by a suitably qualified person; and 2. do not include timber products where located or proposed to be: <ol style="list-style-type: none"> a. located on public land; or b. set back from a boundary adjoining public land a distance less than the height of the retaining wall.
	<p>AO1.2 All areas of fill are compacted in accordance with:</p> <ol style="list-style-type: none"> 1. Australian Standard 3798:1996 - Guidelines on Earthworks for Commercial and Residential Developments; and 2. Australian Standard 2870:1996 - Residential Slabs and Footings - Construction.
<p>PO2 Development undertaken in areas of existing traffic flow provides for traffic to continue to be able to reach its destination without significant delay.</p>	<p>AO2 Development ensures that where the temporary diversion of traffic is necessary:</p> <ol style="list-style-type: none"> 1. permission for a temporary road closure is obtainable from the Police, and a detour is provided via existing roads; or 2. a temporary detour is provided within or adjoining the site; or 3. if no detour is available, traffic flows are managed to ensure minimum disturbance to road users.
Damage to Existing Infrastructure	
<p>PO3 Earthworks do not result in an unnecessary disturbance to existing infrastructure.</p>	<p>AO3</p> <ol style="list-style-type: none"> 1. Development is designed to maintain the location of existing infrastructure, including depth of cover to underground infrastructure; or 2. Where disturbance to existing infrastructure is unavoidable: <ol style="list-style-type: none"> a. underground infrastructure that is covered to a greater depth is provided with access for maintenance and inspection purposes; or b. underground infrastructure that is uncovered, or has cover reduced to less than the applicable standard, is relocated or otherwise protected from damage; or c. above ground infrastructure is repositioned to a location that complies with the applicable standards.
Removal of Vegetation, Stumps and Dumped Waste	
<p>PO4 Disposal of waste generated from construction activities:</p> <ol style="list-style-type: none"> 1. is managed in a manner not to cause environmental harm; 2. complies with relevant legislation; and 3. does not occur on site. 	<p>AO4.1 Vegetation waste involving development sites of more than 5 hectares is chipped or burnt in an approved pit burner.</p> <p><i>Editor's Note - Chipping is the preferred method of vegetation disposal. Chipped vegetation can be used as soil cover for exposed areas to assist sediment control.</i></p>

	<p>AO4.2 Small quantities of waste are taken to an appropriate landfill facility.</p> <p>AO4.3 Development involving contaminated waste is disposed of in an approved manner under the Environmental Protection Act 1994.</p> <p>AO4.4 All unconsolidated fill, builder's rubble, or other waste is removed from the site prior to the completion of works.</p>
Siting and Removal of Dams	
<p>PO5 Existing dams:</p> <ol style="list-style-type: none"> 1. do not create a safety hazard; 2. are located on a single lot; and 3. where removed, the land is shaped and compacted back to its natural state. 	<p>AO5.1 Development in urban areas results in the removal of all dams.</p>
	<p>AO5.2 Development in the Rural Zone or Rural Residential Zone only retains dams where they are fully contained within one lot.</p>
	<p>AO5.3 The land affected by a dewatered dam shall be returned to its natural state by:</p> <ol style="list-style-type: none"> 1. shaping the land to its natural form or in accordance with a development approval; and 2. compaction of the soil.
Amenity	
<p>PO6 Earthworks are conducted in a manner which minimises disruption to nearby sensitive receivers having regard to:</p> <ol style="list-style-type: none"> 1. hours of operation; 2. traffic movement on access roads and within the site; 3. minimising timeframes for earthworks. 	<p>AO6 No acceptable outcome is prescribed.</p>
<p>PO7 Earthworks are conducted in a manner which reduces their visual impact.</p>	<p>AO7 Earthwork areas are grassed or landscaped immediately upon completion to a standard commensurate with their surrounds.</p>
Dust Management	
<p>PO8 Dust from development does not create environmental harm and minimises impacts on sensitive receivers.</p>	<p>AO8.1 Development provides for the suppression of dust during construction or earthworks.</p>
	<p>AO8.2 Haul routes for bulk earthworks are located as far as practical from sensitive receivers.</p>
<p>PO9 Spoil piles, stockpiles and borrow pits are located and managed to not create a dust nuisance and to minimise impacts on sensitive receivers.</p>	<p>AO9.1 Spoil piles, stockpiles and borrow pits are located as far as practical from sensitive receivers.</p>
	<p>AO9.2 Spoil piles, stockpiles and borrow pits, operating for greater than one week, are covered.</p>

Stormwater Management — Protecting Water Quality and Hydrological Processes	
<p>PO10 Development is planned and designed considering site land-use constraints to allow the provision of stormwater management systems that avoid or minimise adverse impacts on environmental values of receiving waters.</p> <p><i>Editor's Note: A site stormwater quality management plan prepared by a suitably qualified person is required to inform the layout of the development and to demonstrate compliance with the requirement</i></p>	<p>AO10.1 Development demonstrates it has minimised disturbance to:</p> <ol style="list-style-type: none"> 1. natural drainage; 2. areas with erosive, dispersive, sodic and/or saline soils; 3. acid sulfate soils; 4. groundwater levels; and 5. landscape features and vegetation. <p>AO10.2 A stormwater management system has sufficient site area to service the requirements of the development.</p> <p>AO10.3 Stormwater management systems:</p> <ol style="list-style-type: none"> 1. are located outside of wetlands, waterways and riparian areas; and 2. prevent increased channel bed and bank erosion. <p><i>Editor's Note: The approximate location of wetlands and waterways can be found on Environmental Significance Overlay Map — Wetlands and Waterways OM-04-D and Environmental Significance Overlay Map — Local Watercourses OM-04-E</i></p>
<p>PO11 Construction activities for the development avoid or minimise adverse impacts on sediment mobilisation, stormwater quality and hydrological processes.</p>	<p>AO11.1 An erosion and sediment control program (ESCP) demonstrates that release of sediment-laden stormwater is avoided or minimised by achieving the design objectives listed in Table 9.4.2.3.2 - Construction Phase — Stormwater Management Design Objectives.</p> <p>OR</p> <p>AO11.2 The ESCP demonstrates how stormwater quality will be managed so that target contaminants are treated to a design objective at least equivalent to Table 9.4.2.3.2 - Construction Phase — Stormwater Management Design Objectives.</p>
<p>PO12 Development manages stormwater to avoid or minimise the environmental impacts of stormwater discharge on the quality and waterway hydrology of receiving waters.</p> <p><i>Editor's Note: A site stormwater management plan prepared by a suitably qualified person is provided that demonstrates development can be managed to achieve compliance with the stormwater management design objectives.</i></p>	<p>AO12 Development is managed so that it meets the objectives in Table 9.4.2.3.4 - Post Construction Phase — Stormwater Management Design Objectives.</p>
<p>PO13 Development prevents increased bed and bank erosion in receiving waterways by limiting changes in run-off volume and peak flows.</p>	<p>AO13 The development is designed to:</p> <ol style="list-style-type: none"> 1. minimise impervious areas; 2. maximise opportunities for capture and reuse of stormwater; 3. incorporate natural channel design principles; and

	<p>4. achieve the waterway stability objectives listed in Table 9.4.2.3.4 - Post Construction Phase — Stormwater Management Design Objectives.</p> <p><i>Note: The waterway stability objective listed in Table 9.4.2.3.4 applies if development drains to an unlined waterway within or downstream of the site where there is an increased risk of erosion due to changes in hydrology.</i></p>
<p>PO14 Development protects in-stream ecology by maintaining pre-development low-flow discharge regimes.</p>	<p>AO14 No acceptable outcome is prescribed.</p>
<p>PO15 Development ensures that the entry and transport of contaminants into stormwater is avoided.</p> <p><i>Note: Prescribed water contaminants are defined in the Environmental Protection Act 1994.</i></p>	<p>AO15 No acceptable outcome is prescribed.</p>
Point Source Wastewater Management (Other than Contaminated Stormwater and Sewage)	
<p>PO16 Development involving wastewater discharge (other than contaminated stormwater and sewage) to a waterway avoids or minimises adverse impacts to ecological processes, riparian vegetation, waterway integrity, and downstream ecosystem health.</p>	<p>AO16.1 Where the development involves the discharge of wastewater (other than contaminated stormwater and sewage), a wastewater management plan (WWMP) is prepared by a suitably qualified person and addresses:</p> <ol style="list-style-type: none"> 1. wastewater type; 2. climatic conditions; 3. water quality objectives; 4. soil conditions and natural hydrology; and 5. best practice environmental management. <p><i>Note - Development is designed to achieve the prescribed water quality objectives for Waterways in accordance with the Environmental Protection (Water) Policy 2009.</i></p>
	<p>AO16.2 The WWMP prepared in AO16.1 provides that wastewater is managed in accordance with a waste-management hierarchy that:</p> <ol style="list-style-type: none"> 1. avoids wastewater discharges to waterways; or 2. if wastewater discharge to waterways cannot practicably be avoided, minimises wastewater discharge to waterways by reuse, recycling, recovery and treatment for disposal to sewer, surface water and groundwater.
Non-tidal artificial waterways	
<p>PO17 The location of artificial waterways:</p> <ol style="list-style-type: none"> 1. avoids groundwater-recharge areas; 2. incorporates low lying areas of a catchment connected to an existing waterway; 3. does not disturb natural wetlands and any associated buffer areas; 4. minimises disturbing soils or sediments; and 5. avoids altering the natural hydrologic regime in nutrient hazardous areas. 	<p>AO17 No acceptable outcome is prescribed.</p>

<p>PO18 Stormwater is treated before discharge into a non-tidal artificial waterway.</p>	<p>AO18 Before being discharged into an artificial waterway, stormwater is treated to achieve the applicable stormwater management design objectives outlined in:</p> <ol style="list-style-type: none"> 1. Table 9.4.2.3.2- Construction Phase — Stormwater Management Design Objectives; 2. Table 9.4.2.3.3 - Construction phase — Stormwater Management Design Objectives for Temporary Drainage Works; and 3. Table 9.4.2.3.4 - Post Construction Phase — Stormwater Management Design Objectives.
<p>PO19 Any artificial waterway is designed, constructed and managed in a way that avoids or minimises adverse impacts on ecological processes, water quality, flood capacity, waterway integrity, and ecosystem and human health.</p> <p><i>Editor's Note: A suitably qualified registered professional engineer, Queensland (RPEQ) with specific experience in establishing artificial waterways is required to demonstrate compliance with the requirement.</i></p>	<p>AO19 No acceptable outcome is prescribed.</p>

Table 9.4.2.3.2- Construction Phase — Stormwater Management Design Objectives

Issue	Desired Outcomes
<p>Drainage control</p> <p><i>Note - Refer to IECA 2008 Best Practice Erosion and Sediment Control (as amended) for details on the application of the Construction Phase requirements.</i></p>	<ol style="list-style-type: none"> 1. Manage stormwater flows around or through areas of exposed soil to avoid contamination. 2. Manage sheet flows in order to avoid or minimise the generation of rill or gully erosion. 3. Provide stable concentrated flow paths to achieve the construction phase stormwater management design objectives for temporary drainage works as specified in Table 9.4.2.3.2 - Construction phase — stormwater management design objectives for temporary drainage works. 4. Provide emergency spillways for sediment basins to achieve the construction phase stormwater management design objectives of: <ol style="list-style-type: none"> a. 10% AEP where the design life is less than 3 months; b. 5% AEP where the design life is 3-12 months; c. 2% AEP where the design life is greater than 12 months.
<p>Erosion control</p> <p><i>Note - Refer to IECA 2008 Best Practice Erosion and Sediment Control (as amended) for details on the application of the Construction Phase requirements.</i></p>	<ol style="list-style-type: none"> 1. Stage clearing and construction works to minimise the area of exposed soil at any one time. 2. Effectively cover or stabilise exposed soils prior to predicted rainfall. 3. Prior to completion of works for the development, and prior to removal of sediment controls, all site surfaces must be effectively stabilised¹ using methods which will achieve effective short-term stabilisation.
<p>Sediment control</p>	<ol style="list-style-type: none"> 1. Direct runoff from exposed site soils to sediment controls that are appropriate to the extent of disturbance and level of erosion risk.

	<ol style="list-style-type: none"> All exposed areas greater than 2500 metres² must be provided with sediment controls which are designed, implemented and maintained to a standard which would achieve at least 80% of the average annual runoff volume of the contributing catchment treated (i.e. 80% hydrological effectiveness) to 50mg/L Total Suspended Solids (TSS) or less, and pH in the range (6.5—8.5).
Litter, hydrocarbons and other contaminants	<ol style="list-style-type: none"> Remove gross pollutants and litter. Avoid the release of oil or visible sheen to released waters. Dispose of waste containing contaminants at authorised facilities.
Waterway stability and flood flow management	<ol style="list-style-type: none"> Measures are either installed prior to land disturbance and are integrated with erosion and sediment controls, or equivalent alternative measures are implemented during construction. Earthworks and the implementation of erosion and sediment controls are undertaken in ways which ensure flooding characteristics (including stormwater quantity characteristics) external to the development site are not worsened during construction.

Note - Drainage, erosion and sediment controls should be appropriate to the risk posed by the activity for the relevant climatic region

e.g. considering the potential soil loss rate, monthly erosivity or average monthly rainfall.

Note 1 - An effectively stabilised surface is defined as one that does not, or is not likely to result in visible evidence of soil loss caused by sheet, rill or gully erosion or lead to sedimentation water contamination.

Table 9.4.2.3.3 - Construction phase — Stormwater Management Design Objectives for Temporary Drainage Works

Temporary drainage works	Anticipated operation design life and minimum design storm event		
	< 12 months	12—24 months	> 24 months
Drainage structure	1 in 2 year ARI 39% AEP	1 in 5 year ARI 18% AEP	1 in 10 year ARI 10% AEP
Where located immediately up-slope of an occupied property that would be adversely affected by the failure or overtopping of the structure	1 in 10 year ARI 10% AEP		
Culvert crossing	1 in 1 year ARI 63% AEP		

Table 9.4.2.3.4 - Post Construction Phase — Stormwater Management Design Objectives

Reductions in mean annual load from unmitigated development (%)				
Total Suspended Solids (TSS)	Total Phosphorus (TP)	Total Nitrogen (TN)	Gross Pollutants >5mm	Waterway Stability Management
80	60	45	90	Limit the 63% AEP event discharge

				within the receiving waterway to the pre-development 63% AEP event discharge
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9.4.3 Infrastructure Design Code



9.4.3.1 Application

This code applies to development identified as requiring assessment against the Infrastructure Design Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.4.3.2 Purpose

1. The purpose of the Infrastructure Design Code is to ensure that the infrastructure that is provided meets Council's accepted standards of service for development and protects premises and natural processes during its construction and operation.
2. The purpose of the code will be achieved through the following overall outcomes:
 - a. Infrastructure provides for the protection of the amenity of the locality;
 - b. Infrastructure is located to ensure it is convenient for users and maintenance, and is protected from potential damage;
 - c. Infrastructure minimises adverse effects on the wellbeing of the community and the environment;
 - d. Development provides the infrastructure necessary to deliver a standard of service that is equitable and affordable;
 - e. Development does not diminish the safety, efficiency or integrity of the existing infrastructure network;
 - f. Disruption of the community during construction and maintenance of infrastructure is minimised;
 - g. Infrastructure results in minimal whole of lifecycle cost to the community by providing for a suitable design life, ease of maintenance and ease of replacement; and
 - h. Infrastructure provides for an aesthetic landscape by incorporating natural elements or by blending with the landscape.

9.4.3.3 Assessment Benchmarks

Table 9.4.3.3.1—Assessable Development

Performance Outcomes	Acceptable Outcomes
Infrastructure Access and Maintenance	
PO1 Infrastructure is designed and constructed to provide easy access for maintenance and to minimise maintenance costs.	AO1.1 All elements of the stormwater drainage network are provided with access and allow for maintenance in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design .
	AO1.2 Local government infrastructure on private property is

	<p>provided with access easements in accordance with the Planning Scheme Policy 1: Infrastructure Design.</p> <p>AO1.3 Trenches for underground services are in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
Stormwater Infrastructure	
<p>PO2 The stormwater network is designed to:</p> <ol style="list-style-type: none"> 1. result in no net increase in stormwater leaving the site; or 2. contribute towards a catchment wide quantity control system. 	<p>AO2 No acceptable outcome is prescribed.</p>
<p>PO3 The stormwater network is designed to improve stormwater quality and minimise stormwater quality deterioration.</p>	<p>AO3.1 Stormwater quality improvement devices are provided on all car parking areas with a capacity greater than 8 vehicles.</p> <p>AO3.2 Stormwater quality is controlled through the provision of features designed to reduce contaminants such as excess nutrients and petrochemicals.</p>
<p>PO4 Stormwater infrastructure is designed and constructed:</p> <ol style="list-style-type: none"> 1. in accordance with natural channel design principles instead of a constructed channels where there is no natural flow path; 2. to minimise erosion; 3. to not locate major overland flow paths on private property in urban areas; 4. to prevent obstruction of the drainage network; 5. to preserve public safety; and 6. to connect to the stormwater network where available. 	<p>AO4 Stormwater infrastructure is designed and constructed in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
Allotment Drainage	
<p>PO5 In urban areas, development provides for allotment runoff to be:</p> <ol style="list-style-type: none"> 1. connected to the stormwater network where the lot drains to the road and/or occupiable lot; or 2. discharged to a gravel pit where the lot drains to a park or drainage reserve. 	<p>AO5 Inter-lot drainage is provided in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
Pavements and Road Works	
<p>PO6 Road pavements are of sufficient depth to provide a minimum 20 year design life based on design traffic speeds and traffic capacity.</p>	<p>AO6 Road pavements are provided in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
<p>PO7 Development obtains access from a road and transport route which ensures the safe, efficient and comfortable operation of external roads having regard to:</p> <ol style="list-style-type: none"> 1. the number and types of vehicles generated by the development; 	<p>AO7 Road design and construction is in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>

<ol style="list-style-type: none"> 2. ensuring pavement design, standard and width can carry the additional number and types of vehicles generated by the development without undue physical impact on the road or pavement life; 3. ensuring road and access driveway design caters for anticipated vehicles and vehicle use in the development, enabling suitable manoeuvrability and safety, and avoiding congestion; 4. the functional classification of the road from which it gains access; 5. the location of access points; 6. the potential for conflict between vehicles, pedestrians, cyclists and other road users; 7. the design of pedestrian access along roads giving access to the site; and 8. the desired speed environment. 	
<p>PO8 Development minimises conflict points when locating and designing intersections.</p>	<p>AO8 Development is undertaken in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
<p>PO9 Development provides traffic management to ensure the safe operation of the intersection.</p>	<p>AO9 Intersections, including uncontrolled intersections, round-a-bouts, signalised intersections and grade separated intersections are designed in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
<p>PO10 The design and design capacity of a pavement:</p> <ol style="list-style-type: none"> 1. is adequate for the role the pavement will play in the transport network for vehicle, pedestrian or other traffic; 2. prevents pooling of water on a pavement in other than a major flood event; 3. provides that line marking, including crossings, is designed and applied to ensure the safe movement of traffic; 4. provides guideposts and road signage that adequately warn all road users of hazards to traffic movements and delineate the course of the road; and 5. ensures services, including electricity, water, sewerage and communications, are not located beneath the pavement other than where necessary to cross the pavement and: <ol style="list-style-type: none"> a. at a right angle to the road boundary; or b. at an angle not greater than 45 degrees to the road boundary. 	<p>AO10 Design and construction of pavement is in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
<p>PO11 A sealed surface is provided to pavements to minimise dust, maximise pavement longevity and minimise maintenance based on the function of the road or surfaced area.</p>	<p>AO11 Design and construction of pavement surface is in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
<p>PO12 Edging is provided to sealed surfaces where traffic volumes are significant or there are significant vehicle movements from off the sealed surface onto the sealed</p>	<p>AO12 Design and construction of pavement edging is in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>

surface to prevent erosion of the sealed surface.	
<p>PO13 Kerb and channel is provided within all urban areas.</p>	<p>AO13 Kerb and channel is provided in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design in all land within the:</p> <ol style="list-style-type: none"> 1. Low-Density Residential Zone; 2. Low-Medium Density Residential Zone; 3. Major Centre Zone; 4. District Centre Zone; 5. Local Centre Zone; 6. Township Zone; 7. Mixed Use Zone; and 8. Industry Zone.
<p>PO14 Kerb and channel is provided where stormwater flows in table drains will result in the erosion of the table drain.</p>	<p>AO14 Development is undertaken in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
<p>PO15 Upright kerb is provided in all locations where lot access is not to be provided but kerb and channel is to be provided.</p>	<p>AO15 Kerbs are designed and constructed in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
<p>PO16 Verges to roads are adequate to accommodate:</p> <ol style="list-style-type: none"> 1. safe and efficient movement of all users, including pedestrians and cyclists; 2. on-street parking; 3. street tree planting; and 4. utility infrastructure, including stormwater management and run-off from road surfaces. 	<p>AO16 Verges are designed and constructed in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
<p>PO17 Table drains are provided where roadside stormwater flows can be contained within the road reserve, stormwater flows are insufficient to cause significant erosion of the table drain and a grass cover can be maintained within the table drain.</p>	<p>AO17 Table drains are designed and constructed in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
<p>PO18 Cross drainage is managed so to retain the functionality of the road or paved surface.</p>	<p>AO18 Development provides:</p> <ol style="list-style-type: none"> 1. cross drainage to roadways and paved surfaces in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design; or 2. diversion of cross drainage around the roadway or paved surface.
<p>PO19 Development provides for on-street parking considering:</p> <ol style="list-style-type: none"> 1. safety; 2. the functional classification of the road; and 3. the location of any intersections or access points. 	<p>AO19 On-street parking is provided in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p> <p><i>Note - The provision of on-street parking is in addition to any parking required under the Parking and Access Code.</i></p>
<p>PO20 The road network is designed to:</p> <ol style="list-style-type: none"> 1. maximise vehicular, pedestrian, cycle and other transport network user safety; and 2. maximise the efficiency of the network considering 	<p>AO20 The road network is designed in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>

construction cost and maintenance and operating costs.	
Electricity and Communications	
PO21 Development provides electricity and communications infrastructure. Such infrastructure is located and designed to: <ol style="list-style-type: none"> 1. minimise the visual impact of the infrastructure; 2. be located for ease of maintenance; and 3. provide warning tape to enable detection of underground cables when excavating. 	AO21 Services are provided in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design .
External Works	
PO22 Where access to the external infrastructure network is to be provided development must construct the connection of the premises to the external infrastructure network.	AO22 No acceptable outcome is prescribed.
PO23 The design of the infrastructure network and any connection to the external network is constructed to an appropriate standard and does not diminish the safety and efficiency of the infrastructure network.	AO23 Connection to external infrastructure is undertaken in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design .
Bridges	
PO24 Development provides for bridges to be: <ol style="list-style-type: none"> 1. safe for all users; 2. minimise the accumulation of debris on the bridge or its supporting structures; and 3. provided instead of culverts where there is a significant risk of clogging. 	AO24 Bridge design and construction is undertaken in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design .
PO25 Development provides for bridges to equitably provide space for all likely users.	AO25 Development provides for bridges which: <ol style="list-style-type: none"> 1. provide for separate pedestrian space where the road class provides for a pathway and/or bikeway in the road profile in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design; 2. provide the opportunity for the future addition of separate pedestrian space; and 3. prevent access for vehicles where the bridge has not been designed to carry vehicles.
PO26 Where the infrastructure network designs require infrastructure to cross waterways, bridges are designed to make provision for the carriage of: <ol style="list-style-type: none"> 1. water supply pipes; 2. sewerage pipes; and 3. electricity or telephone cables. 	AO26 No acceptable outcome is prescribed.
Local Area Traffic Management Devices	
PO27 Development provides for local area traffic management	AO27 Development is undertaken in accordance with the

<p>devices to be designed and constructed to ensure devices:</p> <ol style="list-style-type: none"> 1. do not become a traffic hazard; 2. result in a diminished speed environment; 3. do not incorporate elements which would reduce visibility of hazards for traffic below that limits for the speed environment; 4. are removable at low cost; 5. are incorporated into an area that there is a clear delineation between main traffic routes and minor local streets; and 6. do not result in a traffic hazard at the local area traffic management device due to traffic storing at an intersection. 	<p>standards in Planning Scheme Policy 1: Infrastructure Design.</p>
Street Furniture	
<p>PO28 Development provides for street furniture to be:</p> <ol style="list-style-type: none"> 1. designed and constructed to ensure they do not become a traffic hazard; 2. designed and constructed to be safe for users and passing pedestrians; 3. designed to a consistent theme used in, or intended for, the locality; 4. designed to ensure they do not impede the maintenance of services located within the road verge; 5. designed to provide an aesthetic streetscape and incorporate landscaped elements; and 6. designed, located and constructed so that pedestrian and bicycle movement is not impeded. 	<p>AO28 Street furniture is provided in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
Parks	
<p>PO29 Where development provides recreation space, the design of the recreation space and any furniture or recreation equipment or facilities is safe and accessible for all users.</p>	<p>AO29.1 Development provides that the design of recreation space conforms to the principles of crime prevention through environmental design (CEPTD).</p>
	<p>AO29.2 Development provides that recreation spaces, including all furniture or recreation equipment, are in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
	<p>AO29.3 Development provides for recreation spaces designed in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
Lighting	
<p>PO30 Lighting infrastructure:</p> <ol style="list-style-type: none"> 1. is consistent with the expected capacity of the use; 2. upgrades existing networks where current capacity is insufficient for the needs of the use; and 3. is in keeping with the character of the location. 	<p>AO30 Lighting infrastructure is provided in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
Landscaping of Public Areas	

PO31

Landscaping of parks, streets and future public places is designed to:

1. enhance and soften the built form;
2. enhance the streetscape character;
3. contribute to attractive streets and public spaces;
and
4. be in keeping with the character of the location.

AO31

Landscaping of future public lands is provided in accordance with the standards in **Planning Scheme Policy 6: Landscaping for Public Areas.**

9.4.4 Landscaping Code



9.4.4.1 Application

This code applies to development identified as requiring assessment against the Landscaping Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.4.4.2 Purpose

1. The purpose of the Landscaping Code is to ensure that landscaping is provided to enhance the visual amenity of the built and natural environment, or where necessary to screen incompatible or unsightly development.
2. The purpose of the code will be through the following overall outcomes:
 - a. Landscaping:
 - i. is designed in accordance with Council's standards and other relevant landscaping standards including Australian Standards;
 - ii. protects and enhances existing significant on-site vegetation, where practicable;
 - iii. is utilised to integrate and soften the built form with the desired character of the area;
 - iv. is designed and constructed to buffer or screen incompatible uses;
 - v. is provided in a manner that predominantly uses endemic and local species to minimise the consumption of energy and water and minimise the amount of maintenance required;
 - vi. does not impact negatively on personal safety and security, is functional and durable, and is practical and economic to maintain;
 - vii. does not use or encourage weed or pest species;
 - viii. ensures timely and proper performance and maintenance of landscape works;
 - ix. reduces the risk to the natural environment and minimises maintenance problems and damage to infrastructure and built structures; and
 - x. assists climate control and energy efficiency for the development.

9.4.4.3 Assessment Benchmarks

Table 9.4.4.3.1— Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
Retention of Trees	
PO1 Landscaping: <ol style="list-style-type: none"> 1. is sensitive to existing site conditions, topography and scenic and landscape characteristics; 2. as far as practicable, retains existing vegetation of ecological value; and 3. protects and enhances the existing character and amenity of the site, street and surrounding area. 	AO1 Development; <ol style="list-style-type: none"> 1. ensures the retention of existing trees where practicable; and 2. ensures: <ol style="list-style-type: none"> a. retained planting is protected in accordance with AS 4970 2009 - Protection of Trees on Development sites; or

	b. that where significant trees and vegetation cannot practicably be retained, mature vegetation of the same or similar species is provided elsewhere on the development site.
Preferred Species	
PO2 Landscaping: <ol style="list-style-type: none"> predominately uses native species suitable to the location of the development; and avoids the introduction or spread of weed species and pests. 	AO2 Development ensures that: <ol style="list-style-type: none"> at least 50% of trees are species selected from Planning Scheme Policy 2 - Landscape Design - Part 4 Preferred Landscape Species; and plants listed in the Biosecurity Act 2014 are not used.
Landscaping - where not otherwise specified	
PO3 Development, where no specific landscape requirements are stated in this Code, incorporates landscaping designed to: <ol style="list-style-type: none"> enhance and soften the visual and built form attributes of a development; complement the existing design and character of landscaping on adjacent sites; integrate the development with its surroundings; and reflect the landscape character of the locality. 	AO3 Development incorporates aesthetic landscaping which meets the standards in Planning Scheme Policy 2 - Landscape Design .
Climate Control and Energy Efficiency	
PO4 Development provides landscaping that assists in passive solar access, the provision of shade, microclimate management and energy conservation.	AO4 Climate control and energy efficiency design meets the standards in Planning Scheme Policy 2 - Landscape Design .
Protection of Buildings and Infrastructure	
PO5 Development ensures that the location and type of planting does not have an adverse effect on building foundations or electricity infrastructure such as overhead and underground utility services.	AO5.1 Planting is not undertaken within a public utility easement or within 3 metres of overhead or underground utility services.
	AO5.2 Plant species will not damage building foundations or overhead and underground utility services.
	AO5.3 Vegetation used in landscaping adjacent to substations, or adjacent to an electricity easement uses species which will be less than 4 metres in height at maturity, and will not encroach within 3 metres of a substation boundary.
Landscape Bonds	
PO6 Development ensures the timely and proper performance and maintenance of landscape works.	AO6 Development provides a bond equivalent to: <ol style="list-style-type: none"> the cost of proposed landscape works; and maintenance works required until landscape plantings are established. <p>Note - A bond may be provided in stages in line with identified stages of development.</p> <p>Note - Bonding would not generally be required for minor</p>

<i>landscaping.</i>	
Aesthetic Landscaping	
<p>PO7 Development in the:</p> <ol style="list-style-type: none"> 1. Community Facilities Zone; 2. District Centre Zone; 3. Industry Zone; 4. Local Centre Zone; 5. Major Centre Zone; 6. Minor Tourism Zone; 7. Mixed Use Zone (Commercial/Industrial Precinct); and 8. Township Zone (Where no precinct applies); <p>provide aesthetic landscaping to:</p> <ol style="list-style-type: none"> a. enhance and soften the built form; b. enhance the streetscape character; c. contribute to attractive streets; and d. be consistent with the local character having regard to the zone in which the site is located. <p>Note - this outcome does not apply where buildings are not set back from the street or a public space boundary</p>	<p>AO7 An aesthetic landscape strip is provided being:</p> <ol style="list-style-type: none"> 1. a minimum width of: <ol style="list-style-type: none"> a. 2 metres where located in the Industry Zone, Mixed Use Zone (Commercial/Industrial Precinct) or Community Facilities Zone; and b. 1 metre where located in any other listed Zone; and 2. within the site boundaries adjacent to all street and public place boundaries; and 3. designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design.
Buffer Landscaping	
<p>PO8 Buffer landscaping within the following zones is designed to minimise impacts on land in an adjoining residential zone having regard to visual amenity and privacy:</p> <ol style="list-style-type: none"> 1. Community Facilities Zone; 2. District Centre Zone; 3. Local Centre Zone; 4. Major Centre Zone; and 5. Minor Tourism Zone. 	<p>AO8 On all common boundaries with land in a residential zone, development provides:</p> <ol style="list-style-type: none"> 1. buffer landscaping with a minimum width of 2 metres designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design; or 2. a solid screen fence 1.8m high. <p>Note: In areas of MLES or MSES, fencing or buffer landscaping is designed to be wildlife-friendly.</p>
Screen Landscaping	
<p>PO9 Screen landscaping that screens the development from a residential zone, and maintains visual amenity and privacy, is provided to all development within the following zones:</p> <ol style="list-style-type: none"> 1. Industry Zone; 2. Low Density Residential Zone; 3. Low-Medium Density Residential Zone; and 4. Mixed Use Zone (Commercial/Industrial Precinct). 	<p>AO9 On all common boundaries with land in a residential zone, development provides:</p> <ol style="list-style-type: none"> 1. screen landscaping with a minimum width of: <ol style="list-style-type: none"> a. 3 metres if located in the Industry Zone or Mixed Use Zone (Commercial/Industrial Precinct); or b. 2 metres if located in any other listed Zone; or 2. a solid screen fence 1.8 metres high. <p>Screen landscaping shall be designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design.</p> <p>Note: In areas of MLES or MSES, fencing or buffer landscaping is designed to be wildlife-friendly.</p>
Street Landscaping	
<p>PO10 Development includes street landscaping that enhances the character of the local area and:</p> <ol style="list-style-type: none"> 1. incorporates shade trees; 2. contributes to the continuity, character and form of 	<p>AO10 Development:</p> <ol style="list-style-type: none"> 1. provides street trees along each road frontage of the site at whichever is the greater of: <ol style="list-style-type: none"> a. 1 tree per 10 metres of road frontage; or

<p>existing and proposed streetscapes in the locality, including streetscape works;</p> <ol style="list-style-type: none"> 3. incorporates landscape design (including planting, pavements, furniture, structures, etc.) that reflect and enhance the character of the streetscape; 4. incorporates landscape design that is consistent with and complementary to the natural landscape character of the local area; and 5. minimises risk to the natural environment and damage to infrastructure and built structures. 	<ol style="list-style-type: none"> b. 1 tree per 400m² of site area; and 2. uses trees selected from Planning Scheme Policy 2 - Landscape Design - Part 4 Preferred Landscape Species; and 3. provides streetscape in accordance with standards in Planning Scheme Policy 2 - Landscape Design.
Outdoor Storage Areas	
<p>PO11 Development ensures outdoor storage and waste storage areas are screened from view from the street and public spaces.</p>	<p>AO11 Outdoor storage and waste storage areas are screened from the street or a public space, by way of either:</p> <ol style="list-style-type: none"> 1. 2 metre wide screen landscaping designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design; or 2. a solid 1.8 metre high screen fence.
Hardstand Areas	
<p>PO12 Development provides buffer landscaping that ensures vehicle parking, public areas and common areas enhance the amenity and safety of the site and mitigate impacts associated with expanses of hardstand area.</p>	<p>AO12 Buffer landscaping of vehicle parking, public areas and common areas meets the standards in Planning Scheme Policy 2 - Landscape Design.</p>
Landscaping for Specific Uses	
<p>PO13 Animal keeping provides for:</p> <ol style="list-style-type: none"> 1. landscaping: <ol style="list-style-type: none"> a. that enhances and softens the visual and built form attributes of a development; and b. integrates the development with its surroundings; and 2. landscaping that buffers the development and any incompatible uses and provides privacy for sensitive receivers. 	<p>AO13 Where visible from an adjoining road or sensitive receiver not associated with the development, development provides:</p> <ol style="list-style-type: none"> 1. buffer landscaping designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design; or 2. a solid 1.8 metre high screen fence.
<p>PO14 A Tourist park, Relocatable home park or a Retirement facility mitigates potential visual impacts of the development by including appropriate screening and separation from the street and sensitive receivers.</p>	<p>AO14.1 A solid 1.8 metre high screen fence is provided for the full length of any common property boundary adjoining a sensitive receiver.</p> <p>AO14.2 A 3 metre wide screen landscape is provided to the front, side and rear property boundaries of the site designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design.</p>
<p>PO15 An Extractive industry is screened from roads, public areas and neighbouring properties for the life of the activity, having regard to:</p> <ol style="list-style-type: none"> 1. the characteristics of the site and surrounding area; 2. the resource being extracted; and 3. the landscape character of the locality. 	<p>AO15.1 No existing vegetation is cleared within buffer areas.</p> <p>AO15.2 Shrubs and trees are either retained or planted to:</p> <ol style="list-style-type: none"> 1. screen the activities on the site from any public area; and 2. provide a screen landscape at least 30 metres wide along all boundaries.

	<p>AO15.3 Where there is no existing vegetation to form an adequate screen, planted mounds are erected within 10 metres of the property boundary:</p> <ol style="list-style-type: none"> 1. with a maximum slope of 1 in 3; and 2. a minimum height of 1.2 metres such as to impede the line of site from adjoining residences and public places.
	<p>AO15.4 A Landscape Plan, prepared by a suitably qualified person, will be submitted to Council which provides for:</p> <ol style="list-style-type: none"> 1. an overall concept plan for screen landscaping; 2. for screen landscaping to be planted in advance of stages; 3. maintenance of vegetation; and 4. proposed criteria and staging for the submission of the landscape bond for the establishment and maintenance of landscaping.
	<p>AO15.5 Landscaping meets the standards in Planning Scheme Policy 2 - Landscape Design.</p>
<p>PO16 A medium density residential activity provides for:</p> <ol style="list-style-type: none"> 1. landscaping: <ol style="list-style-type: none"> a. that enhances and softens the visual and built form attributes of a development; and b. integrates the development with its surroundings; 2. landscaping that screens the development from incompatible uses and provides privacy for sensitive receivers; 3. landscaping that ensures vehicle parking, public areas and common areas enhance the amenity of the site and mitigate impacts associated with expanses of hardstand area. 	<p>AO16 A development:</p> <ol style="list-style-type: none"> 1. provides aesthetic landscaping in accordance with Planning Scheme Policy 2 - Landscape Design; and 2. provides a landscaped area within the front setback, which comprises a minimum of 70% soft landscaping.
<p>PO17 Large scale structures associated with:</p> <ol style="list-style-type: none"> 1. Intensive animal industry (not being a poultry farm); 2. Intensive horticulture; 3. Renewable energy facility; 4. Wholesale nursery; and <p>do not present an appearance of bulk to a residential zone, sensitive land uses, roads or public places adjacent to the development through buffer landscaping, design or distance.</p>	<p>AO17 Development:</p> <ol style="list-style-type: none"> 1. provides buffer landscaping where the development is visible from a residential zone, existing sensitive receivers, roads or public places; and 2. ensures that landscaping is designed and constructed in accordance with Planning Scheme Policy 2 - Landscape Design.

Note - Where a development is subject to more than one landscape outcome, the following applies:

1. where differing standards apply, the higher standard and greater width of landscaping applies;
2. landscaping can be combined to achieve multiple outcomes, e.g. a car park buffer can also provide aesthetic landscaping where designed appropriately

9.4.5 Parking and Access Code



9.4.5.1 Application

This code applies to development identified as requiring assessment against the Parking and Access Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.4.5.2 Purpose

1. The purpose of the Parking and Access Code is to ensure that vehicular parking, external and internal roads, and driveway access meet the needs of development, maintain a safe and efficient transport network and preserve the character and amenity of the surrounding area.
2. The purpose of the Parking and Access Code will be achieved through the following overall outcomes:
 - a. Vehicular parking, external and internal roads, and driveway access is designed to:
 - i. meet the demand generated by the development;
 - ii. meet Council's standards and other relevant standards including Australian Standards;
 - iii. protect the amenity of nearby uses and achieve a high standard of design;
 - iv. provide a safe environment for both pedestrians and vehicles;
 - v. provide pick up and set down areas for larger scale, high traffic uses;
 - vi. ensure loading and unloading of vehicles can occur easily and safely within the site;
 - vii. maintain or improve the function and safety of the transport network external to the site;
 - viii. cater for requirements of emergency and other essential service vehicles; and
 - ix. allow for future integration with public transport facilities.

9.4.5.3 Assessment Benchmarks

Table 9.4.5.3.1— Criteria for Accepted Development and Assessable Development

Performance Outcomes	Acceptable Outcomes
Parking Provision Rates	
PO1 Development provides for sufficient vehicle and service vehicle parking on site to satisfy the expected demand for the number and type of vehicles likely to be generated by a use having regard to the particular circumstances of the premises including the: <ol style="list-style-type: none"> 1. nature, intensity and hours of operation of the use; and 2. the existing and expected future traffic conditions in the surrounding area. 	AO1 Development provides the number of vehicle and service vehicle parking spaces on site identified in Table 9.4.5.3.3 - Car and Service Vehicle Parking . <i>Note - Car parking for people with disabilities must be addressed in accordance with the provisions of the National Construction Code, Volume 1, Part D3.5 Accessible Carparking.</i>
Vehicle Access and Manoeuvring	
PO2	AO2

<p>Vehicle parking areas are designed to:</p> <ol style="list-style-type: none"> 1. provide for safe and efficient vehicle movements throughout the site; 2. minimise conflict between vehicles and pedestrians; and 3. provide for safe and efficient ingress and egress points. 	<p>All vehicles are able to enter and exit the site in a forward direction.</p>
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Table 9.4.5.3.2—Criteria for Assessable Development

Performance Outcomes	Acceptable Outcomes
Car Park Design and Layout	
<p>PO1 Vehicle parking areas are located and designed to:</p> <ol style="list-style-type: none"> 1. provide for safe and efficient movement of vehicles and pedestrians throughout the site; 2. minimise conflict between vehicles and pedestrians; 3. clearly delineate safe pedestrian movement; 4. provide for safe and efficient ingress and egress points; 5. provide for safety and security of users and pedestrians; 6. incorporate on-site landscaping; and 7. minimise the impact of vehicle parking on adjacent uses. 	<p>AO1.1 Each car space provided has a minimum width of 2.4 metres and a minimum length of 5.4 metres.</p>
	<p>AO1.2 Each parking bay provided for a heavy vehicle has the minimum dimensions specified below:</p> <ol style="list-style-type: none"> 1. Articulated vehicle (AV): minimum width of 3.5 metres and a minimum length of 17.5 metres; 2. Heavy rigid vehicle (HRV): minimum width of 3.5 metres and a minimum length of 11 metres; and 3. Small rigid vehicle (SRV): minimum width of 3.5 metres and a minimum length of 6.7 metres.
	<p>AO1.3 All internal car park aisles have a minimum width of 6.2 metres.</p>
	<p>AO1.4 All vehicles are able to enter and exit the site in a forward direction.</p>
	<p>AO1.5 Carpark and internal road pavements are constructed:</p> <ol style="list-style-type: none"> 1. in the Rural and Rural Residential Zones, to at least 100mm of gravel pavement with cross drainage; or 2. in any other zone: <ol style="list-style-type: none"> a. to at least 100mm of gravel pavement with a bitumen or asphaltic seal and cross drainage; or b. of concrete.
Driveway Access	
<p>PO2 Vehicle access to a development:</p> <ol style="list-style-type: none"> 1. responds to the needs of the use having regard to volume, frequency and type of vehicle generation; 2. provides for the safety of drivers and pedestrians; 3. provides unimpeded access for emergency and essential service vehicles; and 4. does not impact on the efficiency or safety of the external road network. 	<p>AO2.1 Driveway access is designed and constructed in accordance with the standards in Planning Scheme Policy 1: Infrastructure Design.</p>
	<p>AND</p> <p>AO2.2 The minimum driveway access dimensions for a heavy vehicle complies with Table 3.1, Section 3 of AS2890.1:2004 Parking Facilities - Part 1: Off-street Car Parking.</p>
<p>PO3 The parking spaces are designed to be:</p>	<p>AO3.1 Entry and exit points to the car park are clearly</p>

<ol style="list-style-type: none"> 1. useable by the occupants and visitors including disabled persons; 2. easily accessible from the building; 3. located to encourage off-street parking; 4. located and designed to maintain or improve the character of the surrounding area; and 5. located within the development site. 	<p>signposted.</p> <p>AO3.2 All parking spaces are freely available for use by a development's employees and visitors during the business hours of the use.</p> <p>AO3.3 Above ground or multi-level parking areas are designed, articulated and use finishes of a quality equal to or better than adjoining development.</p>								
<p>PO4 The parking area provides:</p> <ol style="list-style-type: none"> 1. clearly marked parking spaces of adequate dimensions; 2. adequate manoeuvring area for parking spaces; 3. a clear, safe, and effective circulation system; and 4. sufficient queuing area for vehicles entering or leaving the site. 	<p>AO4.1 The parking area is designed in accordance with AS2890.1:2004 - Parking Facilities — Part 1: Off-street Car Parking.</p> <p>AO4.2 Small car parking is:</p> <ol style="list-style-type: none"> 1. limited to a maximum of 10% of the total spaces provided; 2. physically separated from standard sized spaces; and 3. signposted as small car parking. <p>AO4.3 The layout of the parking area assists in controlling traffic circulation and parking movements, and in limiting vehicle speeds.</p> <p>AO4.4 Parking, turning movements or intersection aisles are not located in a queuing area.</p> <p>AO4.5 Queuing spaces are provided in accordance with the table below.</p> <table border="1" data-bbox="790 1272 1433 1529"> <thead> <tr> <th style="background-color: #cccccc;">Static capacity of car park</th> <th style="background-color: #cccccc;">Queue spaces</th> </tr> </thead> <tbody> <tr> <td>1 to 60 spaces</td> <td>2</td> </tr> <tr> <td>61 to 100 spaces</td> <td>3</td> </tr> <tr> <td>Greater than 100 spaces</td> <td>As per table 3.3, AS 2890.1</td> </tr> </tbody> </table> <p>AO4.6 Development, which is located on a minor road, provides one queuing space with a minimum length of 6 metres measured from the property boundary.</p>	Static capacity of car park	Queue spaces	1 to 60 spaces	2	61 to 100 spaces	3	Greater than 100 spaces	As per table 3.3, AS 2890.1
Static capacity of car park	Queue spaces								
1 to 60 spaces	2								
61 to 100 spaces	3								
Greater than 100 spaces	As per table 3.3, AS 2890.1								
<p>PO5 Parking areas are constructed to a standard:</p> <ol style="list-style-type: none"> 1. suitable for the vehicles and frequency of use associated with development; and 2. that does not to cause environment nuisance. 	<p>AO5 The standard of constructed surfaces, including parking areas, internal roads and driveway accesses:</p> <ol style="list-style-type: none"> 1. reflects the type of vehicles associated with the use; 2. reflects the frequency of use; 3. reflects the nature of the development; and 4. minimises noise and dust impacts on adjacent sensitive land uses. 								
<p>PO6 Safe and segregated pedestrian paths are provided</p>	<p>AO6 No acceptable outcome is prescribed.</p>								

within the parking area that provide access to the use.	
<p>P07 A bus pick up and set down area is provided on site where the development involves:</p> <ol style="list-style-type: none"> 1. a Community use; or 2. an Educational establishment; or 3. a Hospital; or 4. a Major sport, recreation and entertainment facility; or 5. a Short term accommodation or Hotel with more than 20 units or rooms; or 6. a major Residential care facility; or 7. a Shopping centre with a GFA in excess of 5,000m². 	<p>A07 A bus pick up and set down area is provided that allows:</p> <ol style="list-style-type: none"> 1. a bus to manoeuvre in accordance with Austroads Standards for a long rigid bus; 2. passengers to safely board and alight from the bus; and 3. buses to avoid obstructing access for circulating traffic within the site or on the street.
<p>P08 A car pick up and set down area is provided on site where the development involves:</p> <ol style="list-style-type: none"> 1. a Cemetery or Crematorium; or 2. a Child care centre; or 3. a Community use; or 4. an Educational establishment; or 5. a Hospital; or 6. a Major sport, recreation and entertainment facility; or 7. a licensed Club or Hotel; or 8. a Place of worship; or 9. a Shopping centre with a gross floor area in excess of 5,000m². 	<p>A08 A car pick up and set down area is provided within the site that allows:</p> <ol style="list-style-type: none"> 1. several cars at one time to manoeuvre in accordance with Austroads standards; 2. passengers to safely board and alight from the vehicle; and 3. cars to avoid obstructing access for circulating traffic within the site.
Service Vehicle Provision	
<p>PO9 Development provides for the loading, unloading, manoeuvring, and access by service vehicles on-site in a manner that:</p> <ol style="list-style-type: none"> 1. is sufficient for the service vehicles to gain ready access to loading or unloading facilities associated with the uses on site; 2. is safe and efficient; 3. does not impede vehicular and pedestrian circulation within or external to the site; and 4. does not detract from the amenity of the locality and in particular adjoining properties. 	<p>AO9.1 Service vehicle parking is provided in accordance with Table 9.4.5.3.3 - Car and Service Vehicle Parking.</p>
	<p>AO9.2 Service areas and driveway accesses are provided in accordance with the provisions of AS2890.2 2002 — Parking Facilities — Off-street Commercial Vehicle Facilities.</p>
	<p>AO9.3 Service vehicle loading and unloading areas are screened from view from adjacent incompatible uses.</p>
<p>PO10 Refuse collection vehicles are able to readily access on-site refuse storage facilities.</p>	<p>AO10.1 Access, pavement design and manoeuvring areas for an on-site refuse storage facility to enable access by a refuse collection vehicle are provided in accordance with Austroads standards, HB72 Design Vehicles and Turning Path Templates.</p>
	<p>AO10.2 Extra pavement depth is provided on the route the refuse collection vehicle will take through the car park.</p>
Parking for Motorcycles	
<p>PO11 Development provides parking spaces for motorcycles in a manner sufficient to meet user needs.</p>	<p>AO11 Parking spaces for motorcycles are provided in accordance with Section 2.4.7 of AS2890.1:2004</p>

Parking Facilities - Part 1: Off-Street Car Parking.	
Parking for Bicycles	
PO12 Development provides for bicycle parking and end-of-trip facilities in an adequate manner to meet user needs where the development involves: <ol style="list-style-type: none"> 1. a Community use; or 2. a Sport, leisure or entertainment centre; or 3. a library or other public building; or 4. an Educational establishment; or 5. a Hospital or Health care service; or 6. a major park or recreation area; or 7. a Shopping centre. 	AO12.1 Bicycle parking is provided in accordance with AS2890.3:2015 - Parking Facilities - Bicycle Parking.
	AO12.2 Development provides for long term bicycle parking space together with the following end-of-trip facilities: <ol style="list-style-type: none"> 1. 1 locker per 2 bicycle parking spaces; and 2. 1 shower cubicle and change room per 10 bicycle parking spaces.
	AO12.3 Short-term, bicycle parking areas are located within 15 metres of the main entry to the building or facility they serve.
Lighting	
PO13 Development provides lighting for safety and security in and around parking areas.	AO13.1 Lighting is appropriately placed to avoid shadows and glare which might put pedestrians or vehicles at risk, including shielding lighting sources at eye level.
	AO13.2 Night lighting is controlled by photoelectric cells rather than time switches.
	AO13.3 Areas not intended for night use are closed off from public access.
	AO13.4 Light spillage onto adjoining land and roadways is avoided and illumination levels outside the boundary of the site do not exceed 8 lux when measured 1.5 metres outside the boundary of the site at any level upwards from the ground.
	AO13.5 Lighting within parking structures complies with AS/NZS 1680.1:2006 — Interior and Workplace Lighting - General Principles and Recommendations.
PO14 Outdoor public spaces and car parking areas, which are used after dark, are appropriately and consistently lit to reduce the contrast between shadows and illuminated areas.	AO14.1 Areas intended for night-time use (including principal pedestrian and bicycle movement routes, car park walkways and public spaces) are lit in accordance with AS/NZS 1158 - Lighting for Roads and Public Spaces.
	AO14.2 Areas that are heavily used by pedestrians, including main entries, walkways, and toilets are well lit to 50-110 lux.
Public Safety	
PO15 Development enhances the public safety of a parking area by ensuring that a parking area: <ol style="list-style-type: none"> 1. optimises informal surveillance and controls inappropriate access; 	AO15.1 A parking area: <ol style="list-style-type: none"> 1. is located where it can be monitored by passers-by and occupants of the development; and 2. with more than 100 spaces, is supervised during

<p>2. is well-lit to enable surveillance of all of the parking area and driveway accesses;</p> <p>3. is well-signed and provided with emergency facilities; and</p> <p>4. incorporates features which control vehicle speeds.</p>	<p>operating hours to provide surveillance and manage emergencies.</p> <p>AO15.2 A parking area is well lit, with vandal-proof lighting, to enable visibility of all parts of the parking area.</p> <p>AO15.3 A parking area promotes public safety through open design and prevention of concealment areas.</p> <p>AO15.4 A parking area is provided with signage identifying exits, destinations, and the location of emergency facilities including fire extinguishers, telephones, or emergency buttons.</p> <p>AO15.5 Speed humps are designed in accordance with AS2890.1:2004 - Parking Facilities - Part 1: Off-street Car Parking and in a manner that reduces vehicle speeds, avoids damage to vehicles, and enables the bumps to be easily seen by both drivers and pedestrians.</p>
<p>Parking Structures</p>	
<p>PO16 Parking structures have adequate clearance from walls, columns, roofs, and other obstructions, to facilitate ease and safety of use.</p>	<p>AO16.1 Parking structures comply with AS2890.1:2004 -Parking Facilities - Part 1: Off-street Car Parking.</p> <p>AO16.2 Development does not incorporate tandem or stacked parking.</p>
<p>PO17 Parking structures are designed to minimise the visual impact of the structure on the streetscape and adjacent uses.</p>	<p>AO17.1 Parking structures complement the visual amenity of the streetscape in terms of building bulk, height, materials, colours, and façade articulation.</p> <p>AO17.2 Where structures adjoin residential uses the shadows cast by the structure, and the nature of the facade does not detrimentally impact on the residential use.</p> <p>AO17.3 Development provides that parking structures are an integral part of the building they serve.</p> <p>AO17.4 Development provides that a free-standing, parking area building is compatible with other nearby buildings.</p> <p>AO17.5 Development provides that where a parking area façade fronts directly on to a commercial or retail street, the street level incorporates retail or commercial uses in a manner that contributes to a pedestrian environment.</p>
<p>Parcel Pick Up and Trolley Bay Areas</p>	
<p>PO18 Parcel pick up areas: 1. do not interrupt the flow of vehicles in circulation driveways; and</p>	<p>AO18 No acceptable outcome is prescribed.</p>

<p>2. enable pedestrians to move freely and safely around vehicles in the pick-up area without being put at risk by traffic.</p>	
<p>PO19 Development provides for trolley bays in parking areas associated with retail development to enable the orderly storage of shopping trolleys.</p>	<p>AO19 Trolley bays are provided in accordance with AS2890.1:2004 - Parking Facilities - Part 1: Off-street Car Parking.</p>
Signage	
<p>PO20 Development provides for signage within parking areas to:</p> <ol style="list-style-type: none"> 1. direct and inform drivers entering and circulating within parking areas about vehicle entry points, exits, and the location of parking for disabled persons; 2. warn against hazards to safety or potential damage to vehicles; 3. identify rows of parking to enable users to locate their vehicles; 4. direct users to lifts, stairs, amenities, exits and other destinations; and 5. inform users about security measures. 	<p>AO20.1 Signage is provided in accordance with:</p> <ol style="list-style-type: none"> 1. AS2890.1:2004 Parking Facilities - Part 1: Off-street Car Parking; and 2. AS 1742: Manual of Uniform Traffic Control Devices.
	<p>AO20.2 Signage intended for night use is illuminated.</p>
	<p>AO20.3 Parking spaces are clearly marked and their location clearly signed to identify parking for site occupants, visitors, disabled persons, motorcyclists and cyclists.</p>
Landscaping	
<p>PO21 Development provides for landscaping in parking areas to:</p> <ol style="list-style-type: none"> 1. enhance the amenity of the site; 2. reduce the heat reflection, glare and the harsh visual effect of large expanses of concrete or asphalt; 3. provide shade for vehicles and pedestrian walkways; 4. separate and define different use areas in the parking area; 5. reduce light spill-over; and 6. separate incompatible uses. 	<p>AO21.1 Development provides for landscaping throughout parking areas, which:</p> <ol style="list-style-type: none"> 1. incorporates shade trees at the rate of one shade tree for every fourth car space; 2. provides a minimum 1.2 metres square planting area for each shade tree; 3. incorporates ground covers around the base of each shade tree; and 4. uses shade tree species that are robust, provide an appropriate canopy, and do not create a nuisance from fruit or sap.
	<p>AO21.2 A buffer landscaped strip 3 metres in width along all street frontages to the parking area is provided, and a 2 metre screen landscape is provided along all boundaries with residential or other sensitive land uses.</p>
	<p>AO21.3 Development protects landscaping areas from vehicular traffic by barrier kerb, bollards, or similar devices.</p>
Parking Area Usage	
<p>PO22 All parking areas are operated solely for the use of the tenants, customers and employees of the development.</p>	<p>AO22 The parking area is to be used solely by the users of the development site on which it is located and no parking spaces are to be used by, leased to, or sold to other persons.</p>

Table 9.4.5.3.3 - Car and Service Vehicle Parking

Note:

1. *Parking provisions for proposals that incorporate more than one use, is calculated on each use within the development.*
2. *Where the number of parking spaces calculated is not a whole number, then the number of spaces to be provided is to be the whole number next above the calculated number.*
3. *Where an existing building, occupied by an existing use, is extended, or the area of land occupied by an existing use is increased, the provision levels apply only to the extension of the building, or to the use of the additional land.*
4. *Where an existing building or land is occupied by a new use (not being an existing use), and the parking demand of the new use is greater than the existing use, the parking solution is the difference between the parking demand for the new use less the parking demand for the existing use. This difference in parking demand is required to be accommodated on-site.*
5. *For uses requiring less than 10 car parking spaces, the provision levels are in addition to any disabled parking requirements stipulated in the Building Code of Australia.*

Land Use	No. of Car Parking Spaces	No. of Service Vehicle Parking Spaces	Additional Requirements for Assessable Development
Adult store	1 space per 20m ² GFA.	1 SRV space where the GFA is less than 500m ² . 1 SRV space and 1 HRV space where the GFA is 500m ² or more.	
Agricultural supplies store	1 space per 50m ² GFA.	1 SRV space.	1 customer loading area, suitable for at least 1 car towing a trailer is to be located within 20 metres of the building entrance. This could be in the form of a dedicated loading dock or drive-through loading or unloading area.
Animal husbandry	1 space per 2 employees; and 1 space per 10 animal enclosures.	Nil	
Animal keeping	1 space per 2 employees.	Nil	
Aquaculture	1 space per 2 employees; and 1 visitor space.	1 SRV space.	
Bar	1 space per 20m ² of GFA	1 SRV space.	
Bulk landscape supplies	1 space per 200m ² of use area with a minimum of 5 spaces.	1 SRV space. 1 customer loading area, suitable for at least 1 car towing a trailer is to be located within 20 metres of the building entrance. This could be in the form of a dedicated loading dock or drive-through loading or unloading area.	Provision is made for parking spaces and loading areas for larger vehicles, and cars with trailers.
Car wash	1 space per 20m ² of GFA.	Nil	
Child care centre	1 space per employee; and 1 space per 8 children	Nil	Pick up and set down spaces should be provided

			on the site adjacent to the main entrance to the premises.
Club	1 space per 20m ² of GFA.	1 SRV space.	
Community care centre	1 space per 20m ² of GFA and 1 space per 2 employees	1 SRV space. Ambulance and bus spaces as determined upon submission of carparking assessment to Council.	Special attention should be given to the provision of wider car spaces for persons who are disabled or use walking frames.
Community use	<u>Community centre/senior citizens centre/youth centre/neighbourhood centre</u> 1 space per 10m ² of GFA. <u>Community hall/meeting rooms</u> 1 space per 10m ² of GFA. <u>Cultural centre</u> 1 space per 30m ² of GFA; and 1 space per 2 employees. <u>Art gallery/library/ museum</u> 1 space per 50m ² of display area; and 1 space per 2 employees.	1 HRV space.	Special attention should be given to the provision of wider car spaces for persons who are disabled or use walking frames. Provision is to be made for the parking of buses.
Crematorium	1 space per employee; and 1 space per 5 crematorium seats or equivalent pew capacity.	1 SRV space; and 1 space for each hearse.	
Cropping	Nil	Nil	N/A
Dwelling unit	1 space		
Educational establishment	<u>Primary and High schools</u> 1 space per teacher; and 1 space per 2 other employees; and 1 space per 10 students in Year 12; and 1 visitor space per 100 students. <u>Other facilities</u> 1 space per 10m ² of GFA; and 1 space per 2 employees.	1 SRV space. Primary and High schools: 1 bus parking space per 120 students; and bicycle parking at the rate of 1 space per 25 students in year 3 and over; and space for student pick-up and drop off.	
Environment facility	1 space per 30m ² of TUA	1 SRV space.	
Extractive industry	1 space per 2 employees; and 1 visitor space		
Food and drink outlet	<u>Drive through facility</u> 1 space per 10m ² of customer floor space up to 300m ² , thereafter 1 space	1 SRV space.	Parking provision may be reduced if the facility is incorporated in a shopping centre.

	per 20m ² ; and 1 space per 2 employees. <u>Café / restaurant</u> 1 space per 10m ² of customer floor space; and 1 space per 2 employees.		If including a drive-through serving facility, separate queuing is to be provided for 12 vehicles at the drive-through servery. Bicycle parking facilities are desirable.
Function facility	1 space per 10m ² of TUA	1 SRV space.	
Funeral parlour	1 space per employee; and 1 space per 5 funeral chapel seats or equivalent pew capacity.	1 SRV space; and 1 space for each hearse.	
Garden centre	<u>Nursery component</u> 1 space per 100m ² of display area with a minimum of 5 spaces; and 1 space per 20m ² of indoor retail use area. <u>Landscaping materials component</u> 1 space per 200m ² of display area with a minimum of 5 spaces.	1 SRV space. 1 customer loading area, suitable for at least 1 car towing a trailer is to be located within 20 metres of the building entrance. This could be in the form of a dedicated loading dock or drive-through loading or unloading area.	If the use incorporates a café or restaurant, additional parking is to be provided at the rates for such uses. Provision is made for parking spaces and loading areas for larger vehicles, and cars with trailers.
Hardware and trade supplies	1 space per 20m ² of GFA.	1 SRV space. 1 customer loading area, suitable for at least 1 car towing a trailer is to be located within 20 metres of the building entrance. This could be in the form of a dedicated loading dock or drive-through loading or unloading area.	If the use incorporates a café or restaurant, additional parking is to be provided at the rates for such uses. Provision is made for parking spaces and loading areas for larger vehicles, and cars with trailers.
Health care service	4 spaces per medical practitioner; and 1 space per 2 administrative and support employees.	1 SRV space.	An ambulance bay may be required depending on size of medical centre. Bicycle parking facilities are desirable.
High impact industry	1 space per 50m ² of GFA; or 1 space per employee, whichever is the greatest.	1 SRV space; and HRV and AV spaces as determined upon submission of carparking assessment to Council.	
Hotel	<u>Hotel</u> 1 space per guest room/resident manager; and 1 space per 10m ² of bar, lounge, beer garden or other public area; and 1 space per 35m ² of liquor sales area; and queuing for 12 vehicles for any drive-through bottle shop.	1 SRV space plus 1HRV space	Parking spaces for guests and managers are to be specifically allocated for such use, and sign posted accordingly.

Indoor sport and recreation	<p><u>General requirement</u> 1 space per 10m²; or 0.4 spaces per participant.</p> <p><u>Amusement arcade and gaming machines</u> 1 space per 20m² of TLA.</p> <p><u>Bowling centre</u> 2 spaces per lane.</p> <p><u>Club</u> 1 space per 20m² up to 1,500m² of GFA;</p> <p><u>Concert hall/dance hall</u> 1 space per 5 seats.</p> <p><u>Gymnasium</u> 1 space per 20m² of GFA.</p> <p><u>Indoor cricket</u> 15 spaces per court.</p> <p><u>Skating rinks and tracks</u> 1 space per 20m² of GFA.</p> <p><u>Tennis/squash/ badminton courts</u> 2 spaces per court.</p> <p><u>Theatre/cinema</u> 1 space per 5 seats; and 1 space per 2 employees.</p> <p><u>Volleyball/netball/ basketball courts</u> 10 spaces per court.</p>	<p>1 SRV space.</p> <p>Bus and taxi pick up and set down areas, and service vehicle spaces for loading and unloading.</p>	<p>Bicycle parking facilities are desirable as appropriate.</p> <p>Provision is also made for bus and taxi pick-up and set down as determined by the Local Government.</p>
Intensive animal industry	1 space per employee; and 1 visitor space.	Nil	
Intensive horticulture	1 space per employee; and 1 visitor space.	1 SRV space.	
Low impact industry	1 space per 50m ² of GFA; or 1 space per employee; whichever is the greatest.	1 SRV space; and HRV and AV spaces as determined upon submission of carparking assessment to Council.	
Medium impact industry	1 space per 50m ² of GFA; or 1 space per employee, whichever is the greatest.	1 SRV space; and HRV and AV spaces as determined upon submission of carparking assessment to Council.	
Multiple dwelling	<p><u>General requirement</u> 1 space per 1 bedroom unit; otherwise 2 spaces per unit; and 1 visitor space per 2 units; and Not less than 50% of visitor car parking spaces are sited between the Building and the street frontage, or on the main approach side of the street.</p>	1 SRV space where more than 10 units.	Standard medium density rates apply otherwise.

Nature-based tourism	1 space per 30m ² of TUA	1 SRV space.	
Nightclub entertainment facility	1 space per 10m ² of GFA; and 1 space per 2 employees.	1 SRV space.	
Office	1 space per 30m ² of GFA.		
Outdoor sales	1 per 100m ² of TUA		
Outdoor sport and recreation	<p><u>Court games</u> 2 spaces per court.</p> <p><u>Golf course</u> 4 spaces per hole; and 1 space per 10m² of bar, lounge and other entertainment areas.</p> <p><u>Lawn bowls</u> 20 spaces per green.</p> <p><u>Swimming pool</u> 15 spaces; and 1 space per 100m² of Development footprint excluding access and car parking areas.</p> <p><u>Football field</u> 50 spaces per field.</p> <p><u>Equestrian and coursing sports</u> 1 space per 5 persons able to be seated; and 1 space per 5m² of other spectator areas.</p> <p><u>Other Outdoor Sports</u> As a minimum requirement, 1 space per 5 spectator seats; and 1 space per 5m² of other spectator area.</p> <p>Otherwise as determined by the Local Government.</p>	<p>1 SRV space.</p> <p>1 HRV space.</p> <p>1 SRV space.</p> <p>1 SRV space.</p> <p>Provision to be made for trailer/horse float parking.</p> <p>As determined upon submission of carparking assessment to Council.</p>	Bicycle parking facilities are desirable.
Place of worship	1 space per employee; and 1 space per 5 seats or equivalent pew capacity.	2 SRV spaces. An on-site pickup and set-down area to be provided adjacent to main entry of the facility.	Bicycle parking facilities are desirable. Where a hall or other buildings are provided in association with the place of worship, additional parking is to be provided having regard to the uses proposed.
Relocatable home park	1 space per resident manager; and 1 space per employee; and 1 space per site; and 1 visitor space per 5 sites (or part thereof); plus 1 vehicle washing space per 50 sites (or part	1 HRV space.	1 space is provided on each permanent occupancy or short term occupancy site.

	thereof). Minimum of 4 visitor spaces.		
Research and technology industry	1 space per 50m ² of GFA; or 1 space per employee, whichever is the greatest.	1 SRV space; and HRV and AV spaces as determined upon submission of carparking assessment to Council.	
Residential care facility	1 space per 2 employees; and 1 space per 5 nursing home beds; and 1 space per 4 hostel type units; and 1 space per self contained unit; and visitor parking at 1 space per 5 beds.	1 SRV space; and 1 ambulance space; and 1 bus space.	Consideration is to be given to providing for persons with disabilities or walking frames who require wider car parking spaces. Bicycle parking facilities are desirable.
Retirement facility	1 space per 2 employees; and 1 space per dwelling unit; and visitor parking at 1 space per 5 dwelling units.	1 SRV space; and 1 ambulance space; and 1 bus space.	Consideration is to be given to providing for persons with disabilities or walking frames who require wider car parking spaces. Bicycle parking facilities are desirable.
Rooming accommodation	1 visitor space per 2 units; and Not less than 50% of visitor car parking spaces are sited between the Building and the street frontage, or on the main approach side of the street. <u>Student accommodation</u> 0.5 spaces per dwelling or rented bedroom; and 0.5 bicycle spaces per dwelling or rented bedroom. <u>Boarding house</u> 0.25 spaces per rented room or unit; and 0.5 bicycle spaces per rented room or unit. <u>General requirement:</u> 1 visitor space per 2 units; and Not less than 50% of visitor car parking spaces are sited between the Building and the street frontage, or on the main approach side of the street.	Nil.	
Rural industry	1 per employee and 1 visitor space		

Sales office	1 per employee and 2 visitor spaces.	Nil.	All spaces to be provided at the 1 location in the curtilage of the sales office.
Service industry	1 space per 20m ² of GFA.	1 SRV space where the GFA is less than 500m ² . 1 SRV space and 1 HRV space where the GFA is 500m ² or more, but less than 2000m ² . As determined upon submission of carparking assessment to Council, where the GFA is 2,000m ² or more.	
Service station	1 space per 2 employees; and 6 spaces per workshop service bay; and 1 space per 20m ² of retail space; and queuing space for a minimum of 3 cars from the end of each petrol pump lane.	1 AV space suitable for the parking of petrol tankers; and 1 SRV space.	Tandem car parking may be acceptable for serviced, repaired or employee vehicles. Where a carwash is ancillary to the service station, separate queuing space should be provided for 5 cars at the entrance of the car wash.
Shop	1 space per 20m ² of GFA.	1 SRV space where the GFA is less than 500m ² . 1 SRV space and 1 HRV space where the GFA is 500m ² or more, but less than 2000m ² . As determined upon submission of carparking assessment to Council, where the GFA is 2,000m ² or more.	
Shopping centre	1 space per 20m ² of total leasable area.	1 SRV space where the gross floor area is less than 500m ² . 1 SRV space and 1 HRV space where the gross floor area is 500m ² or more but less than 2,000m ² . As determined upon submission of carparking assessment to Council, where the gross floor area is 2,000m ² or more.	Where the shops comprise a single integrated complex in excess of 4,000m ² gross floor area, provision is to be made for — a. on-site bus and taxi parking; and b. bicycle parking.
Short-term accommodation	1 space per unit; and 1 space per resident manager; and 1 space per employee	1 SRV space.	

Showroom	1 space per 40m ² of GFA.	1 HRV space where the gross floor area is less than 1,000m ² . 1 AV space where the gross floor area is between 1,000m ² and 2,000m ² . As determined upon submission of carparking assessment to Council, where the gross floor area is greater than 2,000m ² . 1 customer loading area, suitable for at least 1 car towing a trailer is to be located within 20 metres of the building entrance. This could be in the form of a dedicated loading dock or drive-through loading or unloading area.	
Tourist attraction	1 space per 30m ² of TUA	1 SRV space.	
Tourist park	1 space per resident manager; and 1 space per camp site; and 1 space per 10 sites for visitor parking.	1 SRV space.	Where the camping grounds incorporate public use areas, additional car parking spaces will be required to accommodate the parking demand generated by such areas.
Transport depot	1 car parking space per heavy vehicle space; and 1 space per 2 employees.	Nil where Accepted development.	
Veterinary service	4 spaces per veterinary consulting room; and 1 space per 2 employees.	1 SRV space.	
Warehouse	1 space per 100m ² of GFA.	1 AV space.	—
Wholesale nursery	1 space per employee.	1 SRV space. 1 customer loading area, suitable for at least 1 car towing a trailer is to be located within 20 metres of the building entrance. This could be in the form of a dedicated loading dock or drive-through loading or unloading area.	If the use incorporates a café or restaurant, additional parking is to be provided at the rates for such uses. Provision is made for parking spaces and loading areas for larger vehicles, and cars with trailers.
Winery	1 space per employee and 1 space per 20m ² of GFA used for retail, tourism or other commercial purposes.	1 SRV space.	If open to the public, additional parking is to be provided as per the relevant use space — e.g. shop or restaurant, bus parking and manoeuvring.

Any other land use not mentioned in this table	To be determined upon submission of a Car Parking Assessment to Council.
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9.4.6 Reconfiguring a Lot Code



9.4.6.1 Application

This code applies to development identified as requiring assessment against the Reconfiguring a Lot Code by the tables of assessment in **Part 5 Tables of Assessment**.

9.4.6.2 Purpose

1. The purpose of the Reconfiguring a Lot Code is to ensure that reconfiguring a lot:
 - a. results in lot sizes, dimensions and access that facilitate the intended development in the zone or zone precinct;
 - b. integrates with existing and planned infrastructure and services;
 - c. contributes to an accessible and walkable community in urban areas;
 - d. creates a high level of amenity and character through road reserve design, open space design and lot layout;
 - e. responds to the natural topography and physical landscape whilst managing stormwater; and
 - f. meets the diverse and evolving needs of the community.
2. The purpose of the Reconfiguration of a Lot Code will be achieved through the following overall outcomes:
 - a. **Consistency with the Zone:**
 - i. Lot size and design facilitates the intended land uses and outcomes of the relevant zone;
 - ii. Lot design ensures that character and built form outcomes consistent with the intent of the zone can be achieved; and
 - iii. For residential subdivision, the density is consistent with the intent of zone and zone precinct (where applicable);
 - b. **Design:**
 - i. Lot shapes are usable and accessible;
 - ii. A range of lot sizes is provided for in medium to large subdivisions, to accommodate the variety of development expected in a zone;
 - iii. Lots are designed to respond to the natural topography of the land by minimising the extent of earthworks, retaining walls and batters;
 - iv. Lot design and size:
 - A. ensures existing activities, infrastructure, services and relevant approvals are not located on or over boundaries; and
 - B. considers the accommodation of future consistent uses and potentially consistent uses in the zone;
 - v. involving a boundary realignment results in an improved development outcome and, where in the Rural Zone, does not result in a net potential to create additional lots or the fragmentation of land for agricultural production; and

- vi. Access easements or rear lot access provide for a safe access and are clear of buildings and structures.
- c. **Infrastructure and Services:**
 - i. Reconfiguring a lot results in safe, efficient and interconnected streets that:
 - A. prioritise walking and cycling, and the future facilitation of public transport; and
 - B. facilitate the movement of people by motor vehicle;
 - ii. Reconfiguring a lot contributes to the provision of a safe, accessible, convenient and useable network of open space for local communities that:
 - A. is cost effective to maintain;
 - B. provides that public infrastructure has a minimum 20 year design life; and
 - C. contributes to the character of the area;
 - iii. Reconfiguring a lot ensures that new lots are connected to essential services and public utilities to meet the demand of end users whilst minimising risk of environmental harm; and
 - iv. Lots requiring on-site sewerage facilities are appropriately sited and designed to respond to on and off-site constraints, and avoid adverse environmental or human health impacts;
- d. **Master Planning:**
 - i. Master planning is undertaken for medium to large residential subdivisions to ensure that lot design for subdivisions:
 - A. facilitates a range of housing types and lot sizes to meet existing and evolving community needs into the future;
 - B. can include a limited number of smaller lots in close proximity to open space, retail, commercial, community, recreation facilities and public transport;
 - C. provides for an effective and efficient road hierarchy and network that addresses connectivity, functionality, safety and serviceability; and
 - D. is appropriately staged to ensure access to community facilities and open space is integrated and commensurate with community need.

9.4.6.3 Assessment Benchmarks

Table 9.4.6.3.1— Assessable Development

Performance Outcomes	Acceptable Outcomes
Boundary Realignment Only	
<p>PO1 Reconfiguring a lot in all zones, which involves the realignment of a boundary, provides for:</p> <ol style="list-style-type: none"> 1. an improved lot configuration that better meets the intended outcomes of the zone and enhances the protection of environmental values; or 2. the correction of a boundary encroachment by existing development or an existing situation where a lot has multiple zonings. 	<p>AO1 A boundary realignment:</p> <ol style="list-style-type: none"> 1. results in lots that have a usable shape; 2. results in lots with a regular shape and boundaries where practicable; 3. allows for the uses intended in the zone; 4. achieves character and built form outcomes for future development applicable to the relevant zone; 5. does not detrimentally impact on infrastructure and essential services; 6. provides for all activities associated with the use on the lot to be located wholly within the lot; 7. provides for all lots to have a frontage to a road reserve and have a legal, practical access to a constructed road; 8. ensures buildings, structures and waste disposal areas are not located across a boundary; 9. does not result in an adverse drainage impact on upstream and downstream properties; 10. does not result in soil movement and silt loads entering drainage lines and watercourses as a result of future development; 11. results in existing buildings and structures complying with minimum setback requirements; 12. is consistent with any existing approvals attached

	<p>to the land;</p> <ol style="list-style-type: none"> 13. does not result in existing development contravening the Planning Scheme; 14. ensures that any buffers associated with a use is included in the same lot as the uses; 15. ensures all lots are serviced by infrastructure expected in the zone; and 16. does not restrict the lawful use of a lot.
<p>PO2 Reconfiguring a lot involving a boundary realignment in the Rural Zone must share a common boundary and provides for lots that:</p> <ol style="list-style-type: none"> 1. sustain or significantly enhance the productive capacity of the land for agriculture; 2. do not create conflict between rural activities and residential activities; 3. do not result in a potential to create additional lots; and 4. do not result in a rural residential development pattern. 	<p>AO2.1 Development involving a boundary realignment in the Rural Zone results in lots that comply with Table 9.4.6.3.2 - Minimum Lot Size and Design.</p> <p>OR</p> <p>Development involving a boundary realignment in the Rural Zone that does not comply with Table 9.4.6.3.2 - Minimum Lot Size and Design:</p> <ol style="list-style-type: none"> 1. does not result in a change in area of any lot that exceeds 10%; and 2. does not result in lots that have the potential for a net increase in the number of lots in the Rural Zone. <p>AO2.2 Lots reconfigured as part of a boundary realignment in the Rural Zone:</p> <ol style="list-style-type: none"> 1. share a common boundary; 2. do not create lots that are configured in a rural residential development pattern; 3. do not fragment land used for agricultural production; 4. do not result in the creation of a new lot divided by a road reserve; 5. do not create impractical situations for landowners in terms of access arrangements and future uses; and 6. do not involve the use of a lot originally intended to accommodate infrastructure, e.g. disused road reserve or transport infrastructure, water supply infrastructure.
<p>PO3 Boundary realignment and associated operational work is designed to minimise the need for earthworks, retaining walls and batters.</p>	<p>AO3 No acceptable outcome is prescribed.</p>
<p>PO4 Development provides that existing constructed roads and their relevant road reserves are appropriately aligned.</p>	<p>AO4 Development achieves the correct alignment of existing constructed roads and their relevant road reserves.</p>
<p>PO5 All lots are provided with essential services and public utilities, including sewerage, water, electricity and communication services that are designed and located to:</p> <ol style="list-style-type: none"> 1. meet the needs of users; 2. enhance the health, safety and convenience of the community; 3. be cost effective over their life cycle; 	<p>AO5.1 All lots:</p> <ol style="list-style-type: none"> 1. where located in a zone other than the Rural Zone and Conservation Zone, are: <ol style="list-style-type: none"> a. connected to the reticulated electricity supply; or b. able to directly connect to a reticulated electricity supply. 2. where located in the Rural Zone, are:

<p>4. minimise adverse impacts to the environment (including the visual amenity of the local area);</p> <p>5. minimise risk of failure or damage during a natural hazard event; and</p> <p>6. support connection to fibre telecommunication infrastructure, for greenfield residential areas.</p>	<p>a. connected to the reticulated electricity supply; or</p> <p>b. able to directly connect to a reticulated electricity supply; or</p> <p>c. connected to an alternative electricity supply where a reticulated electricity supply is located greater than 500 metres of a mains supply (11kV).</p> <p>Note - "directly connect" includes the ability to connect to a reticulated supply, available on a road way or lot adjoining the subject lot, without further extension to the reticulate supply network.</p>
	<p>A05.2 All lots:</p> <ol style="list-style-type: none"> are connected to the reticulated water supply or reticulated sewerage where it is available; or where located outside reticulated water supply or reticulated sewerage areas, demonstrates that water supply and sewerage disposal can be facilitated for on-site. <p>Note - Queensland Urban Utilities (QUU) is responsible for delivering reticulated water supply and reticulated sewerage services in the Scenic Rim Region. Refer to QUU's website www.urbanutilities.com.au for further information regarding reticulated water supply or reticulated sewerage availability.</p>
	<p>A05.3 All lots can be serviced by communication services.</p>
<p>PO6 A boundary realignment provides safe and efficient access to the road for vehicles and pedestrians.</p>	<p>A06 Lots configured as part of a boundary realignment allow any associated driveway access and crossover to be constructed in accordance with Local Laws or Planning Scheme Policy 1 - Infrastructure Design.</p>
<p>Reverse Amenity</p>	
<p>PO7 Development involving sensitive land uses in close proximity to existing lawful land uses with potential for off-site noise, dust, odour and other emissions, are located and designed to:</p> <ol style="list-style-type: none"> not impede the operation of the existing lawful land use; and mitigate the potential for any amenity impacts and do not impede the operation of existing lawful land uses. <p>Editor's Note - Development design principles may include;</p> <ol style="list-style-type: none"> locating open space and roadways to increase separation distances; use of dense landscaping as a visual and particulate barrier; reducing residential densities adjacent to impacting sites; building design, including air conditioning; and providing barriers to impacting sites. 	<p>A07 No Acceptable Outcome is prescribed.</p>
<p>Rear Lots</p>	

<p>PO8 A boundary realignment involving the creation of rear lots are limited and are only considered where such lots:</p> <ol style="list-style-type: none"> 1. maintain the character and amenity requirements outlined in the zone; 2. do not result in negative amenity impacts for adjoining lots; 3. protect the safety of pedestrians and cyclists by ensuring that driveway access to the road frontage are designed to maintain visibility to the verge; 4. provide an adequate internal manoeuvring area for vehicles for safe entry and exit from the lot in forward gear; and 5. allow sufficient street frontage for waste collection. 	<p>AO8.1 Only one rear lot is created behind a full frontage lot.</p>
	<p>AO8.2 The rear lot has a width not less than the lot it is positioned behind.</p>
	<p>AO8.3 The access to the rear lot is located along a side boundary of the subject site.</p>
	<p>AO8.4 Minimum widths for access strips and easements are in accordance with Table 9.4.6.3.2 - Minimum Lot Size and Design.</p>
	<p>AO8.5 Vehicles entering the rear lot have sufficient space to manoeuvre and to enter and leave the lot in a forward direction.</p>
	<p>AO8.6 Where in a residential zone, the rear lot is created for a Dwelling house.</p>
	<p>AO8.7 The rear lot has a dedicated building envelope which:</p> <ol style="list-style-type: none"> 1. achieves setback requirements outlined under the relevant zone code; and 2. is not located in the access strip or easement area.
<p>Building Envelopes for Constrained Land and Rear Lots</p>	
<p>PO9 Development ensures that a building envelope is provided when part of an allotment is constrained or when creating a rear lot.</p>	<p>AO9.1 A building envelope is provided on lots where:</p> <ol style="list-style-type: none"> 1. part or all of the lot is affected by a constraint that is not suitable for development (excludes public and community land); or 2. involving the creation of a rear lot.
	<p>AO9.2 A building envelope is designed and located to:</p> <ol style="list-style-type: none"> 1. avoid constrained land; and 2. avoid access strips and easement areas.
<p>Reconfiguring a Lot involving the Creation of an Access Easement Only</p>	
<p>PO10 Development which involves the creation of an access easement:</p> <ol style="list-style-type: none"> 1. does not result in existing development contravening the Planning Scheme; 2. does not impact on infrastructure and essential services; 3. does not impact upon any existing approvals attached to the land; and 4. provides for a safe and efficient access point for vehicles and pedestrians. 	<p>AO10.1 Access easements are positioned to allow any associated driveway access and crossover to be constructed in accordance with Local Laws or Planning Scheme Policy 1 - Infrastructure Design.</p>
	<p>AO10.2 Access easements are designed and located to avoid existing infrastructure and essential services, including sewerage, water, electricity and communication services.</p>
	<p>AO10.3 Access easements do not:</p> <ol style="list-style-type: none"> 1. contravene any development approval applying to the site; and 2. result in existing development contravening the

	<p>Planning Scheme.</p> <p>AO10.4 Minimum widths for access easements are in accordance with Table 9.4.6.3.2 - Minimum Lot Size and Design.</p>
All Other Reconfiguring a Lot (Excluding Boundary Realignment and Creation of Access Easement)	
Lot Design	
<p>PO11 Reconfiguring a lot:</p> <ol style="list-style-type: none"> 1. results in lots that have a usable shape suitable for the lots intended purpose and use; 2. results in lots with a regular shape and boundaries where practicable; 3. allows for the uses listed in the table of consistent uses and potentially consistent uses in the zone; 4. achieves character and built form outcomes applicable to the relevant Zone; 5. provides for all activities associated with the use on the lot to be located wholly within the lot; 6. does not contravene any existing approvals attached to the land; and 7. does not result in existing development contravening the Planning Scheme. 	<p>AO11.1 Development creates lots that comply with Table 9.4.6.3.2 - Minimum Lot Size and Design.</p> <p>AO11.2 Development ensures lot size and dimensions are sufficient to:</p> <ol style="list-style-type: none"> 1. retain consistency with any existing approvals attached to the land; 2. provides for all activities associated with a use on the lot to be located wholly within a single lot; 3. accommodate existing development in a way that does not contravene the requirements of the Planning Scheme; 4. accommodate intended or likely structures, including the provision of level building pads and any associated retaining walls; and 5. achieves character and built form outcomes for future development applicable to the relevant Zone. <p>AO11.3 Development ensures that any buffers associated with a use is included in the same lot as the use.</p>
<p>PO12 Lot configuration provides safe and efficient access to the road for vehicles and pedestrians.</p>	<p>AO12 All lots are configured to allow any associated driveway access and crossover to be constructed in accordance with Local Laws or Planning Scheme Policy 1 - Infrastructure Design.</p>
Earthworks and Retaining Walls	
<p>PO13 Reconfiguring a lot and associated operational work is designed to minimise the need for earthworks, retaining walls and batters.</p>	<p>AO13 No acceptable outcome is prescribed.</p>
<p>PO14 Where unavoidable, development ensures that batter slopes and retaining walls:</p> <ol style="list-style-type: none"> 1. do not encroach onto, or impact upon, an adjoining property or public place; and 2. are located wholly within the lot receiving the benefit of the structure. 	<p>AO14 Development provides that batter slopes and retaining walls:</p> <ol style="list-style-type: none"> 1. are not located within existing or proposed road reserves or other public purpose land; 2. must not encroach onto any adjoining property or public place; 3. are setback a minimum distance of 0.6 metres from a boundary (including both the top and toe of a retaining wall or batter slope); 4. must drain discharge to the street or other legal point of discharge; and 5. do not impose loading on any adjoining structures, including underground utility services.

Lot Mix and Diversity	
<p>PO15 Residential subdivisions creating 10 or more lots vary lot sizes to facilitate a diverse mix of lot sizes and housing types.</p>	<p>AO15 No acceptable outcome is prescribed.</p>
<p>PO16 Industrial subdivisions creating 5 or more lots vary lot sizes to facilitate a diverse mix of lot sizes.</p>	<p>AO16 No acceptable outcome is prescribed.</p>
<p>PO17 Smaller lots are:</p> <ol style="list-style-type: none"> 1. distributed amongst larger lots to avoid a concentration of small lot housing; 2. located within close proximity to public open space. 	<p>AO17.1 Where proposed as part of larger residential subdivisions, lots below 600m² do not make up more than 15% of the total number of lots.</p> <p>AO17.2 Lots below 500m² are located within 300m of existing or proposed public open space.</p>
Infrastructure and Services	
<p>PO18 New lots are provided with essential services and public utilities, including sewerage, water, electricity and communication services that are designed and located to:</p> <ol style="list-style-type: none"> 1. meet the needs of users; 2. enhance the health, safety and convenience of the community; 3. be cost effective over their life cycle; 4. minimise adverse impacts to the environment (including the visual amenity of the local area); 5. minimise risk of failure or damage during a natural hazard event; and 6. support connection to fibre telecommunication infrastructure in greenfield residential areas. 	<p>AO18.1 All lots:</p> <ol style="list-style-type: none"> 1. where located in a zone other than the Rural Zone and Conservation Zone, are: <ol style="list-style-type: none"> a. connected to the reticulated electricity supply; or b. able to directly connect to a reticulated electricity supply. 2. where located in the Rural Zone, are: <ol style="list-style-type: none"> a. connected to the reticulated electricity supply; or b. able to directly connect to a reticulated electricity supply; or c. connected to an alternative electricity supply where a reticulated electricity supply is located greater than 500 metres of a mains supply (11kV). <p><i>Note - "directly connect" includes the ability to connect to a reticulated supply, available on a road way or lot adjoining the subject lot, without further extension to the reticulate supply network.</i></p> <p>AO18.2 Electricity supply and communication infrastructure are provided underground, where development involves the creation of more than 5 lots or 5 dwellings or 5 tenancies, except in the Rural Zone.</p> <p>AO18.3 Where located in greenfield areas, development is designed to support connection to communications infrastructure.</p> <p>AO18.4 All lots:</p> <ol style="list-style-type: none"> 1. are connected to the reticulated water supply or reticulated sewerage infrastructure where it is available; or 2. where located outside reticulated water supply or reticulated sewerage areas, demonstrates that water supply and sewerage disposal can be

	<p>facilitated on-site.</p> <p>Note - Queensland Urban Utilities (QUU) is responsible for delivering reticulated water supply and reticulated sewerage services in the Scenic Rim Region. Refer to QUU's website www.urbanutilities.com.au for further information regarding reticulated water supply or reticulated sewerage availability.</p>
<p>PO19 New lots requiring the on-site treatment and disposal of wastewater demonstrate a disposal area can be accommodated wholly within a lot and designed to:</p> <ol style="list-style-type: none"> 1. avoid adverse environmental or human health impacts; and 2. provide sufficient separation between waste water disposal areas from adjoining property boundaries and nearby watercourses. 	<p>AO18.5 Any public infrastructure provided has a minimum 20 year design life.</p> <p>AO19 For lots requiring the on-site treatment and disposal of wastewater, a Waste water Disposal Plan, prepared by a suitably qualified person, is submitted demonstrating that the lots:</p> <ol style="list-style-type: none"> 1. can accommodate an area for disposal; and 2. are of a sufficient size and design to allow for the required separation distances of the disposal area from: <ol style="list-style-type: none"> a. adjoining property boundaries; b. adjacent wastewater systems; c. nearby watercourses; d. inappropriate soil types; and e. other general site constraints that would inhibit the disposal of waste water to an acceptable environmental and health standard. <p>Note - The Waste water Disposal Plan shall demonstrate the type, size and location of the effluent disposal and dispersal area, the extent of vegetation clearing that is required to achieve the disposal and dispersal area, and the extent of earthworks required to achieve the effluent disposal.</p>
Reverse Amenity	
<p>PO20 Development involving sensitive land uses in close proximity to existing lawful land uses with potential for off-site noise, dust, odour and other emissions, are located and designed to:</p> <ol style="list-style-type: none"> 1. not impede the operation of the existing lawful land use; and 2. mitigate the potential for any amenity impacts and do not impede the operation of existing lawful land uses. <p><i>Editor's Note - Development design principles may include;</i></p> <ol style="list-style-type: none"> 1. locating open space and roadways to increase separation distances; 2. use of dense landscaping as a visual and particulate barrier; 3. reducing residential densities adjacent impacting sites; 4. building design, including air conditioning; and 5. providing barriers to impacting sites. 	<p>AO20 No Acceptable Outcome is prescribed.</p>
Rear Lots	
<p>PO21 The creation of rear lots are limited and are only</p>	<p>AO21.1 Only one rear lot is created behind a full frontage lot.</p>

<p>considered where such lots:</p> <ol style="list-style-type: none"> 1. maintain the character and amenity requirements outlined in the zone; 2. do not result in negative amenity impacts for adjoining lots; 3. protect the safety of pedestrians and cyclists by ensuring that driveway access to the road frontage are designed to maintain visibility to the verge; 4. provide an adequate internal manoeuvring area for vehicles for safe entry and exit from the lot in forward gear; and 5. allow sufficient street frontage for waste collection. 	<p>AO21.2 The rear lot has a width not less than the lot it is positioned behind.</p> <p>AO21.3 The access to the rear lot is located along a side boundary of the subject site.</p> <p>AO21.4 Minimum widths for access strips and easements are in accordance with Table 9.4.6.3.2 - Minimum Lot Size and Design.</p> <p>AO21.5 Vehicles entering the rear lot have sufficient space to manoeuvre and to enter and leave the lot in a forward direction.</p> <p>AO21.6 Where in a residential zone, the rear lot is created for a Dwelling house.</p> <p>AO21.7 The rear lot has a dedicated building envelope which:</p> <ol style="list-style-type: none"> 1. achieves setback requirements outlined under the relevant zone code; and 2. is not located in the access strip or easement area.
<p>Master Planning Requirements</p>	
<p>PO22 Master planning is undertaken for reconfiguring a lot where the total potential site yield is 25 or more lots. The master plan (which is to address the whole site) provides for:</p> <ol style="list-style-type: none"> 1. best practice site planning, development layout, and building design; 2. an efficient and affordable infrastructure network; 3. the sequencing and orderly staging of development; 4. neighbourhoods that respond to natural features such as topography, waterway corridors and significant vegetation; 5. the incorporation of best practice water sensitive urban design principles; 6. identification of distinct areas for specific uses or activities and intended treatments to minimise conflict between different uses; 7. mitigation of conflict with potentially incompatible uses (e.g. commercial/residential); 8. a safe, attractive and integrated street network based on the grid street pattern that maximises permeability, legibility, accessibility and street tree plantings; 9. the integration with adjoining urban areas in the locality; 10. residential development (where consistent with the intent of the zone) where: <ol style="list-style-type: none"> a. the siting of dwellings takes advantage of local micro-climate benefits to promote the construction of energy efficient buildings and adequate solar access; 	<p>AO22 No acceptable outcome is prescribed.</p> <p><i>Note - To demonstrate compliance with this outcome, a master plan is prepared in accordance with Planning Scheme Policy 3 - Preparing Master Plans for Development Applications.</i></p>

<p>b. a wide range of housing types, densities and lot sizes are provided; and c. smaller lots adjacent to areas of open space, community and recreation facilities are provided; and</p> <p>11. development that has the appearance of a modern country town, not suburbia and incorporates attractive and diverse facades that address street frontages and public and communal open space.</p> <p><i>Note - Total potential site yield is the total number of lots that could be obtained on a site and is calculated using the minimum lot size requirements. A site that could ultimately achieve 100 lots but involves an application for a first stage of 20 lots is still required to submit a Master Plan as the total potential site yield is above 25 (i.e. total potential site yield is 100 in this instance).</i></p>	
<p>PO23 Staging of subdivision ensures that access to open space and community facilities is integrated and commensurate with community need.</p>	<p>AO23 No acceptable outcome is prescribed.</p>
Open Space	
<p>PO24 Development contributes to the public open space network which:</p> <ol style="list-style-type: none"> 1. caters for a range of recreation settings and necessary facilities to meet the needs of the community; 2. offers opportunities for residents to conveniently participate in passive recreational activities; 3. delivers well distributed public open space that contributes to the legibility, accessibility, safety, and character of the development; 4. creates safe and attractive settings and focal points; 5. facilitates casual surveillance from adjacent streets and land uses and provides for open space areas with public road frontages; 6. caters for stormwater and flood management and care of valuable environmental resources; and 7. is cost effective to maintain. 	<p>AO24.1 Open space is designed, embellished and constructed in accordance with the requirements of Planning Scheme Policy 1 - Infrastructure Design.</p> <p>AO24.2 Recreation and sporting parklands and land for community facilities are designed and provided in accordance with the Local Government Infrastructure Plan.</p>
Building Envelopes for Constrained Land and Rear Lots	
<p>PO25 Development ensures that a building envelope is provided when part of an allotment is constrained or when creating a rear lot.</p>	<p>AO25.1 A building envelope is provided on lots where:</p> <ol style="list-style-type: none"> 1. part or all of the lot is affected by a constraint that is not suitable for development (excludes public and community land); or 2. involving the creation of a rear lot. <p>AO25.2 A building envelope is designed and located to:</p> <ol style="list-style-type: none"> 1. avoid constrained land; and 2. avoid access strips and easement areas.
Street Network and Design	
<p>PO26</p>	<p>AO26</p>

<p>An overall street network is provided which:</p> <ol style="list-style-type: none"> 1. is designed to be responsive to the natural contours of the land; 2. prioritises pedestrians and cycling over motor vehicles; 3. establishes a connected and legible network; 4. has a clear hierarchy and conforms with the overall Local Government system; 5. provides a high level of internal accessibility and high-quality external connections for pedestrians and cyclists; 6. provides appropriate external connections for vehicles; 7. creates safe conditions for pedestrians, cyclists and vehicles for both day and night-time usage; 8. caters for the extension of existing or future public transport routes to provide services that are convenient and accessible for all the community; 9. facilitates safe and efficient access for service vehicles; 10. facilitates connections for future development, minimising travel distances; and 11. does not compromise future development to achieve the outcomes listed above. 	<p>Streets are designed to:</p> <ol style="list-style-type: none"> 1. comply with design standards in Planning Scheme Policy 1 - Infrastructure Design; 2. minimise earthworks, retaining walls and batters; 3. establish a safe, walkable and permeable street network that provides efficient pedestrian and cycle access to commercial, public transport, parks and community service areas; 4. provide street trees in accordance with Planning Scheme Policy 1 - Infrastructure Design; 5. provide for the safe crossing of pedestrians and cyclists at intersections and long roads; 6. have paths that link to existing paths, road crossings, parks and public transport facilities, and designed in accordance with Planning Scheme Policy 1 - Infrastructure Design; 7. provide street lighting in accordance with Planning Scheme Policy 1 - Infrastructure Design; 8. accommodate service vehicle requirements; and 9. provide for future extensions to the street network.
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Streetscape	
<p>PO27 Development contributes to an attractive streetscape that is consistent with the desired local character.</p>	<p>AO27 Streetscapes are designed to comply with design standards in Planning Scheme Policy 1 - Infrastructure Design and include:</p> <ol style="list-style-type: none"> 1. landscape planting; 2. street furniture; and 3. enhancement of significant local features.

Table 9.4.6.3.2 - Minimum Lot Size and Design

Zone	Minimum Lot Size	Minimum Width of Access Easements (Metres)	Minimum Lot Frontage (Metres) to a Constructed Road	Minimum Width of Access for Rear Lots (Metres)
Community Facilities Zone	Lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land.	5	-	-
Conservation Zone	No additional lots created.	-	-	-
District Centre Zone	Lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land.	5	-	-
Industry Zone	2,000m ²	8	-	-
Limited Development Zone - Flood Land Precinct	No additional lots created.	-	-	-

Limited Development Zone - Historical Subdivision Precinct	No additional lots created.	10	-	10
Local Centre Zone	Lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land.	5	-	-
Low Density Residential Zone - Where no precinct applies	<ol style="list-style-type: none"> 1. Minimum of 600m² exclusive of access strip or access easement for rear lots; and 2. Maximum of 1,200m²; and 3. Minimum average lot size not less than 700m². <p>Note: Any lots over 1200m² are counted as 1200m² when calculating the minimum average lot size of a development.</p>	5	<ol style="list-style-type: none"> 1. 18 metres for normal lots; 2. 6 metres for cul-de-sac lots; and 3. 22m for corner lots. 	5
Low Density Residential Zone - Mountain Residential Precinct	No additional lots created.	-	-	-
Low-medium Density Residential Zone	<ol style="list-style-type: none"> 1. Minimum 450m² exclusive of access strip or access easement for rear lots; and 2. Minimum average lot size not less than 700m². <p>Note: Any lots over 1000m² are counted as 1000m² when calculating the minimum average lot size of a development.</p>	5	<ol style="list-style-type: none"> 1. 18m for lots 600m² or greater; 2. 15m for lots less than 600m²; and 3. 6m for cul-de-sac lot. 	5
Major Centre Zone	Lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land.	5	-	-
Major Tourism Zone	Lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land.	8	-	-
Minor Tourism Zone	No additional lots created.	-	-	-
Mixed Use Zone - Where no precinct applies	Lot size and dimensions are appropriate to accommodate the proposed use and give consideration to the values and constraints affecting the land.	8	-	-
Mixed Use Zone - Commercial Industrial	<ol style="list-style-type: none"> 1. Minimum 2,000 m² where a lot is created for an industrial activity; 2. Otherwise, lot size and dimensions are appropriate to accommodate the 	8	-	-

Precinct	proposed use and gives consideration to the values and constraints affecting the land.			
Neighbourhood Centre Zone	Lot size and dimensions are appropriate to accommodate the proposed use and give consideration to the values and constraints affecting the land.	5	-	-
Recreation and Open Space Zone - Where no precinct applies	Lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land.	5	-	-
Recreation and Open Space Zone - Passive Recreation Precinct	Lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land.	5	-	-
Rural Residential Zone - Where no precinct applies	1. Minimum 4,000m ² (exclusive of access handle) where in the 4000m ² Minimum Area identified on Minimum Lot Size Overlay Map OM-13 ; 2. Otherwise, no additional lots created.	10	40	10
Rural Residential Zone - Rural Residential A Precinct	1. Minimum 1 ha where in the 1ha Minimum Area identified on Minimum Lot Size Overlay Map OM-13 ; 2. Otherwise, no additional lots created.	10	50	10
Rural Zone (excluding the Rural Protection Escarpment Precinct and Tamborine Mountain Rural Precinct)	1. Minimum 40ha where in the Rural 40ha Precinct identified on Minimum Lot Size Overlay Map OM-13 ; 2. Minimum 60ha where in the Rural 60ha Precinct identified on Minimum Lot Size Overlay Map OM-13 ; 3. Otherwise, 100ha.	10	-	10
Rural Zone — Rural Escarpment Protection Precinct	100ha			
Rural Zone - Tamborine Mountain Rural Precinct	100ha			
Special Purpose Zone - Where no precinct applies	Lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land.	-	-	-
Special Purpose Zone - Bromelton State	1. Minimum 4,000m ² where in the Medium-High Industry Precinct identified on Minimum Lot Size Overlay Map OM-13 ;	-	-	-

Development Area Precinct	<ol style="list-style-type: none"> 2. Minimum 1 ha where in the Rail Dependent Industry Precinct identified on Minimum Lot Size Overlay Map OM-13; 3. In the Special Industry Precinct, lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land; 4. Otherwise, no additional lots created. 			
Special Purpose Zone - Bulk Water Storage Facilities Precinct	Lot size and dimensions are appropriate to accommodate the proposed use and gives consideration to the values and constraints affecting the land.	-	-	-
Township Zone - Where no precinct applies	<ol style="list-style-type: none"> 1. Minimum 1,000m² where reticulated sewer is provided; 2. Minimum 4,000m² where reticulated sewer is not provided. 	10	<ol style="list-style-type: none"> 1. 25m for normal lots; 2. 10m for cul-de-sac lots; and 3. 25m for corner lots. 	No rear lots created
Township Zone - Township Residential Precinct	<ol style="list-style-type: none"> 1. Minimum 1,000m² where reticulated sewer is provided; 2. Minimum 4,000m² where reticulated sewer is not provided. 	10	<ol style="list-style-type: none"> 1. 25m for normal lots; 2. 10m for cul-de-sac lots; and 3. 25m for corner lots. 	No rear lots created

Part 10 Other Plans



Development within certain areas of the region is governed by legislation and other statutory instruments, which prevails or otherwise impacts the operation of the Scenic Rim Planning Scheme.

Part 10 - Other Plans:

1. provides an overview of the areas in the region subject to other statutory instruments; and
2. identifies the implications of these instruments for the planning and development of these areas.

Reference should be made to the legislation and other statutory instruments identified in Part 10 for further details of the implications of their effect.

10.1 State Development Areas — State Development and Public Works Organisation Act 1971

The Scenic Rim planning scheme area includes one area, Bromelton, declared by the State government as a State Development Area (SDA) under the State Development and Public Works Organisation Act 1971. SDAs are clearly defined areas of land established by the Coordinator—General to promote economic development in Queensland.

Development in a SDA is subject to the requirements of a Development Scheme, which is a statutory instrument that controls planning and development in the SDA boundaries. The Coordinator—General is responsible for the planning, establishment and ongoing management of SDAs throughout Queensland.

For further information about SDAs and the role of the Coordinator-General, please refer to the following website:

<https://www.statedevelopment.qld.gov.au/coordinator-general/state-development-areas>

10.1.1 Bromelton State Development Area

The intent of the Bromelton SDA is to provide for the establishment of medium to large scale industrial activities of regional, state and national significance, in particular for operations such as freight and logistic operations that require access to the standard gauge rail network. The Development Scheme for the Bromelton State Development Area was approved by the Governor in Council in November 2012 and regulates development involving Material Change of Use in the SDA boundaries. The Scenic Rim Planning Scheme remains the relevant planning instrument for other development in the SDA such as reconfiguration of a lot and operational works.

The location of the Bromelton SDA is identified on **Other Plans Maps - OPM-01 Bromelton State Development Area** in **Schedule 2 - Mapping**.

***Editor's Note** - A copy of the Bromelton SDA and Regulation map is available from the Department of State Development website - [Bromelton State Development Area](#)*

10.2 Mineral Resources Act 1989

Abandoned mines, mineral leases and exploration licenses exist within the Scenic Rim region. The location of known abandoned mines and mining leases within the region is identified on **Other Plans Maps - OPM-02 Abandoned Mines and Mining Leases** under **Schedule 2 - Mapping**. The location of mineral leases and exploration licenses can be found on the State Government's Mines Online Maps website:

<https://www.business.qld.gov.au/industry/mining/mining-online-services/minesonlinemaps>

The Mines Online Maps website allows access to information on resource tenure locations and holders, geology and abandoned mine sites.

Schedule 1 Definitions

SC1.1 Use Definitions

1. Use definitions have a particular meaning for the purpose of the planning scheme.
2. Any use not listed in **Table SC1.1.2** column 1 is an undefined use.
Note - Development comprising a combination of defined uses is not considered to be an undefined use.
3. A use listed in **Table SC1.1.2** column 1 has the meaning set out beside that term in column 2.
4. The use definitions listed here are the definitions used in this planning scheme.
5. Column 3 of **Table SC1.1.2** identifies examples of the types of activities that are consistent with the use identified in column 1.
6. Column 4 of **Table SC1.1.2** identifies examples of activities that are not consistent with the use identified in column 1.
7. Columns 3 and 4 of **Table SC1.1.2** are not exhaustive lists.
8. Uses listed in **Table SC1.1.2** columns 3 and 4 that are not listed in column 1, do not form part of the definition.

Table SC1.1.1—Index of Use Definitions

Editor's Note - The use definition terms are defined in Schedule 3 of the Planning Regulation 2017.

Index for Use Definitions		
<ul style="list-style-type: none"> • Adult store • Agricultural supplies store • Air service • Animal husbandry • Animal keeping • Aquaculture • Bar • Brothel • Bulk landscape supplies • Caretaker's accommodation • Car wash • Cemetery • Childcare centre • Club • Community care centre • Community residence • Community use • Crematorium • Cropping • Detention facility • Dual occupancy • Dwelling house • Dwelling unit • Educational establishment • Emergency services • Environment facility • Extractive industry • Food and drink outlet • Function facility • Funeral parlour • Garden centre • Hardware and trade supplies 	<ul style="list-style-type: none"> • Health care service • High impact industry • Home based business • Hospital • Hotel • Indoor sport and recreation • Intensive animal industry • Intensive horticulture • Landing • Low impact industry • Major electricity infrastructure • Major sport, recreation and entertainment facility • Marine industry • Market • Medium impact industry • Motor sport facility • Multiple dwelling • Nature-based tourism • Nightclub entertainment facility • Non-resident workforce accommodation • Office • Outdoor sales • Outdoor sport and recreation • Outstation • Park • Parking station • Party House • Permanent plantation • Place of worship • Port service 	<ul style="list-style-type: none"> • Research and technology industry • Residential care facility • Resort complex • Retirement facility • Roadside stall • Rooming accommodation • Rural industry • Rural workers' accommodation • Sales office • Service industry • Service station • Shop • Shopping centre • Short-term accommodation • Showroom • Special industry • Substation • Telecommunications facility • Theatre • Tourist attraction • Tourist park • Transport depot • Utility installation • Veterinary service • Warehouse • Wholesale nursery • Winery

- Relocatable home park
- Renewable energy facility

Table SC1.1.2—Use Definitions

Editor's Note - The use definition terms are defined in Schedule 3 of the Planning Regulation 2017.

Regulated requirements		Guidance	
Column 1 Use	Column 2 Definition	Column 3 Examples include	Column 4 Does not include the following examples
Adult store	means the use of premises for the primary purpose of displaying or selling— a. sexually explicit materials; or b. products and devices that are associated with, or used in, a sexual practice or activity.	Sex shop	Shop, newsagent, registered pharmacist or video hire, where the primary use of these are concerned with: <ul style="list-style-type: none"> • the sale, display or hire of printed or recorded matter (not of a sexually explicit nature) or • the sale or display of underwear or lingerie or • the sale or display of an article or thing primarily concerned with or used in association with a medically recognised purpose.
Agricultural supplies store	means the use of premises for the sale of agricultural supplies and products. <i>Examples of agricultural supplies and products—</i> <i>animal feed, bulk veterinary supplies, chemicals, farm clothing, fertilisers, irrigation materials, saddlery, seeds</i>		Bulk landscape supplies, garden centre, outdoor sales wholesale nursery
Air service	means the use of premises for— a. the arrival or departure of aircraft; or b. housing, servicing, refuelling, maintaining or repairing aircraft; or c. the assembly and dispersal of passengers or goods on or from an aircraft; or d. training and education facilities relating to aviation; or e. aviation facilities; or f. an activity that— i. is ancillary to an activity or facility stated in paragraphs (a)	public or private airfield	

	<p>to (e); and</p> <p>ii. directly services the needs of aircraft passengers.</p> <p><i>Examples of an air service— airport, air strip, helipad</i></p>		
Animal husbandry	<p>means the use of premises for—</p> <p>a. producing animals or animal products on native or improved pastures or vegetation; or</p> <p>b. a yard, stable, temporary holding facility or machinery repairs and servicing, if the use is ancillary to the use in paragraph (a).</p> <p><i>Examples of animal husbandry— cattle stud, grazing of livestock, non-feedlot dairy</i></p>	bee keeping	Animal keeping, free range animals predominately hand fed, Intensive animal industry, Aquaculture, feedlots, piggeries
Animal keeping	<p>means the use of premises for—</p> <p>a. boarding, breeding or training animals; or</p> <p>b. a holding facility or machinery repairs and servicing, if the use is ancillary to the use in paragraph (a).</p> <p><i>Examples of animal keeping— aviary, cattery, kennel, stables, wildlife refuge</i></p>	animal shelter, ancillary indoor and outdoor animal training facilities.	Aquaculture, cattle studs, domestic animals, feedlots, grazing of livestock, non-feedlot dairying, piggeries, poultry meat and egg production, Animal husbandry, Veterinary service, working dogs
Aquaculture	means the use of premises for cultivating, in a confined area, aquatic animals or plants for sale.	pond farms, tank systems, hatcheries, raceway system, rack and line systems, sea cages	Intensive animal industry, domestic animals
Bar	<p>means the use of premises, with seating for 60 or less people, for—</p> <p>a. selling liquor for consumption on the premises; or</p> <p>b. an entertainment activity, or preparing and selling food and drink for consumption on the premises, if the use is ancillary to the use in paragraph (a).</p>		Club, Hotel, Nightclub entertainment facility, tavern
Brothel	see the Prostitution Act 1999, schedule 4.		Adult store, Club, Nightclub entertainment facility, Shop
Bulk landscape supplies	means the use of premises for the bulk storage and sale of mainly non-packaged landscaping and gardening supplies, including, for example, soil, gravel, potting mix or mulch.		Garden centre, Outdoor sales, Wholesale nursery
Caretaker's accommodation	means the use of premises for a dwelling for a caretaker of a non-residential use on the same premises.		Dwelling house

Car wash	means the use of premises for the commercial cleaning of motor vehicles.		Service station
Cemetery	means the use of premises for the internment of bodies or ashes after death.	burial ground, crypt, columbarium, lawn cemetery, pet cemetery, mausoleum	Crematorium, funeral parlour
Childcare centre	means the use of premises for the care, education and minding, but not residence, of children. <i>Examples of a childcare centre— before or after school care, crèche, early childhood centre, kindergarten, vacation care</i>		Educational establishment, home based child care, family day care
Club	means the use of premises for— a. an association established for social, literary, political, sporting, athletic or other similar purposes; or b. preparing and selling food and drink, if the use is ancillary to the use in paragraph (a).	Club house, guide and scout clubs, surf lifesaving club, RSL sub-branch, bowls club	Bar, Hotel, Nightclub entertainment facility, Place of worship, Theatre
Community care centre	a. means the use of premises for— i. providing social support to members of the public; or ii. providing medical care to the public, if the use is ancillary to the use in subparagraph (i); but b. does not include the use of premises for providing accommodation to members of the public. <i>Examples of a community care centre— disability support service, drop-in centre, respite centre, indigenous support centre</i>	men's shed	Child care centre, family day care, home based child care, health care service, Residential care facility
Community residence	a. means the use of premises for residential accommodation for - i. no more than - A. 6 children, if the accommodation is provided as part of a program or service under the Youth Justice Act 1992 ; or B. 6 persons who require assistance or support with daily living needs; and ii. no more than 1 support worker; and b. includes a building or structure that is reasonably associated with the use in paragraph (a).	hospice, over-night respite care	Dwelling house, dwelling unit, Residential care facility, Rooming accommodation, Short - term accommodation
Community use	means the use of premises for—		cinema, Club, Hotel,

	<p>a. providing artistic, social or cultural facilities or community services to the public; or</p> <p>b. preparing and selling food and drink, if the use is ancillary to the use in paragraph (a).</p> <p><i>Examples of a community use— art gallery, community centre, community hall, library, museum</i></p>		Nightclub entertainment facility, Place of worship
Crematorium	means the use of premises for the cremation or aquamation of bodies.		Cemetery
Cropping	<p>means the use of premises for—</p> <p>a. growing and harvesting plants, or plant material, that are cultivated in soil, for commercial purposes; or</p> <p>b. harvesting, storing or packing plants or plant material grown on the premises, if the use is ancillary to the use in paragraph (a); or</p> <p>c. repairing and servicing machinery used on the premises, if the use is ancillary to the use in paragraph (a).</p> <p><i>Examples of cropping— forestry for wood production, fodder and pasture production, producing fruit, nuts, vegetables and grains, plant fibre production, sugar cane growing, vineyard</i></p>	packing shed, turf farm	Permanent plantations, Intensive horticulture, Rural industry
Detention facility	<p>means the use of premises for the lawful detention of persons.</p> <p><i>Example of a detention facility— correctional facility</i></p>	prison, detention centre	
Dual occupancy	<p>a. means a residential use of premises for 2 households involving —</p> <p>i. 2 dwellings (whether attached or detached) on a single lot or 2 dwellings (whether attached or detached) on separate lots that share a common property; and</p> <p>ii. any domestic outbuilding associated with the dwellings; but</p> <p>b. does not include a residential use of premises that involves a secondary dwelling.</p>	Duplex, two dwellings on a single lot (whether or not attached), two dwellings within one single community title scheme under the Body Corporate and Community Management Act 1997, two dwellings within the one body corporate to which the Building Units and Group Title Act 1980 continues to apply.	Dwelling house, Multiple dwelling, secondary dwelling
Dwelling house	<p>means a residential use of premises involving—</p> <p>a. 1 dwelling for a single household and any domestic outbuildings associated with the dwelling; or</p>		Caretaker's accommodation, Dual occupancy, Rooming accommodation, Short-term

	b. 1 dwelling for a single household, a secondary dwelling and any domestic outbuildings associated with either dwelling.		accommodation, student accommodation, Multiple dwelling
Dwelling unit	means the use of premises containing a non-residential use for a single dwelling, other than a dwelling for a caretaker of the non-residential use.	'Shop-top' apartment	Caretaker's accommodation, Dwelling house
Educational establishment	means the use of premises for— a. training and instruction to impart knowledge and develop skills; or b. student accommodation, before or after school care, or vacation care, if the use is ancillary to the use in paragraph (a). <i>Examples of an educational establishment— college, outdoor education centre, primary school, secondary school, special education facility, technical institute, university</i>		Child care centre, home based child care, family day care
Emergency services	means the use of premises by a government entity or community organisation to provide— a. essential emergency services; or b. disaster management services; or c. management support facilities for the services. <i>Examples of emergency services— ambulance station, evacuation centre, fire station, police station</i>	State emergency service facility, rural fire brigade, auxiliary fire and rescue station, urban fire and rescue station, emergency management support facility	Community use, Hospital, Residential care facility
Environment facility	a. means the use of premises for a facility for the appreciation, conservation or interpretation of an area of cultural, environmental or heritage value; but b. does not include the use of premises to provide accommodation for tourists and travellers.	nature-based attractions, walking tracks, seating, shelters, boardwalks, observation decks, bird hides	
Extractive industry	means the use of premises for— a. extracting or processing extractive resources; and b. any related activities, including, for example, transporting the resources to market.	quarry, groundwater extraction	
Food and drink outlet	means the use of premises for— a. preparing and selling food and drink for consumption on or off the premises; or b. providing liquor for consumption on the premises, if the use is ancillary to the use in paragraph (a). <i>Examples of a food and drink outlet—</i>	Bistro	Bar, Club, Hotel, Shop, Theatre, Nightclub entertainment facility

	<i>cafe, coffee shop, drive-through facility, kiosk, milk bar, restaurant, snack bar, takeaway shop, tearoom</i>		
Function facility	means the use of premises for— a. receptions or functions; or b. preparing and providing food and liquor for consumption on the premises as part of a reception or function.	conference centre, reception centre	Community use, Hotel
Funeral parlour	a. means the use of premises for— i. arranging and conducting funerals, memorials and other similar events; or ii. a mortuary; or iii. storing and preparing bodies for burial or cremation; but b. does not include the use of premises for the burial or cremation of bodies.		Cemetery, crematorium, Place of worship
Garden centre	means the use of premises for— a. selling plants; or b. selling gardening and landscape products and supplies that are mainly in pre-packaged form; or c. a food and drink outlet that is ancillary to the use in paragraph (a).	Retail plant nursery	Bulk landscape supplies, Wholesale nursery, Outdoor sales
Hardware and trade supplies	means the use of premises for selling, displaying or hiring hardware and trade supplies, including, for example, house fixtures, timber, tools, paint, wallpaper or plumbing supplies.		Shop, Showroom, Outdoor sales and Warehouse
Health care service	means the use of premises for medical purposes, paramedical purposes, alternative health therapies or general health care, if overnight accommodation is not provided on the premises. <i>Examples of a health care service— dental clinic, medical centre, physiotherapy clinic</i>	natural medicine practices, nursing services	Community care centre, Hospital
High impact industry	means the use of premises for an industrial activity— a. that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and b. that a local planning instrument applying to the premises states is a high impact industry; and c. that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example,	abattoirs, boiler making and engineering and metal foundry	tanneries, rendering plants, oil refineries, waste incineration, manufacturing or storing explosives, power plants, manufacturing fertilisers, Service industry, Low impact industry, Medium impact industry, Special industry

	<p>thresholds relating to the number of products manufactured or the level of emissions produced by the activity.</p> <p>Note - Limits for the use are stated in SC1.1.4 Industry Thresholds</p>		
Home based business	means the use of a dwelling or domestic outbuilding on premises for a business activity that is subordinate to the residential use of the premises.	bed and breakfast, Domestic boarding, home office, home based child care,	hobby, Shop, Warehouse, Transport depot
Hospital	means the use of premises for— a. the medical or surgical care or treatment of patients, whether or not the care or treatment requires overnight accommodation; or b. providing accommodation for patients; or c. providing accommodation for employees, or any other use, if the use is ancillary to the use in paragraph (a) or (b).		Health care service, Residential care facility
Hotel	a. means the use of premises for— i. selling liquor for consumption on the premises; or ii. a dining or entertainment activity, or providing accommodation to tourists or travellers, if the use is ancillary to the use in subparagraph (i); but b. does not include a bar.	pub, tavern	Nightclub entertainment facility
Indoor sport and recreation	means the use of premises for a leisure, sport or recreation activity conducted wholly or mainly indoors. <i>Examples of indoor sport and recreation—amusement parlour, bowling alley, gymnasium, squash court</i>	enclosed tennis courts, indoor pistol range, dance classes	cinema, Hotel, Nightclub entertainment facility, Theatre
Intensive animal industry	a. means the use of premises for— i. the intensive production of animals or animal products, in an enclosure, that requires food and water to be provided mechanically or by hand; or ii. storing and packing feed and produce, if the use is ancillary to the use in subparagraph (i); but b. does not include the cultivation of aquatic animals. <i>Examples of intensive animal industry—feedlot, piggery, poultry and egg production</i>		Animal husbandry, Aquaculture, drought feeding, milking sheds, shearing sheds, weaning pens, domestic animals
Intensive horticulture	a. means the use of premises for—		Wholesale nursery,

	<ul style="list-style-type: none"> i. the intensive production of plants or plant material carried out indoors on imported media; or ii. the intensive production of plants or plant material carried out outside using artificial lights or containers; or iii. storing and packing plants or plant material grown on the premises, if the use is ancillary to the use in subparagraph (i) or (ii); but <p>b. does not include the cultivation of aquatic plants. <i>Examples of intensive horticulture—greenhouse, hydroponic farm, mushroom farm</i></p>		manufacturing substrate for mushroom growing
Landing	<p>means the use of premises for a structure—</p> <ul style="list-style-type: none"> a. for mooring, launching, storing and retrieving vessels; and b. from which passengers embark and disembark. 	boat ramp, jetty, pontoon	marina
Low impact industry	<p>means the use of premises for an industrial activity—</p> <ul style="list-style-type: none"> a. that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and b. that a local planning instrument applying to the premises states is a low impact industry; and c. that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity. <p>Note - Limits for the use are stated in SC1.1.2 Industry Thresholds</p>	repairing motor vehicles, glazier, security screen assembler	panel beating, spray painting or surface coating, tyre recycling, drum re-conditioning, wooden and laminated product manufacturing, Service industry, Medium impact industry, High impact industry, Special industry
Major electricity infrastructure	<ul style="list-style-type: none"> a. means the use of premises for— <ul style="list-style-type: none"> i. a transmission grid or supply network; or ii. a telecommunication facility, if the use is ancillary to the use in subparagraph (i); but b. does not include the use of premises for a supply network or private electricity works stated in schedule 6, section 26(5), unless the use involves— 	powerlines greater than 66kV	minor electricity infrastructure, substation

	<ul style="list-style-type: none"> i. a new zone substation or bulk supply substation; or ii. the augmentation of a zone substation or bulk supply substation that significantly increases the input or output standard voltage. <p>Editor's Note: Reference made to schedule 6, section 26(5) above is schedule 6, section 26(5) of the Planning Regulation 2017.</p>		
Major sport, recreation and entertainment facility	<p>means the use of premises for large-scale events, including, for example, major sporting, recreation, conference or entertainment events.</p> <p><i>Examples of a major sport, recreation and entertainment facility—</i> <i>convention centre, exhibition centre, horse racing facility, sports stadium</i></p>	entertainment centres	Indoor sport and recreation, local sporting field, motor sport, Park, Outdoor sport and recreation
Marine industry	<p>means the use of waterfront premises for—</p> <ul style="list-style-type: none"> a. manufacturing, storing, repairing or servicing vessels or maritime infrastructure; or b. providing fuel or disposing of waste, if the use is ancillary to the use in paragraph (a). <p><i>Examples of marine industry—</i> <i>boat building, boat storage, dry dock</i></p>		marina
Market	<p>means the use of premises on a regular basis for—</p> <ul style="list-style-type: none"> a. selling goods to the public mainly from temporary structures (stalls, booths or trestle tables, for example); or b. providing entertainment, if the use is ancillary to the use in paragraph (a). 	flea market, farmers market, car boot sales	Shop, Roadside stall
Medium impact industry	<p>means the use of premises for an industrial activity—</p> <ul style="list-style-type: none"> a. that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and b. that a local planning instrument applying to the premises states is a medium impact industry; and c. that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the 	spray painting and surface coating, Concrete batching,	tyre manufacturing and retreading, metal recovery (involving a fragmentiser), textile manufacture, chemically treating timber and plastic product manufacture, Service industry, Low impact industry, High impact industry, Special industry

	<p>activity. Note - Limits for the use are stated in SC1.1.2 Industry Thresholds</p>		
Motor sport facility	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. organised or recreational motor sports; or b. facilities for spectators, including, for example, stands, amenities and food and drink outlets, if the use is ancillary to the use in paragraph (a). <p><i>Examples of a motor sport facility— car race track, go-kart track, trail bike park, 4WD park</i></p>	<p>lawn mower race tracks, motocross tracks, off road motorcycle facility, motorcycle race tracks</p>	<p>Major sport, recreation and entertainment facility, Outdoor sport and recreation</p>
Multiple dwelling	<p>means a residential use of premises involving 3 or more dwellings, whether attached or detached, for separate households.</p>	<p>Apartments, flats, units, townhouses, row housing, triplex</p>	<p>Rooming accommodation, Dual occupancy, duplex, granny flat, Residential care facility, Retirement facility</p>
Nature-based tourism	<p>means the use of premises for a tourism activity, including accommodation for tourists, for the appreciation, conservation or interpretation of—</p> <ul style="list-style-type: none"> a. an area of environmental, cultural or heritage value; or b. a local ecosystem; or c. the natural environment. <p><i>Examples of nature-based tourism— environmentally responsible accommodation facilities including cabins, huts, lodges and tents</i></p>	<p>Environmentally themed tourist activity</p>	<p>Environment facility</p>
Nightclub entertainment facility	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. providing entertainment that is cabaret, dancing or music; or b. selling liquor, and preparing and selling food, for consumption on the premises, if the use is ancillary to the use in paragraph (a). 		<p>Club, Hotel, tavern, pub, Indoor sport and recreation, Theatre, concert hall</p>
Non-resident workforce accommodation	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. accommodation for non-resident workers; or b. recreation and entertainment facilities for persons residing at the premises and their visitors, if the use is ancillary to the use in paragraph (a). 	<p>contractor's camp, construction camp, single person's quarters, temporary workers' accommodation</p>	<p>Relocatable home park, Short-term accommodation, Tourist park</p>
Office	<ul style="list-style-type: none"> a. means the use of premises for— <ul style="list-style-type: none"> i. providing an administrative, financial, management or secretarial service or function; or 	<p>administration building</p>	<p>Home based business, home office, Shop, Outdoor sales</p>

	<ul style="list-style-type: none"> ii. the practice of a profession; or iii. providing business or professional advice or services; but <p>b. does not include the use of premises for making, selling or hiring goods.</p> <p><i>Examples of an office— bank, real estate agency</i></p>		
Outdoor sales	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. displaying, selling, hiring or leasing vehicles, boats, caravans, machinery, equipment or other similar products, if the use is mainly conducted outdoors; or b. repairing, servicing, selling or fitting accessories for the products stated in paragraph (a), if the use is ancillary to the use in paragraph (a). 	<p>agricultural machinery sales yard, motor vehicles sales yard, livestock sales yard</p>	<p>Bulk landscape supplies, market</p>
Outdoor sport and recreation	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. a recreation or sporting activity that is carried on outdoors and requires areas of open space; or b. providing and selling food and drink, change room facilities or storage facilities, if the use is ancillary to the use in paragraph (a). <p><i>Examples of outdoor sport and recreation — cricket oval, driving range, golf course, swimming pool, tennis court</i></p>	<p>football ground, rifle or shooting range, showground</p>	<p>Major sport, recreation and entertainment facility, motor sport, park, community use</p>
Outstation	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. cultural or recreation activities by Aboriginal people or Torres Strait Islanders; or b. facilities for short-term or long-term camping activities, if the use is ancillary to the use in paragraph (a). 	<p>Indigenous camp site</p>	<p>Dwelling house, hostel, Multiple dwelling, Relocatable home park, Short term accommodation, Tourist park</p>
Park	<p>means the use of premises, accessible to the public free of charge, for sport, recreation and leisure activities and facilities.</p>	<p>urban common</p>	<p>Tourist attraction, Outdoor sport and recreation</p>
Parking station	<p>means the use of premises for parking vehicles, other than parking that is ancillary to another use.</p>	<p>Car park, 'park and ride', bicycle parking</p>	
Party house	<p>means premises containing a dwelling that is used to provide, for a fee, accommodation or facilities for guests if —</p> <ul style="list-style-type: none"> a. guests regularly use all or part of the premises for parties (bucks parties, hens parties, raves, or 		<p>Short term accommodation, Tourist attraction, Dwelling house, dwelling unit, Home based business, Multiple dwelling,</p>

	wedding receptions, for example); and b. the accommodation or facilities are provided for a period of less than 10 days; and c. the owner of the premises does not occupy the premises during that period.		Dual occupancy, holiday home
Permanent plantation	means the use of premises for growing, but not harvesting, plants for carbon sequestration, biodiversity, natural resource management or another similar purpose.		Forestry for wood production, biofuel production
Place of worship	means the use of premises for— a. organised worship and other religious activities; or b. social, education or charitable activities, if the use is ancillary to the use in paragraph (a).	church, chapel, mosque, synagogue, temple	Community use, Child care centre, Funeral parlour, Crematorium
Port service	means the use of premises for— a. the arrival and departure of vessels; or b. the movement of passengers or goods on or off vessels; or c. storing, servicing, maintaining or repairing vessels; or d. ancillary uses that directly service the needs of passengers of the vessels.	marina, ferry terminal	landing
Relocatable home park	means the use of premises for— a. relocatable dwellings for long-term residential accommodation; or b. amenity facilities, food and drink outlets, a manager's residence, or recreation facilities for the exclusive use of residents, if the use is ancillary to the use in paragraph (a).	Manufactured home park, moveable dwellings park, long term accommodation caravan park	Tourist park
Renewable energy facility	a. means the use of premises for the generation of electricity or energy from a renewable energy source, including, for example, sources of bioenergy, geothermal energy, hydropower, ocean energy, solar energy or wind energy; but b. does not include the use of premises to generate electricity or energy to be used mainly on the premises.	solar farm, tidal power	wind turbine or solar panels supplying energy to domestic or rural activities on the same site
Research and technology industry	means the use of premises for an innovative or emerging industry that involves designing and researching, assembling, manufacturing,		

	<p>maintaining, storing or testing machinery or equipment. <i>Examples of research and technology industries—</i> <i>aeronautical engineering, biotechnology industries, computer component manufacturing, computer server facilities, energy industries, medical laboratories</i></p>		
Residential care facility	<p>means the use of premises for supervised accommodation, and medical and other support services, for persons who—</p> <ol style="list-style-type: none"> a. can not live independently; and b. require regular nursing or personal care. <p><i>Examples of a residential care facility—</i> <i>convalescent home, nursing home</i></p>		Community residence, Dwelling house, Dual occupancy, Hospital, Multiple dwelling, Retirement facility
Resort complex	<p>means the use of premises for—</p> <ol style="list-style-type: none"> a. tourist and visitor accommodation that includes integrated leisure facilities; or <i>Examples of integrated leisure facilities—</i> <i>bars, meeting and function facilities, restaurants, sporting and fitness facilities</i> b. staff accommodation that is ancillary to the use in paragraph (a); or c. transport facilities for the premises, including, for example a ferry terminal or air service. 	golf resort	
Retirement facility	<p>means a residential use of premises for—</p> <ol style="list-style-type: none"> a. accommodation for older members of the community, or retired persons, in independent living units or serviced units; or b. amenity and community facilities, a manager's residence, health care and support services, preparing food and drink or staff accommodation, if the use is ancillary to the use in paragraph (a). 	retirement village	Residential care facility
Roadside stall	<p>means the use of premises for the roadside display and sale of goods in a rural area.</p>	produce stall	Market
Rooming accommodation	<p>means the use of premises for—</p> <ol style="list-style-type: none"> a. residential accommodation, if each resident— <ol style="list-style-type: none"> i. has a right to occupy 1 or more rooms on the premises; and ii. does not have a right to occupy 		Hospice, Community residence, Dwelling house, Short-term accommodation, Multiple dwelling

	<p>the whole of the premises; and</p> <p>iii. does not occupy a self-contained unit, as defined under the Residential Tenancies and Rooming Accommodation Act 2008, schedule 2, or has only limited facilities available for private use; and</p> <p>iv. shares other rooms, facilities, furniture or equipment outside of the resident's room with 1 or more other residents, whether or not the rooms, facilities, furniture or equipment are on the same or different premises; or</p> <p>b. a manager's residence, an office or providing food or other services to residents, if the use is ancillary to the use in paragraph (a).</p> <p><i>Examples of rooming accommodation—boarding house, hostel, monastery, off-site student accommodation</i></p>		
Rural industry	<p>means the use of premises for—</p> <p>a. storing, processing or packaging products from a rural use carried out on the premises or adjoining premises; or</p> <p>b. selling products from a rural use carried out on the premises or adjoining premises, if the use is ancillary to the use in paragraph (a).</p>	<p>cheese manufacture, milk bottling, canning, milling, processing frozen vegetables</p>	<p>Intensive animal husbandry, Intensive horticulture, Roadside stall, Wholesale nursery, Winery, abattoir, agricultural supply store</p>
Rural workers' accommodation	<p>means the use of premises as accommodation, whether or not self-contained, for employees of a rural use, if—</p> <p>a. the premises, and the premises where the rural use is carried out, are owned by the same person; and</p> <p>b. the employees are not non-resident workers.</p>	<p>farm workers' accommodation</p>	<p>Short-term accommodation, Caretaker's accommodation, Dual occupancy, Dwelling house, nature or rural based tourist accommodation, Non-resident workforce accommodation, Multiple dwellings</p>
Sales office	<p>means the use of premises for the temporary display of land parcels or buildings that—</p> <p>a. are for sale or proposed to be sold; or</p> <p>b. can be won as a prize in a competition.</p>	<p>Display dwelling, display village, prize home (where not a Temporary use under Section 1.7), estate office</p>	<p>bank, Office</p>
Service industry	<p>means the use of premises for an industrial activity that—</p> <p>a. does not result in off-site air, noise</p>		<p>small engine mechanical repair workshop, cabinet</p>

	<p>or odour emissions; and</p> <p>b. is suitable for location with other non-industrial uses.</p> <p><i>Examples of service industries— audio visual equipment repair, bicycle repairs, clock and watch repairs, computer repairs, dry cleaning, film processing, hand engraving, jewellery making, laundromat, locksmith, picture framing, shoe repairs, tailor</i></p>		<p>making, shop fitting, sign writing, tyre depot, Low impact industry, Medium impact industry, High impact industry, Special industry</p>
Service station	<p>means the use of premises for—</p> <p>a. selling fuel, including, for example, petrol, liquid petroleum gas, automotive distillate or alternative fuels; or</p> <p>b. a food and drink outlet, shop, trailer hire, or maintaining, repairing, servicing or washing vehicles, if the use is ancillary to the use in paragraph (a).</p>		Car wash
Shop	<p>means the use of premises for—</p> <p>a. displaying, selling or hiring goods; or</p> <p>b. providing personal services or betting to the public.</p> <p><i>Examples of a shop— betting agency, corner store, department store, discount variety store, hair dressing salon, liquor store, supermarket</i></p>	discount department store, general store	Adult store, Food and drink outlet, Showroom, Market
Shopping centre	<p>means the use of premises for an integrated shopping complex consisting mainly of shops.</p>		
Short-term accommodation	<p>a. means the use of premises for—</p> <p>i. providing accommodation of less than 3 consecutive months to tourists or travellers; or</p> <p>ii. a manager's residence, office, or recreation facilities for the exclusive use of guests, if the use is ancillary to the use in subparagraph (i); but</p> <p>b. does not include a hotel, nature-based tourism, resort complex or tourist park.</p>	Motel, backpackers, cabins, serviced apartments, holiday home	hostel, Rooming accommodation, Tourist park, bed and breakfast
Showroom	<p>means the use of premises for the sale of goods that are of—</p> <p>a. a related product line; and</p> <p>b. a size, shape or weight that requires—</p> <p>i. a large area for handling, display or storage; and</p> <p>ii. direct vehicle access to the building that contains the</p>		Food and drink outlet, Shop, Outdoor sales

	<p>goods by members of the public, to enable the loading and unloading of the goods.</p> <p><i>Examples of a showroom— bulk stationary supplies, bulky goods sales, bulk home supplies, motor vehicle sales showroom</i></p>		
Special industry	<p>means the use of premises for an industrial activity—</p> <ol style="list-style-type: none"> a. that is the manufacturing, producing, processing, repairing, altering, recycling, storing, distributing, transferring or treating of products; and b. that a local planning instrument applying to the premises states is a special industry; and c. that complies with any thresholds for the activity stated in a local planning instrument applying to the premises, including, for example, thresholds relating to the number of products manufactured or the level of emissions produced by the activity. <p>Note - Limits for the use are stated in SC1.1.2 Industry Thresholds</p>	tanneries, rendering plants, oil refineries, waste incineration, manufacturing or storing explosives, power plants, manufacturing fertilisers	Low impact industry, Medium impact industry, High impact industry, Service industry
Substation	<p>means the use of premises—</p> <ol style="list-style-type: none"> a. as part of a transmission grid or supply network to— <ol style="list-style-type: none"> i. convert or transform electrical energy from one voltage to another; or ii. regulate voltage in an electrical circuit; or iii. control electrical circuits; or iv. switch electrical current between circuits; or b. for a telecommunications facility for— <ol style="list-style-type: none"> i. works as defined under the Electricity Act, section 12(1); or ii. workforce operational and safety communications. 	Substations, switching yards	Major electricity infrastructure, minor electricity infrastructure
Telecommunications facility	<p>means the use of premises for a facility that is capable of carrying communications and signals by guided or unguided electromagnetic energy.</p>	telecommunication tower, broadcasting station, television station, relay tower	Aviation facility, 'low-impact telecommunications facility' as defined under the Telecommunications Act 1997
Theatre	<p>means the use of premises for—</p> <ol style="list-style-type: none"> a. presenting movies, live entertainment or music to the 	movie house, dance hall	community hall, Hotel, Indoor sport and recreation

	<p>public; or</p> <p>b. the production of film or music; or</p> <p>c. the following activities or facilities, if the use is ancillary to a use in paragraph (a) or (b)—</p> <ul style="list-style-type: none"> i. preparing and selling food and drink for consumption on the premises; ii. facilities for editing and post-production; iii. facilities for wardrobe, laundry and make-up; iv. set construction workshops; v. sound stages. <p><i>Examples of a theatre— cinema, concert hall, film studio, music recording studio</i></p>		<p>facility, temporary film studio</p>
Tourist attraction	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. providing entertainment to, or a recreation facility for, the general public; or b. preparing and selling food and drink for consumption on the premises, if the use is ancillary to the use in paragraph (a). <p><i>Examples of a tourist attraction— theme park, zoo</i></p>	<p>farm tours, sky walks</p>	<p>Hotel, Major sport, recreation and entertainment facility, Nightclub entertainment facility</p>
Tourist park	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. holiday accommodation in caravans, self-contained cabins, tents or other similar structures; or b. amenity facilities, a food and drink outlet, a manager's residence, offices, recreation facilities for the use of occupants and their visitors, or staff accommodation, if the use is ancillary to the use in paragraph (a). 	<p>camping ground (including the use of tents, recreational vehicles, motor homes and camper vans) caravan park, holiday cabins</p>	<p>Relocatable home park, Tourist attraction, Short-term accommodation, Non-resident workforce accommodation, long term accommodation caravan park</p>
Transport depot	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. storing vehicles, or machinery, that are used for a commercial or public purpose; or b. cleaning, repairing or servicing vehicles or machinery, if the use is ancillary to the use in paragraph (a). <p><i>Examples of a transport depot— using premises to store buses, taxis, trucks, heavy vehicles or heavy machinery</i></p>	<p>contractor's depot, bus depot, truck yard, heavy machinery yard</p>	<p>Home based business, Warehouse, Low impact industry, Service industry</p>
Utility installation	<p>means the use of premises for—</p> <ul style="list-style-type: none"> a. a service for supplying or treating water, hydraulic power or gas; or b. a sewerage, drainage or stormwater service; or c. a transport service; or 	<p>sewerage treatment plant, pumping station, water treatment plant, groundwater extraction for water</p>	<p>Telecommunications tower, major electricity infrastructure, minor electricity infrastructure,</p>

	d. a waste management service; or e. a maintenance depot, storage depot or other facility for a service stated in paragraphs (a) to (d).	supply (including processing and transport), minor utility installation	substation, renewable energy facility, transport depot
Veterinary service	means the use of premises for— a. the medical or surgical treatment of animals; or b. the short-term stay of animals, if the use is ancillary to the use in paragraph (a).		Animal keeping
Warehouse	means the use of premises for— a. storing or distributing goods, whether or not carried out in a building; or b. the wholesale of goods, if the use is ancillary to the use in paragraph (a). <i>Examples of a warehouse— self-storage facility, storage yard</i>		Hardware and trade supplies, Outdoor sales, Showroom, Shop
Wholesale nursery	means the use of premises for— a. the wholesale of plants grown on or next to the premises; or b. selling gardening materials, if the use is ancillary to the use in paragraph (a).		Bulk landscape supplies, garden centre
Winery	means the use of premises for— a. making wine; or b. selling wine that is made on the premises.		Rural industry

SC1.1.3 Defined Activity Groups

1. Defined uses listed in **Table SC1.1.2** are able to be clustered into activity groups.
2. An activity group listed in column 1 clusters the defined uses listed in column 2.
3. An activity group is able to be referenced in **Part 5** and **Part 6**.
4. The activity groups listed here are the defined activity groups for the purpose of the planning scheme.

Table SC1.1.3.1—Index of Defined Activity Groups

Commercial activities	Recreational activities
Community services activities	Residential activities
Industrial activities	Rural activities
Infrastructure activities	Tourism activities

Table SC1.1.3.2—Defined Activity Groups

Column 1 Activity Group	Column 2 Uses
Commercial activities	Adult store Agricultural supplies store Bar Car wash Food and drink outlet

	<ul style="list-style-type: none"> Function facility Funeral parlour Garden centre Hardware and trade supplies Health care service Hotel Market Nightclub entertainment facility Office Outdoor sales Parking station Service industry Service station Shop Shopping centre Showroom Theatre Veterinary service
Community services activities	<ul style="list-style-type: none"> Cemetery Child care centre Club Community care centre Community use Detention facility Educational establishment Emergency services Hospital Outstation Place of worship
Industrial activities <i>Editor's Note - For clarification, this activity group differs from the 'Industry activity' definition provided in the Regulation.</i>	<ul style="list-style-type: none"> Brothel Bulk landscape supplies Crematorium High impact industry Low impact industry Medium impact industry Research and technology industry Special industry Transport depot Warehouse Winery
Infrastructure activities	<ul style="list-style-type: none"> Air service Landing Major electricity infrastructure Renewable energy facility Substation Telecommunications facility Utility installation
Recreational activities	<ul style="list-style-type: none"> Indoor sport and recreation Major sport, recreation and entertainment facility Motor sport facility Outdoor sport and recreation Park
Residential activities	<ul style="list-style-type: none"> low density residential activities Caretakers accommodation

	Community residence Dual occupancy Dwelling house Dwelling unit Home based business Sales office
	medium density residential activities Multiple dwelling Non-resident workforce accommodation Relocatable home park Residential care facility Retirement facility Rooming accommodation
Rural activities	Aquaculture Animal husbandry Animal keeping Cropping Extractive industry Intensive animal industry Intensive horticulture Permanent plantation Roadside stall Rural industry Rural worker's accommodation Wholesale nursery
Tourism activities	Environment facility Nature-based tourism Resort complex Short-term accommodation Tourist attraction Tourist park

SC1.1.4 Industry Thresholds

The industry thresholds listed below are to be used in conjunction with the defined uses listed in **Table SC1.1.2**:

1. Low impact industry
2. Medium impact industry
3. High impact industry
4. Special industry.

Table SC1.1.4.1—Industry Thresholds

Use	Additional Examples Include
Low impact industry	1. Manufacturing and assembly wooden products including cabinet making, joinery, wood working, producing less than 100 tonnes per annum, not involving spray painting 2. Manufacturing clay or ceramic products including pottery goods, less than 100 tonnes per annum 3. Processing, brewing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, less than 50 tonnes per annum 4. Assembling sheet glass and aluminium products, glazier or security screen assembly Mechanical Low Impact Industries including;

	<ol style="list-style-type: none"> 5. Repairing and servicing motor vehicles, including mechanical components, radiators, electrical components, wheel alignments, exhausts, tyres, suspension or air conditioning, not including spray painting and panel beating 6. Repairing and servicing lawn mowers and outboard engines 7. Fitting and turning workshop 8. Assembling or fabricating products from sheet metal or welding steel, producing less than 10 tonnes a year and not including spray painting 9. Printing advertising material, magazines, newspapers, packaging and stationery
<p>Medium impact industry</p>	<ol style="list-style-type: none"> 1. Metal foundry producing less than 10 tonnes of metal castings per annum 2. Boiler making or engineering works producing less than 10 000 tonnes of metal product per annum 3. Facility, goods yard or warehouse for the storage and distribution of dangerous goods not involving manufacturing processes and not a major hazard facility under the Work Health and Safety Act 2011 4. Abrasive blasting facility using less than 10 tonnes of abrasive material per annum 5. Enamelling workshop using less than 15 000 litres of enamel per annum 6. Galvanising works using less than 100 tonnes of zinc per annum 7. Anodising or electroplating workshop where tank area is less than 400 square metres 8. Powder coating workshop using less than 500 tonnes of coating per annum 9. Panel beating and/or spray painting workshop (including spray painting vehicles, plant, equipment or boats) using less than 20 000 litres of paint per annum 10. Scrap metal yard (not including a fragmentiser), dismantling automotive or mechanical equipment including debonding brake or clutch components 11. Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, less than 500 tonnes per annum 12. Processing, brewing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, less than 500 tonnes per annum 13. Vegetable oil or oilseed processing in works with a design production capacity of less than 1000 tonnes per annum 14. Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 100 and less than 500 tonnes per annum 15. Manufacturing medium density fibreboard, chipboard, particle board, plywood, laminated board or wood veneer products, less than 250 tonnes per annum 16. Sawmilling, wood chipping and kiln drying timber and logs, producing less than 2000 tonnes per annum 17. Recycling and reprocessing batteries 18. Repairing or maintaining boats 19. Manufacturing or processing plaster, producing less than 5000 tonnes per annum 20. Recycling or reprocessing tyres including retreading 21. Manufacturing fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, less than 5 tonnes per annum (except fibreglass boats, tanks and swimming pools) 22. Reconditioning metal or plastic drums 23. Glass fibre manufacture less than 200 tonnes per annum 24. Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum. 25. Concrete batching 26. Crematoria 27. Distilling alcohol in works producing less than 2 500 litres per annum
<p>High impact industry</p>	<ol style="list-style-type: none"> 1. Metal foundry producing 10 tonnes or greater of metal castings per annum 2. Boiler making or engineering works producing 10 000 tonnes or greater of metal product per annum 3. Major hazard facility for the storage and distribution of dangerous goods not involving manufacturing processes 4. Scrap metal yard including a fragmentiser

	<ol style="list-style-type: none"> 5. Manufacturing clay or ceramic products including bricks, tiles, pipes and pottery goods, greater than 500 tonnes per annum 6. Processing, brewing, smoking, drying, curing, milling, bottling or canning food, beverages or pet food, greater than 500 tonnes per annum 7. Vegetable oil or oilseed processing in works with a design production capacity of greater than 1000 tonnes per annum 8. Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 500 tonnes per annum 9. Manufacturing medium density fibreboard, chipboard, particle board, plywood, laminated board or wood veneer products, 250 tonnes or greater per annum 10. Sawmilling, wood chipping and kiln drying timber and logs, producing greater than 2000 tonnes per annum 11. Manufacturing or processing plaster, producing greater than 5000 tonnes per annum 12. Enamelling workshop using 15 000 litres or greater of enamel per annum 13. Galvanising works using 100 tonnes or greater of zinc per annum 14. Anodising or electroplating workshop where tank area is 400 square metres or greater 15. Powder coating workshop using 500 tonnes or greater of coating per annum 16. Panel beating and/or spray painting workshop (including spray painting vehicles, plant, equipment or boats) using 20 000 litres or greater of paint per annum 17. Producing concrete products and may include concrete batching 18. Treating timber for preservation using chemicals including copper, chromium, arsenic, borax and creosote 19. Manufacturing soil conditioners by receiving, blending, storing, processing, drying or composting organic material or organic waste, including animal manures, sewage, septic sludges and domestic waste 20. Manufacturing fibreglass pools, tanks and boats 21. Manufacturing, fibreglass, foam plastic, composite plastic or rigid fibre-reinforced plastic or plastic products, 5 tonnes or greater per annum (except fibreglass boats, tanks and swimming pools) 22. Manufacturing PET, PETE, polypropylene and polystyrene plastic or plastic products 23. Manufacturing tyres, asphalt, cement, mineral wool or ceramic fibre 24. Abattoir 25. Recycling chemicals, oils or solvents 26. Waste disposal facility (other than waste incinerator) 27. Recycling, storing or reprocessing regulated waste 28. Manufacturing batteries 29. Manufacturing wooden products including cabinet making, joinery, wood working, producing greater than 500 tonnes per annum 30. Abrasive blasting facility using 10 tonnes or greater of abrasive material per annum 31. Glass fibre manufacture producing 200 tonnes or greater per annum 32. Manufacturing glass or glass products, where not glass fibre, less than 250 tonnes per annum. 33. Manufacturing substrate for mushroom growing 34. Distilling alcohol in works producing greater than 2 500 litres and less than 10 000 litres per annum
<p>Special industry</p>	<ol style="list-style-type: none"> 1. Oil refining or processing 2. Producing, refining or processing gas or fuel gas 3. Distilling alcohol in works producing greater than 10 000 litres per annum 4. Power station 5. Producing, quenching, cutting, crushing or grading coke 6. Waste incinerator 7. Sugar milling or refining 8. Pulp or paper manufacturing 9. Tobacco processing 10. Tannery or works for curing animal skins, hides or finishing leather 11. Textile manufacturing, including carpet manufacturing, wool scouring or carbonising,

- | | |
|-----|---|
| | cotton milling, or textile bleaching, dyeing or finishing |
| 12. | Rendering plant |
| 13. | Manufacturing chemicals, poisons and explosives |
| 14. | Manufacturing fertilisers involving ammonia |
| 15. | Manufacturing polyvinyl chloride plastic. |

SC1.2 Administrative Definitions

1. Administrative definitions assist with the interpretation of the planning scheme but do not have a specific meaning in relation to a use.
2. A term listed in **Table SC1.2.2—Administrative Definitions** column 1 has the meaning set out beside that term in column 2.
3. The administrative definitions listed here are the definitions for the purpose of the planning scheme.

Editor's Note - The administrative terms in blue are defined in Schedule 4 of the Planning Regulation 2017.

Table SC1.2.1—Index of Administrative Definitions

Access	Dairy	Greenfield development
Access strip	Dangerous goods	Gross floor area (GFA)
Acreage Area	Defined flood event	Ground level
Active frontage	Defined flood level	Groundwater extraction
Adjoining premises	Demand unit	Habitable room
Advertising device	Department store	Habitat
Aesthetic Landscaping	Design speed	Habitat link
Afflux	Design vehicle	Habitat values
Affordable housing	Development footprints	Hazardous material
Annual exceedance probability (AEP)	Discount department store	Heavy Rigid Vehicle
Articulation	Display home	Heavy vehicle
Articulated Vehicle (AV)	Display village	Higher order road
Assessable Advertising Device	District centres	Holiday home
Australian height datum (AHD)	Domestic animals	Household
Average recurrence interval (ARI)	Domestic boarding	Impervious area
Average width	Domestic outbuilding	Infill development
Aviary	Domestic purposes	Infrastructure work
Background noise level	Drinking water connection area	Investigation area
Base date	Driveway access	Livestock saleyards
Basement	Dwelling	Local government infrastructure
Beacon Road Community Facilities Area	Ecological connectivity	Local heritage place
Bedroom	Electricity easement	Locally significant species
Biodiversity	Environmental harm	Local utility
Boundary clearance	Environmental nuisance	Long-term residential accommodation
Buffer landscaping	Environmental value	Major hazard facility
Building envelope	Equivalent persons (EP)	Matters of Local Environmental Significance
Building height	Estate office	Matters of State Environmental Significance
Bushfire hazard area	Existing commercial building	Mechanical Low Impact Industries
Centre zones	Exempt clearing	Mezzanine
Communal open space	Face area	Minor Aquaculture
Connectivity	Filling or excavation	Minor building work
Conservation envelope	Flood hazard area	Minor industrial activities
Constructed road	Floodway	Minor electricity infrastructure
Convenience retail	Form	Minor filling and excavation
Corner lot	Freeboard	Minor external lighting devices
Crime Prevention Through Environmental Design (CPTED)	Free standing sign	Minor utility installation
Council	Full line supermarket	Native vegetation
	Future trunk infrastructure	

Table SC1.2.1—Index of Administrative Definitions (continued)

Editor's Note - The administrative terms in blue are defined in Schedule 4 of the Planning Regulation 2017.

Net developable area	Registered Professional Engineer of Queensland (RPEQ)	Standard Unit
Non-resident worker	Regulated vegetation	State-controlled road
Non-residential development	Residential Zone	State significant species
Off-premises sign	Reverse amenity	Storey
On-premises sign	Risk	Stormwater
Outdoor lighting	Road	Stormwater quality improvement device
Outermost projection	Road Hierarchy	Street landscaping
Overland flow path	Rural Areas	Streetscape
Plan of development	Scale	Structure
Planning assumption	Scenic Rim	Suitably qualified person
Plot ratio	Screen Landscaping	Supermarket
Poultry	Sealed Road	Temporary use
Private open space	Secondary dwelling	Third party billboard sign
Prize home	Sensitive land use	Total Leasable Area (TLA)
Projection area	Sensitive receiver	Total Use Area (TUA)
Public open space	Service area	Tourist accommodation site
Public transport	Service catchment	Ultimate development
Pylon sign	Service vehicle	Urban areas
Rear lot	Setback	Urban footprint
Region	Short term residential accommodation	Vehicle trips per day (vpd)
	Significant agricultural land	Verge
	Significant tree	Vulnerable use
	Site	Walkable catchment
	Site cover	Wastewater
	Small Rigid Vehicle (SRV)	Wastewater connection area
	Stable	Water catchment
		Water netserv plan
		Water sensitive urban design
		Working dog

Table SC1.2.2—Administrative Definitions

Editor's Note - The administrative terms in blue are defined in Schedule 4 of the Planning Regulation 2017.

Column 1 Administrative Term	Column 2 Definition
Access	The entry of persons and vehicles onto a lot from a road that directly abuts the frontage of that lot or its access easement.
Access strip	That part of a site that is used for providing access to a road.
Acreage Areas	Means the land shown on Strategic Framework Map SFM-01: Communities and Character as Acreage Areas.
Active frontage	Where there is a visual connection between a building and a road or public open space by providing: <ol style="list-style-type: none"> 1. windows, openings, pedestrian entries, balconies and awnings; 2. opportunities for casual surveillance; 3. a range of uses along the façade.
Adjoining premises	adjoining premises means premises that share a common boundary, including premises that meet at a single point on a common boundary.
Advertising device	advertising device — <ol style="list-style-type: none"> a. means a permanent sign, structure or other device used, or intended to

	<p>be used, for advertising; and</p> <p>b. includes a structure, or part of a building, the primary purpose of which is to support the sign, structure or device.</p> <p>Editor's Note - Refer to section 1.7.2 - Temporary Uses for devices, signs or the like that are deemed to be non-permanent in nature for the purpose of this definition.</p>
Aesthetic landscaping (or aesthetic landscape)	<p>Means a minimum 1 metre wide landscape strip incorporating a mix of trees, shrubs and ground cover plants and conforms with the relevant design and standard of landscaping as described in Planning Scheme Policy 2 - Landscape Design.</p> <p>Note - The principal purpose of aesthetic landscaping is the enhancement of the appearance of a development from outside the development</p>
Afflux	The increase in water level upstream and downstream of a natural or artificial feature that obstructs the free flow of water (such as a bridge or a natural construction in a flood plain).
Affordable housing	affordable housing means housing that is appropriate to the needs of households with low to moderate incomes, if the members of the households will spend no more than 30% of gross income on housing costs.
Annual exceedance probability (AEP)	The probability of a flood event occurring in any year. The probability is expressed as a percentage and is determined by undertaking a flood model for a site or area. A defined flood event with a 1% AEP is a flood that is calculated to have a 1% chance of occurring in any one year. The 1% AEP is also known as the 1 in 100 year Average Recurrence Interval (ARI) or Q100 event and is commonly used for urban planning purposes as the line of acceptable risk.
Articulation	Designing a building, or the façade of a building, with clearly distinguishable parts.
Articulated Vehicle (AV)	Has the meaning given in section 2, AS 2890.2 — 1989.
Assessable Advertising Device	An advertising device being a Third party billboard sign or a Pylon sign.
Australian height datum (AHD)	The survey height datum adopted by the National Mapping Council as the datum to which all vertical control for mapping is to be referred (0.0 metres AHD approximates mean sea level).
Average recurrence interval (ARI)	<p>The average, or expected, value of the periods between exceedances of a given rainfall total accumulates over a given duration. It is implicit in this definition that the periods between exceedances are generally random.</p> <p>Note - For example, a 100 year ARI indicates an average of 100 years between exceedance of a given storm magnitude.</p>
Average width	average width , of a lot, means the distance, measured in metres, between the midpoint on each side boundary of the lot.
Aviary	<p>A cage or enclosure located external to a residence in which birds are kept. The term does not include the birds commonly associated with food production, intensive animal industry or rural land uses, including:</p> <ol style="list-style-type: none"> 1. Chickens; 2. Ducks; 3. Geese; 4. Guinea fowl; or 5. Pea fowl
Background noise level	For a specified time interval, in relation to an investigation of a noise, the A-

	weighted sound pressure level that is equalled or exceeded for 90 per cent of that part of the interval in which the investigated noise is absent.
Base date	base date means the date from which the local government has estimated future infrastructure demand and costs for the local government area.
Basement	basement means a space— a. between a floor level in a building and the floor level that is immediately below it; and b. no part of which is more than 1m above ground level.
Beacon Road Community Facilities Area	Means land at: Lot 20 RP206025 Lot 11 RP97304 Lot 9 SP176122 Lot 8 RP100548 Lot 7 RP100548 Lot 6 RP100548 Lot 5 RP100548 Lot 4 RP100548 Lot 3 RP100548 Lot 1 RP193882
Bedroom	Any enclosed, habitable room in a dwelling that is capable of being used for sleeping accommodation.
Biodiversity	The natural diversity of fauna and flora, together with the environmental conditions necessary for their survival. The four levels of biodiversity are genetic, species, ecosystem and regional diversity.
Boundary clearance	boundary clearance means the distance between a building or structure on premises and the boundary of the premises, measured from the part of the building or structure that is closest to the boundary, other than a part that is— a. an architectural or ornamental attachment; or b. a rainwater fitting. <i>Examples—</i> 1 If the fascia of a building is the part of the building that is closest to the boundary, the boundary clearance is the distance between the outside of the fascia and the boundary. 2 If a point on the roof of a building is the part of the building that is closest to the boundary, the boundary clearance is the distance between that point on the roof and the boundary.
Buffer landscaping (or buffer landscape)	Means a vegetative barrier or landscaping principally designed to physically or visually separate one use from another for the purpose of preventing adverse impacts and conforms with relevant design and standard of landscaping as described in Planning Scheme Policy 2 - Landscape Design .
Building envelope	The area of a lot defined on a plan by metes and bounds within which all buildings and structures must be contained.
Building height	building height , of a building, means— a. the vertical distance, measured in metres, between the ground level of the building and the highest point on the roof of the building, other than a point that is part of an aerial, chimney, flagpole or load-bearing antenna; or b. the number of storeys in the building above ground level.
Bushfire hazard area	Means the land covered by the Medium, High and Very High Hazard Areas

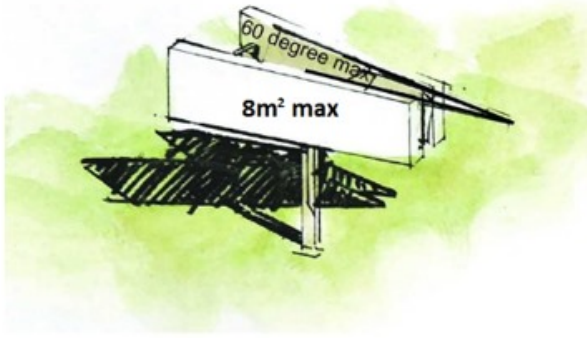
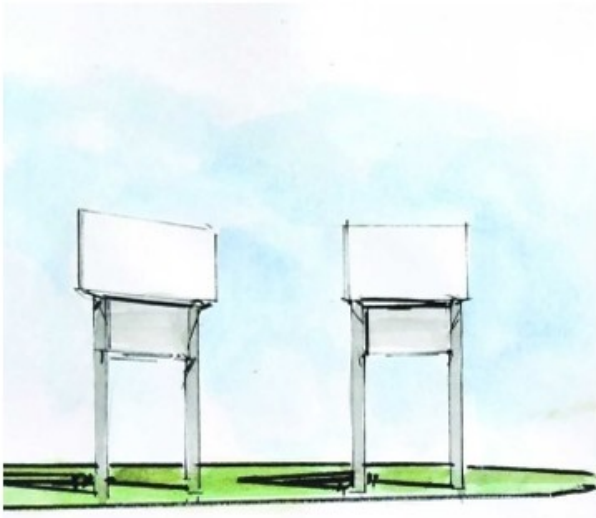
	and Potential Bushfire Impact Buffer as identified on the Bushfire Hazard Overlay Map OM-03 .
Centre zones	Includes Major Centre Zone, District Centre Zone, Local Centre Zone, Neighbourhood Centre Zone and Township Zone (excluding the Township Residential Precinct).
Communal open space	An outdoor space for the use of all occupants of a building. It may include a footpath, gazebo, children's playground, landscaping, tennis court and a swimming pool. It does not include a stormwater channel, driveway access or car parking area.
Connectivity	The extent to which a place or area is connected to other places and areas through a variety of transport modes, or the ease with which connection with other places can be made.
Conservation envelope	The area shown on an approved plan of survey which is marked as a conservation envelope area.
Constructed road	A road located on a road reserve which is trafficable and where the local government has improved the natural surface by clearing, grading and by the addition of at least 100mm of gravel pavement and cross road drainage.
Convenience retail	Means small format retail stores that: <ol style="list-style-type: none"> 1. carry a limited selection of basic items; 2. cater to local tastes and needs; and 3. are conveniently situated. <p>Note - Stores, for example, may include a small scale supermarket, corner store, newsagent, and chemist.</p>
Corner lot	A lot bounded by two or more roads where the roads intersect or join.
Crime prevention through environmental design (CPTED)	Includes: <ol style="list-style-type: none"> 1. CPTED - Part A Essential features of safer places; and 2. CPTED Guidelines for Queensland. <p>Editor's Note - copies available from http://www.police.qld.gov.au/programs/crimeprevention</p> <p><i>CPTED is a crime prevention philosophy based on proper design and effective use of the built environment leading to a reduction in the fear and incidence of crime, as well as an improvement in quality of life.</i></p> <p><i>The use of CPTED is intended to reduce crime and fear by reducing criminal opportunity and fostering positive social interaction among legitimate users of space. The emphasis is on prevention rather than apprehension and punishment.</i></p>
Council	The Scenic Rim Regional Council
Dairy	Includes milking sheds, yards and enclosures, and any areas where cattle are concentrated, penned or housed. It does not include grazing areas being natural or improved pastures.
Dangerous goods	See the definition of dangerous goods in the Work Health and Safety Act 2011, schedule 1, part 1, item 1(6).
Defined flood event	A flood event with a 1% AEP, which includes an additional climate change consideration. The defined flood event is shown on the Flood Hazard Overlay Map - Hazard Area OM-06-A . <p>Note - Where land is located in the Investigation Area of the Flood Hazard Overlay Map - Hazard Area OM-06-A, flood information based on the 1% AEP (with climate change consideration) is not available. A flood investigation undertaken by a suitably qualified person is required to determine the defined flood event.</p>

Defined flood level	<p>The level on a site based on the defined flood event. The defined flood level is measured in height above mean sea level (AHD). To obtain the defined flood level for land, a request to Council can be made for a Flood Level Search.</p> <p>Note - Where land is located in the Investigation Area of the Flood Hazard Overlay Map - Hazard Area OM-06-A, a defined flood level based on the 1% AEP flood event with a climate change consideration is not available. A flood investigation undertaken by a suitably qualified person may be required to determine the defined flood level to ensure compliance with the relevant building assessment provisions under the Building Act 1975.</p>
Demand unit	demand unit means a unit of measurement for measuring the level of demand for infrastructure.
Department store	A single self-contained retailing outlet in a department based structure and with department based service facilities offering a wide variety of goods and services generally of a non-food nature for sale.
Design speed	The speed selected as being appropriate for a road for design purposes.
Design vehicle	The vehicle that a given development is designed to accommodate in relation to on-site access and maneuverability.
Development footprint	<p>development footprint, for development, means a part of the premises that the development relates to, including, for example, any part of the premises that, after the development is carried out, will be covered by—</p> <ol style="list-style-type: none"> a. buildings or structures, measured to their outermost projection; or b. landscaping or open space; or c. facilities relating to the development; or d. on-site stormwater drainage or wastewater treatment; or e. a car park, road, access track or area used for vehicle movement; or f. another area of disturbance.
Discount department store	A single self-contained retailing outlet with fast service checkout facilities offering a wide variety of goods and services generally of a non-food nature for sale.
Display home	A dwelling open for public inspection that can be built for sale, and may include the conducting of house and/or estate land sales.
Display village	Involves three or more display homes operating collectively within close proximity.
District centres	Means land within Boonah and North Tamborine which are zoned District Centre.
Domestic animals	<p>Domesticated animals which are kept in or about a dwelling for the purpose of companionship, enjoyment, interest or protection and:</p> <ol style="list-style-type: none"> 1. includes, but is not limited to aquarium fish, bees, birds kept in a cage or enclosure located within a residence, cats, poultry (limited to less than 100 in combined total), dogs (including incidental breeding), rodents (including guinea pigs, mice and rats); and 2. does not include: <ol style="list-style-type: none"> a. alpaca or llama, camel, cattle, crocodile, donkey, ducks, emu, geese, goats, guinea fowl, horses, ostrich, pea fowl, pigs, sheep, turkeys; or b. Animal keeping; or c. animals commonly associated with food production, Intensive animal industry or rural land uses. <p>Editor's note -</p>

	<i>Compliance with the requirements of the planning scheme does not, on its own, provide authorisation for the keeping of animals. In certain circumstances and locations an Approval pursuant to Councils local laws may also be required. When considering the keeping of animals, contact Council for further details.</i>
Domestic boarding	The use of premises for residential accommodation, which: <ol style="list-style-type: none"> 1. is conducted within a self-contained dwelling; 2. is conducted by a permanent resident of the dwelling; and 3. accommodates up to three individual boarders.
Domestic outbuilding	domestic outbuilding means a non-habitable class 10a building that is— <ol style="list-style-type: none"> a. a shed, garage or carport; and b. ancillary to a residential use carried out on the premises where the building is.
Domestic purposes	In respect to groundwater extraction, means water for the following: <ol style="list-style-type: none"> 1. household purposes; 2. watering of animals kept as pets; 3. watering a garden or lawn.
Drinking water connection area	Means an area serviced by the water distributor-retailer's reticulated water supply network.
Driveway access	The part of an accessway which is located between the edge of the road pavement and the property boundary.
Dwelling	dwelling means all or part of a building that— <ol style="list-style-type: none"> a. is used, or capable of being used, as a self-contained residence; and b. contains— <ol style="list-style-type: none"> i. food preparation facilities; and ii. a bath or shower; and iii. a toilet; and iv. a wash basin; and v. facilities for washing clothes.
Ecological connectivity	Refers to connections across the landscape that link up areas of habitat facilitating the safe movement of wildlife or genetic flows across the landscape and can include: <ol style="list-style-type: none"> a. large areas of bushland habitat; b. linear ecological corridors that range in size from smaller corridors connecting relatively close areas of habitat to landscape corridors connecting more distant areas; or c. small patches of vegetation that provide habitat and serve as 'stepping stones' to aid the movement of native species between larger habitat areas.
Electricity easement	A right held by an electricity distribution entity over a lot or portion of a lot owned by another party. The right may include the ability to access, maintain, repair, rebuild and restrict development in the electricity easement.
Environmental harm	Has the meaning given in the Environmental Protection Act 1994.
Environmental nuisance	Has the meaning given in the Environmental Protection Act 1994.
Environmental value	Has the meaning given in the Environmental Protection Act 1994.
Equivalent persons (EP)	The demand on infrastructure that is represented by an average single person.
Estate office	An office used for the sale of lots in an estate where it is located.
Existing commercial building	An existing Class 5, 6, 8 and 9 building as specified in the Building Code of Australia.

	<p>Note - A change of building classification within Class of Building 5-9 and plumbing work is permissible.</p>
<p>Exempt clearing</p>	<p>Means:</p> <ol style="list-style-type: none"> 1. Clearing of non-native vegetation; or 2. Clearing limited to within an approved building envelope; or 3. Clearing of native vegetation limited to within: <ol style="list-style-type: none"> a. 20 metres of an existing or approved class 1 building; or b. 10 metres of an existing or approved class 10 building or structure; or 4. Clearing of native vegetation for the construction or maintenance of an access way limited to 5 metres in total width, which provides one vehicular access from a road to an existing dwelling; or 5. Clearing of native vegetation on land included in a Rural Zone (Where no precinct applies) to source construction material to repair infrastructure needed to carry out a rural activity on the same land, provided: <ol style="list-style-type: none"> a. the clearing does not cause land degradation; b. restoration of a similar type to, and to the extent of, the removed trees is ensured; and c. the cleared vegetation does not leave the farm site. 6. Clearing of native vegetation for the construction and maintenance of fencing required to carry out a rural activity on land in the Rural Zone (Where no precinct applies), and clearing is limited to a width of 5 metres either side of the fence; or Note: Where the fence has not yet been built, the proposed fence is required to be constructed within 2 months of the vegetation clearing. 7. Clearing of native vegetation limited to within 10 metres of existing infrastructure in a Rural Zone (Where no precinct applies) including any buildings, helipads, stockyards, watering facilities and constructed drains other than contour banks; or 8. Clearing of native vegetation for the construction or maintenance of a service corridor to provide an aboveground or underground utility service and the clearing is limited to a total width of 5 metres in width from the centre point of the corridor; or 9. Clearing of native vegetation where: <ol style="list-style-type: none"> a. it is limited to within 10 metres of existing infrastructure or buildings and necessary to remove or reduce imminent risk of serious personal injury or damage to infrastructure posed by the vegetation; and b. replacement of the removal vegetation with suitable native vegetation in a suitable location on the site is ensured; or 10. Clearing of native vegetation for the establishment of fire breaks or fire management lines where in accordance with the Planning Regulation 2017. Note - The Planning Regulation should also be considered when determining if an activity is considered to be exempt clearing work under state legislation.
<p>Face area</p>	<p>In relation to an advertising device, where the advertising device has:</p>

	<ol style="list-style-type: none"> 1. only one face, the greater of the area of: <ol style="list-style-type: none"> a. the advertisement panel or board as installed; or b. a rectangular figure best enclosing the advertising message, logo or figure; 2. more than one face, the sum of the area of each of the faces where each is calculated separately in accordance with paragraph 1.
Filling or excavation	Removal or importation of material to, from or within a lot that will change the ground level of the land.
Flood hazard area	<p>The flood hazard area is shown as the Defined Flood Event or Investigation Area on the Flood Hazard Overlay Map - Hazard Area OM-06-A.</p> <p><i>Note - Section 13 of the Building Regulation requires a local government to keep a register of the flood hazard area it designates and when the designation was made. The flood hazard area is the designated flood hazard area for the purposes of the Building Regulation, section 13(1)(a).</i></p>
Floodway	<p>That part of the floodplain specifically designed to carry flood flows and ideally capable of containing the defined flood event.</p> <p><i>Note - Definition from the Queensland Urban Drainage Manual.</i></p>
Form	In a streetscape context, the two dimensional shape, outline or silhouette of a building.
Freeboard	<p>A height above the defined flood level that takes account of matters that may cause flood waters to rise above the defined flood level.</p> <p><i>Example of matters that may cause a flood level to rise above the defined flood level—wave action, localised hydraulic behaviour</i></p> <p><i>Note - definition from the Building Regulation 2006.</i></p>

<p>Free standing sign</p>	<p>An advertising device permanently attached to the ground on its supportive structure independent of any building.</p> <p>Note - Examples of a free standing sign:</p> <ul style="list-style-type: none"> • A billboard sign being an advertising device the width of which is greater than the height and which may be positioned on the ground or mounted on one or many vertical supports; • A pole sign being an advertising device which may be positioned on the ground or mounted on one or more supports  <p>A01 BILLBOARD SIGN</p> 
<p>Full-line supermarket</p>	<p>A supermarket offering all or most major lines of groceries for sale and having a gross leasable floor area generally in excess of 2,500m².</p>
<p>Future trunk infrastructure</p>	<p>For Part 4 Local Government Infrastructure Plan, trunk infrastructure planned to be provided from the base date to the planning horizon.</p> <p>Note - The future trunk infrastructure is identified in the tables references in Part 4 Local Government Infrastructure Plan.</p>
<p>Greenfield development</p>	<p>Refers to land that has not previously been utilised for urban development and may be considered for urban development in the future, through a master planning process, for example.</p>
<p>Gross floor area (GFA)</p>	<p>gross floor area, for a building, means the total floor area of all storeys of</p>

	<p>the building, measured from the outside of the external walls and the centre of any common walls of the building, other than areas used for—</p> <ol style="list-style-type: none"> building services, plant or equipment; or access between levels; or a ground floor public lobby; or a mall; or parking, loading or manoeuvring vehicles; or unenclosed private balconies, whether roofed or not.
Ground level	<p>ground level means—</p> <ol style="list-style-type: none"> the level of the natural ground; or if the level of the natural ground has changed, the level as lawfully changed.
Groundwater extraction	<p>Means the extraction or collection of water resources from beneath or above ground and the removal of that resource from a property. Water resources include bore water, spring water, rain water and surface waters.</p>
Habitable room	<p>A room used for normal domestic activities, and:</p> <ol style="list-style-type: none"> includes a bedroom living room, lounge room, music room, television room, kitchen, dining room, sewing room, study, playroom, family room, home theatre and sunroom; but excludes a bathroom, laundry, water closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes-drying room, and other spaces of a specialised nature occupied neither frequently nor for extended periods. <p><i>Note - definition from the Building Code of Australia.</i></p>
Habitat	<p>The place where an organism lives, a physical area, some specific part of the earth's surface, air, soil, water, or another organism. More than one animal may live in a particular habitat.</p>
Habitat link	<p>The area that connects two or more areas of habitat and provides a relatively safe area for movement and refuge for indigenous animals.</p>
Habitat values	<p>Those characteristics of an area that make it suitable as a habitat or refuge for native vegetation and animals. These characteristics include the physical structure, nutrient and energy flows, condition and extent of habitat and the location of the area in relation to other habitats.</p>
Hazardous material	<p>Hazardous material means a substance with potential to cause harm to persons, property or the environment because of one or more of the following:</p> <ol style="list-style-type: none"> the chemical properties of the substance; the physical properties of the substance; the biological properties of the substance. <p><i>Note - definition from State Planning Policy July 2017.</i></p>
Heavy Rigid Vehicle (HRV)	<p>Has the meaning given in Section 2, AS 2890.2 — 1989</p>
Heavy vehicle (HV)	<p>Where the vehicle is used for business purposes a heavy vehicle includes any of the following:</p> <ol style="list-style-type: none"> medium rigid truck - more than 8 t GVM with not more than two axles and with or without a trailer weighing 9 t GVM or less; medium rigid tractor - more than 8 t GVM with not more than two axles; medium rigid bus - more than 8 t GVM with not more than two axles; heavy rigid truck - and more than 8 t GVM with more than two axles with or without a trailer weighing 9 t GVM or less, this includes a single prime mover; heavy rigid bus - with more than 8 t GVM with more than two axles and with or without a trailer weighing 9 t GVM or less;

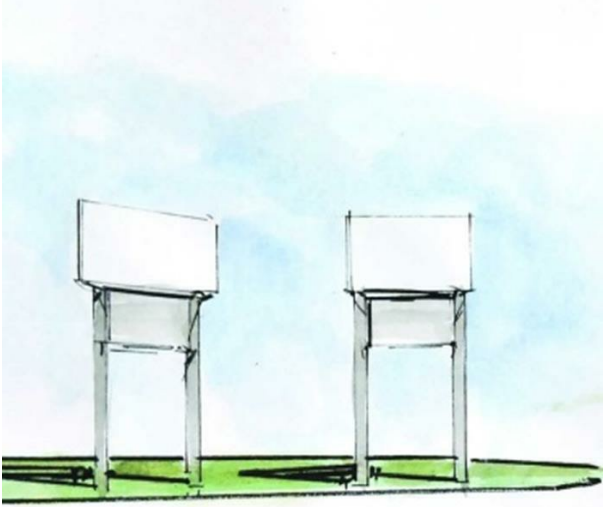
	<ol style="list-style-type: none"> 6. articulated bus - more than 8 t GVM with more than two axles; 7. heavy combination - rigid truck more than 8 t GVM towing one trailer weighing more than 9 t GVM; 8. heavy combination - prime mover more than 8 t GVM towing one semitrailer; 9. B-double - prime mover towing two semitrailers, with one semitrailer supported at the front, and connected to the other semitrailer; 10. a specially constructed vehicle more than 8 t GVM being: <ol style="list-style-type: none"> a. a crane, hoist or load shifting equipment for which a WHS Certificate is issued; b. any other motor vehicle that is not constructed to carry passengers or a load, except things used in performing a vehicles functions; but c. does not include a motor vehicle with a chassis that is substantially the same as a truck chassis.
Higher order road	A Higher Order Road specified on the Higher Order Roads Overlay Map OM-14 .
Holiday home	Means a Short-term accommodation use; <ol style="list-style-type: none"> 1. which accommodates an individual or a single group of persons; 2. is conducted within an existing self-contained dwelling; 3. visitors have the right to occupy the whole of the dwelling; and 4. does not involve any shared facilities.
Household	household means 1 or more individuals who— <ol style="list-style-type: none"> a. live in a dwelling with the intent of living together on a long-term basis; and b. make common provision for food and other essentials for living.
Impervious area	The area of the premises that is impervious to rainfall or overland flow that results in the discharge of stormwater from the premises.
Infill development	Development in existing developed areas usually involving the use of vacant land or the replacement or removal of existing uses to allow for new uses.
Infrastructure work	Work for: <ol style="list-style-type: none"> 1. supply or treatment of water or gas; or 2. supply of electricity; or 3. sewerage, drainage, or stormwater infrastructure; or 4. movement network infrastructure; or 5. waste management facilities; or 6. telecommunications infrastructure.
Investigation area	Means the area that is shown on the Flood Hazard Overlay Map OM-06-A as being within the Investigation Area. The Investigation Area is based on the Queensland Reconstruction Authority's Interim Floodplain Assessment Overlay (IFAO) maps. The IFAO maps were prepared using a range of existing Statewide datasets to determine floodplain maps where floodplain mapping did not exist. The mapping is based on various landform datasets that represent or indicate previous inundation. The spatial extent of the mapping identifies an area of interest for potential flooding impacts. The mapping is not based on a particular Annual Exceedence Probability (AEP) event or Defined Flood Event (DFE) such as a 1% AEP, nor does it represent the Probable Maximum Flood (PMF), which is commonly derived through detailed flood studies to identify the extent of the floodplain. The mapping does not include or specify a flood level or flood flow velocity. The 'Investigation Area' may trigger the requirement for a flood investigation to be undertaken on the site to determine the Defined Flood Level.
Livestock saleyards	Outdoor sales involving the sale or auction of livestock from yards or pens.

	<p>The term includes ancillary;</p> <ol style="list-style-type: none"> 1. sale or auction of rural products, goods or equipment; 2. office facilities; 3. weighbridges; and 4. vehicle access and truck wash areas.
Local government infrastructure	Infrastructure work that is or is intended to be owned, controlled or maintained by the local government. Typically, it will be provided by the person who has the benefit of a development approval.
Local Heritage Place	<p>A place that has local cultural heritage significance identified on Local Heritage Overlay Map OM-08.</p> <p><i>Editor's note - The Scenic Rim Local Heritage Register identifies places in the region that have local cultural heritage significance in accordance with the criteria for local cultural heritage significance adopted by Council.</i></p>
Locally significant species	Means wildlife species listed in Appendix F Priority Species of Planning Scheme Policy 5 - Ecological Assessments .
Local utility	<p>Development:</p> <ol style="list-style-type: none"> 1. carried out by: <ol style="list-style-type: none"> a. the local government as defined under the Local Government Act 2009; or b. a joint local government entity; or c. an interim entity or corporate entity established under the Local Government (Beneficial Enterprise and Business Activities) Regulation 2010; or d. an association with which the local government participates in conducting a beneficial enterprise under the Local Government Act 2009; or e. an authority established under a local law; or f. a person engaged by the local government for the purpose of assisting the local government in the exercise of the local government's jurisdiction to ensure the good rule and government of its territorial unit; or 2. on land owned by Scenic Rim Regional Council or of which Scenic Rim Regional Council is the trustee; and 3. does not include a significant business activity as defined by the Local Government Act 2009. <p><i>Editor's note - To clarify, the above definition does not include a distributor-retailer under the provision of the South East Queensland Water (Distribution and Retail Restructuring) Act 2009 or a service provider under the Water Supply (Safety and Reliability) Act 2008.</i></p>
Long-term residential accommodation	In respect to a Relocatable home park, any occupation of the park by a person for a period of more than 42 days in any 12 month period.
Major hazard facility	Has the meaning given in the Work Health and Safety Regulation 2011.
Matters of Local Environmental Significance	Has the meaning given under the State Planning Policy and includes the environmental values identified as Matters of Local Environmental Significance shown on the Environmental Significance Overlay Maps (OM-04-B, OM-04-C, OM-04-E, OM-04-F).
Matters of State Environmental Significance	Has the meaning given under the State Planning Policy and includes the environmental values identified as Matters of State Environmental Significance shown on the Environmental Significance Overlay Maps (OM-04-A, OM-04-C, OM-04-D).
Mechanical low impact	Means Low impact industries involved in the production, use or repair of

industries	<p>machines, metal fabrication and printing, and includes:</p> <ol style="list-style-type: none"> 1. Repairing and servicing motor vehicles, including mechanical components, radiators, electrical components, wheel alignments, exhausts, tyres, suspension or air conditioning, not including spray painting; 2. Repairing and servicing lawn mowers and outboard engines; 3. Fitting and turning workshop; 4. Assembling or fabricating products from sheet metal or welding steel, producing less than 10 tonnes a year and not including spray painting; 5. Printing advertising material, magazines, newspapers, packaging and stationery; and 6. does not include Low Impact Industries listed in Table SC1.1.2.1 Industry Thresholds examples (1) -(4).
Mezzanine	<p>An intermediate floor within a room.</p> <p>Note - definition from the Building Code of Australia. <i>For the purposes of calculating the rise in storeys of a building-</i></p> <ol style="list-style-type: none"> i. a mezzanine is regarded as a storey in that part of the building in which it is situated if its floor area is more than 200 m² or more than 1/3 of the floor area of the room, whichever is the lesser; and ii. two or more mezzanines are regarded as a storey in that part of the building in which they are situated if they are at or near the same level and have an aggregate floor area more than 200 m² or more than 1/3 of the floor area of the room, whichever is the lesser.
Minor aquaculture	<p>Aquaculture that complies with the requirements set out under the document 'Accepted Development Requirements for Material Change of Use that is Aquaculture' by the State Department of Agriculture and Fisheries</p>
Minor building work	<p>minor building work means building work that increases the gross floor area of a building by no more than the lesser of the following—</p> <ol style="list-style-type: none"> a. 50m²; b. an area equal to 5% of the gross floor area of the building.
Minor industrial activities	<p>Means Industrial activities including:</p> <ol style="list-style-type: none"> 1. assembling wooden products producing less than 100 tonnes per annum and not involving spray painting; 2. manufacturing clay or ceramic products including pottery goods, less than 100 tonnes per annum; 3. processing food or beverages, less than 50 tonnes per annum (where not involving brewing, smoking, drying, curing, milling, bottling or canning food); and 4. assembling sheet glass and aluminium products, glazier or security screen assembly.
Minor electricity infrastructure	<p>Minor electricity infrastructure means development for an electricity supply network or for private electricity works that form an extension of, or provide service connections to, properties from the network, if the network operates at standard voltages up to and including 66kV, other than development for—</p> <ol style="list-style-type: none"> 1. a new zone substation or bulk supply substation; or 2. the augmentation of a zone substation or bulk supply substation that significantly increases the input or output standard voltage. 3.
Minor filling and excavation	<p>Means any filling or excavation:</p> <ol style="list-style-type: none"> 1. involving the moving of less than: <ol style="list-style-type: none"> a. 500m³ of earth in the Rural Zone; or b. 200m³ of earth in any other Zone;

	<ol style="list-style-type: none"> 2. less than 1000m² in area in total; 3. less than 500mm average depth above or below natural ground level; 4. less than 800mm maximum depth above or below natural ground level; 5. involving earth batters (not including a retaining wall) with a slope less than 1 in 3; 6. if within 3 metres of an adjoining property, involves a change to the natural ground level of less than 1 metre; 7. if within 3 metres of a public infrastructure item, involves a change to the natural ground level exceeding 1 metre; and 8. is not within an area that is below an defined flood level; 9. using clean fill; 10. the site is not on a local or state heritage register; and 11. is not undertaken within a public utilities easement. <p>Editor's Note -</p> <ol style="list-style-type: none"> 1. <i>To meet the above definition, <u>all</u> provisions (1-11) must be met.</i> 2. <i>Sediment and erosion control measures are still required to ensure compliance with the Environmental Protection Act 1994.</i> 3. <i>Overlays may prescribe a higher level of assessment, or have different criteria, than the 5.8 Levels of Assessment - Operational Works, and must be considered when determining the appropriate level of assessment for filling or excavation.</i>
<p>Minor external lighting devices</p>	<p>Lighting devices that do not exceed 2500 lumens output.</p> <p>Editor's Note - See manufacturer's specifications for details.</p>
<p>Minor utility installation</p>	<p>Means a Utility Installation:</p> <ol style="list-style-type: none"> 1. carried out by or on behalf of the Local Government or other public sector entity for the reticulation or conveyance of water, sewage, stormwater and recycled water, including ancillary maintenance and storage depots, pumping stations and other facilities for the operation of the use; or 2. being activities and associated facilities to support the effective management of a State Forest, National Park or Conservation Park; or 3. being network infrastructure, linear in nature, and used for the conveyance of a product to the public, including data and internet services; or 4. involving the reconstruction or alteration of an existing Utility installation building where the design and external appearance is not materially altered; or 5. being the following network infrastructure: <ol style="list-style-type: none"> a. Rising main; b. Water reservoir; c. Sewerage or water mains; d. Booster pumps or pump stations; e. Storm or flood water drainage infrastructure; f. Stormwater retention basins; g. Gas mains providing gas directly to consumers; h. Bus stops; and 6. not being the following: <ol style="list-style-type: none"> a. Water treatment plant; or b. Sewage treatment plant; or c. Waste management or disposal facility; or d. Groundwater extraction.
<p>Native vegetation</p>	<p>Means vegetation under the Vegetation Management Act, 1999.</p> <p>Editor's Note - <i>Vegetation is a native tree or plant other than the following—</i></p>

	<ul style="list-style-type: none"> a. <i>grass or non-woody herbage;</i> b. <i>a plant within a grassland regional ecosystem prescribed under a regulation;</i> c. <i>a mangrove.</i>
Net developable area	<p>net developable area, for premises, means the area of the premises that —</p> <ul style="list-style-type: none"> a. is able to be developed; and b. is not subject to a development constraint, including, for example, a constraint relating to acid sulfate soils, flooding or slope.
Non-resident worker	<p>non-resident worker means a person who—</p> <ul style="list-style-type: none"> a. performs work as part of— <ul style="list-style-type: none"> i. a resource extraction project; or ii. a project identified in a planning scheme as a major industry or infrastructure project; or iii. a rural use; and b. lives, for extended periods, in the locality of the project, but has a permanent residence elsewhere. <p><i>Example of a non-resident worker— a person engaged in fly-in/fly-out, or drive in/drive out, working arrangements</i></p>
Non-residential development	<p>For Part 4 Local Government Infrastructure Plan and Part 6 Zones, includes the uses mentioned in column 3 of Table 4.1 Relationship Between LGIP Development Categories, LGIP Development Types and Planning Scheme Uses, stated opposite to 'non-residential development' in column 1.</p>
Off-premises sign	<p>An advertising device used for the display of advertising of a matter not related to the predominant use of the premises.</p>
On-premises sign	<p>An advertising device used for the display of advertising of a matter related to the predominant use of the premises.</p>
Outdoor lighting	<p>Any form of permanently installed lighting system whether internal or external that emits light that may have impacts beyond the site.</p>
Outermost projection	<p>outermost projection, of a building or structure, means the outermost part of the building or structure, other than a part that is—</p> <ul style="list-style-type: none"> a. a retractable blind; or b. a fixed screen; or c. a rainwater fitting; or d. an ornamental attachment.
Overland flow path	<p>Where a piped drainage system exists, the path where flood waters exceeding the capacity of the underground drainage system would flow. Where no piped drainage system or other form of defined waterway exists, the path taken by surface run—off from higher parts of the catchment.</p> <p>The term does not include a waterway or wetland.</p>
Plan of development	<p>plan of development means a plan that may form part of a development approval, for a variety of development types to regulate development controls, including for example, the location of the following—</p> <ul style="list-style-type: none"> a. built to boundary walls; b. services; c. driveways; d. primary and secondary street frontages.
Planning assumptions	<p>planning assumption means an assumption about the type, scale, location and timing of future growth in the local government area.</p>

	Note - The planning assumptions are stated in Part 4 Local Government Infrastructure Plan.
Plot ratio	plot ratio means the ratio of the gross floor area of a building on a site to the area of the site.
Poultry	Means any of the following— a. chickens; b. ducks; c. geese; d. guineafowl; e. turkeys.
Private open space	An outdoor space for the exclusive use of occupants of a building.
Prize home	A dwelling open for public inspection and the sale of raffle tickets for which the home is a prize Note - A prize home conducted by a charity or not-for-profit organisation and open to the public for a period not exceeding 8 weeks is defined as a temporary use and is exempt development.
Projection area(s)	projection area means a part of the local government area for which the local government has carried out demand growth projection. Note - The projection areas are identified on Priority Infrastructure Area Map in Schedule 3 Local Government Infrastructure Plan Mapping and Supporting Material.
Public open space	Outdoor spaces that are generally accessible to the community and provide for a range of sport, recreation, cultural, entertainment or leisure pursuits.
Public transport	Services and facilities to transport passengers by modes such as buses and rail that are provided for public use.
Pylon sign	An on-premises sign that is 1. freestanding; 2. positioned on the ground or mounted to one or more vertical supports; and 3. has a total face area of 4m ² or more.  Figure 1 Typical pylon signs
Rear lot	A lot that has access to a road by means only of: 1. an access strip that forms part of the lot; or

	2. an easement over an adjoining lot.
Region	Refers to the Scenic Rim Regional Council Local Government Area.
Registered Professional Engineer of Queensland (RPEQ)	A Registered Professional Engineer of Queensland (RPEQ), pursuant to the Professional Engineers Act 2002, having the necessary qualifications and experience to perform regulatory or professional functions relevant to the function being undertaken.
Regulated vegetation	Has the meaning given in the State Planning Policy for Matters of State Environmental Significance (MSES) - Regulated Vegetation.
Residential Zone	Means premises (however described) designated in a local categorising instrument as residential. <i>Examples of ways of describing premises—</i> <ul style="list-style-type: none"> • <i>general residential</i> • <i>low density, medium density or high density residential</i> • <i>residential living</i> • <i>residential choice</i> • <i>rural residential or park residential</i> Editor's Note - For the purposes of the Scheme, Residential Zones are the Low Density Residential Zone, Low-Medium Density Residential Zone, Rural Residential Zone and Township Zone.
Reverse amenity	The situation where an existing use would adversely affect the amenity of a proposed use such that if the proposed use was carried out, the carrying out of the existing use would be restricted or prevented.
Risk	A concept used to describe the likelihood of harmful consequences arising from the interaction of hazards, community and the environment.
Road	An area of land, whether surveyed or unsurveyed: <ol style="list-style-type: none"> 1. dedicated, notified or declared to be a road for public use; or 2. taken under an Act, for the purpose of a road for public use. The term includes: <ol style="list-style-type: none"> 1. a street, esplanade, reserve for esplanade, highway, pathway, thoroughfare, track or stock route; 2. a bridge, causeway, culvert or other works in, or, over or under a road; 3. any part of a road. Note - definition from the Land Act 1994.
Road Hierarchy	A system in which roads are ranked in terms of their function, type and capacity to support different types of vehicles and volumes of traffic.
Rural Areas	Means the land shown on Strategic Framework Map SPM-01: Communities and Character as Rural Areas.
Scale	In a streetscape context, the relative size of a building compared to adjacent buildings or the relative size of components of a building when compared with similar parts on adjacent buildings.
Scenic Rim	Unless the context otherwise indicates, refers to geographic area encompassed by the Scenic Rim Regional Council local government area.
Screen landscaping (or screen landscape)	Means landscaping that screens or obscures from view development that is unsightly, intrusive or visually incompatible with the area in which it is located and conforms with the relevant design and standard of landscaping as described in Planning Scheme Policy 2 - Landscape Design .
Sealed Road	A road located on a road reserve which is trafficable and where the local government has improved the natural surface by the addition of at least 100mm of gravel pavement with a bitumen or asphaltic seal and cross road

	drainage
Secondary Dwelling	secondary dwelling means a dwelling, whether attached or detached, that is used in conjunction with, and subordinate to, a dwelling house on the same lot.
Sensitive land use	Means— <ol style="list-style-type: none"> 1. Caretaker's accommodation; or 2. a Childcare centre; or 3. a Community care centre; or 4. a Community residence; or 5. a Detention facility; or 6. a Dual occupancy; or 7. a Dwelling house; or 8. a Dwelling unit; or 9. an Educational establishment; or 10. a Health care service; or 11. a Hospital; or 12. a Hotel; or 13. a Multiple dwelling; or 14. Non-resident workforce accommodation; or 15. a Relocatable home park; or 16. a Residential care facility; or 17. a Resort complex; or 18. a Retirement facility; or 19. Rooming accommodation; or 20. Rural workers' accommodation; or 21. Short-term accommodation; or 22. a Tourist park.
Sensitive receiver	Means: <ol style="list-style-type: none"> 1. a sensitive land use; 2. land within a residential zone; and 3. does not include a Caretakers accommodation where located in the Industry Zone.
Service area	A loading/unloading bay.
Service catchment	service catchment means an area serviced by an infrastructure network. Note — <i>for example:</i> <ul style="list-style-type: none"> • <i>stormwater network service catchments can be delineated to align with watershed boundaries;</i> • <i>open space network service catchment can be determined using local government accessibility standards;</i> • <i>water network service catchment can be established as the area serviced by a particular reservoir.</i>
Service Vehicle	Vehicles that provide a service to the community and includes emergency service vehicles, waste collection vehicles and street-cleaning vehicles.
Setback	setback , for a building or structure, means the shortest distance, measured horizontally, between the outermost projection of the building or structure to the vertical projection of the boundary of the lot where the building or structure is.
Short term residential accommodation	In respect to a Tourist park, any occupation of the park by a person for a period of no more than 42 days in any 12 month period
Significant agricultural land	Means the land shown on Agricultural Land Overlay Map OM-01 as Agricultural Land Classification (ALC) Class A and Class B land.

Significant tree	means a tree which is indigenous to Australia and has a trunk with a minimum circumference of 31.5 centimetres when measured at 1 metre from the ground.
Site	site , of development, means the land that the development is to be carried out on. <i>Examples—</i> <i>1. If development is to be carried out on part of a lot, the site of the development is that part of the lot.</i> <i>2. If development is to be carried out on part of 1 lot and part of an adjoining lot, the site of the development is both of those parts.</i>
Site cover	site cover , of development, means the portion of the site, expressed as a percentage, that will be covered by a building or structure, measured to its outermost projection, after the development is carried out, other than a building or structure, or part of a building or structure, that is— <ol style="list-style-type: none"> in a landscaped or open space area, including, for example, a gazebo or shade structure; or a basement that is completely below ground level and used for car parking; or the eaves of a building; or a sun shade.
Small rigid vehicle (SRV)	Has the meaning given in AS2890.2
Stable	A building or structure used for the lodging and feeding of horses, generally containing stalls. The term does not include: <ol style="list-style-type: none"> unroofed yards or pens; and shade or shelter structures contained within grazing pastures with at least one open side to allow free access to horses.
Standard Unit	Has the meaning given in the Environmental Protection Regulations for the respective animal
State controlled road	A road or land, or part of a road or land, declared under section 24 (of the Transport Infrastructure Act 1994), to be a State-controlled road, and, for chapter 6, part 5, division 2, subdivision 2 (of the Transport Infrastructure Act 1994), see section 53 (of the Transport Infrastructure Act 1994). Note — <i>definition from the Transport Infrastructure Act 1994.</i>
State significant species	Means wildlife species listed in Schedules 2 to 6 inclusive of the Nature Conservation (Wildlife) Regulation 2006.
Storey	storey — <ol style="list-style-type: none"> means a space within a building between 2 floor levels, or a floor level and a ceiling or roof, other than— <ol style="list-style-type: none"> a space containing only a lift shaft, stairway or meter room; or a space containing only a bathroom, shower room, laundry, toilet or other sanitary compartment; or a space containing only a combination of the things stated in subparagraph (i) or (ii); or a basement with a ceiling that is not more than 1m above ground level; and includes— <ol style="list-style-type: none"> a mezzanine; and a roofed structure that is on, or part of, a rooftop, if the structure does not only accommodate building plant and equipment.
Stormwater	Rainfall that runs off roofs, roads and other surfaces and flows into gutters, streams and waterways where it eventually flows into the ocean.

Stormwater quality improvement device	A device or component of a stormwater network used to improve stormwater quality.
Street Landscaping (or street landscape)	The relevant design and standard of landscaping as described in Planning Scheme Policy 2 - Landscape Design .
Streetscape	The collective combination of urban form elements that constitute the view of a street and its public and private domains. These elements include buildings, roads, footpaths, vegetation, open spaces and street furniture.
Structure	Includes a wall or fence and anything fixed to or projecting from a building, wall, fence or other structure. <i>Note - definition from the Building Act 1975.</i>
Suitably qualified person	A person having the necessary qualifications and experience to perform regulatory or professional functions relevant to the function being undertaken. Considerations includes; <ol style="list-style-type: none"> 1. current membership in a professional organisation 2. formal qualifications; and 3. length of experience relevant to the particular function undertaken
Supermarket	A single self-contained retailing outlet with fast service checkout facilities offering groceries and associated goods and services for sale.
Temporary use	temporary use means a use that— <ol style="list-style-type: none"> a. is carried out on a non-permanent basis; and b. does not involve the construction of, or significant changes to, permanent buildings or structures. <i>Note - provisions for temporary use timeframes for defined uses may be provided within section 1.7 Local government administrative matters.</i>
Third party billboard sign	An off-premises advertising device with a total face area of 4m ² or more. The term includes a free standing sign, billboard sign or a sign affixed to a structure.
Total Lease Area (TLA)	The gross floor area for a tenant occupancy and exclusive use on which rent or lease is based, including any basements, mezzanines, or upper floors.
Total Use Area (TUA)	The sum of all the areas (exclusive of all walls and columns) of all storeys of a building which are used or intended for use for a particular purpose, plus any other area of a site which is used, or intended to be used, for the same purpose which are likely to generate car parking demand. The term does not include: <ol style="list-style-type: none"> a. areas (inclusive of all walls and columns) of any lift wells, lift motor rooms, air conditioning and associated mechanical or electrical plant and equipment rooms; b. areas of any staircases/access between levels; c. areas of any public toilets; d. areas of any staff toilets, washrooms, recreation areas and lunchrooms, provided that such areas are not open to persons other than staff; e. areas used for the access, parking and associated manoeuvring of motor vehicles; and f. areas used for pedestrian access to or within the site.
Tourist accommodation site	An area where individual caravan, cabin, tent, recreational vehicle, motor home, camper van or similar structure is or can be erected or placed, and is occupied by a maximum of 8 persons.
Ultimate development	ultimate development , for an area or premises, means the likely extent of development that is anticipated in the area, or on the premises, if the area or

	premises are fully developed.
Urban area	<p>Means—</p> <ol style="list-style-type: none"> 1. an area identified in a gazette notice by the chief executive as an urban area; or 2. if no gazette notice has been published—an area identified as an area intended for an urban purpose, or for an urban purpose in the future, on a map in a planning scheme that— <ol style="list-style-type: none"> a. identifies the area using cadastral boundaries; and b. is used exclusively or mainly to assess development applications. <p><i>Example of a map for paragraph (2) - a zoning map</i></p> <p>Note - For the purpose of Part 3 Strategic Framework, is limited to the areas identified on Strategic Framework Map SFM-01: Communities and Character as an Urban area.</p> <p>Editor's note - The meaning is as given in the Regulation.</p>
Urban footprint	The area identified in the Shaping SEQ South East Queensland Regional Plan 2017 as 'urban footprint'.
Vehicle trips per day (vpd)	The demand unit for the road network that is represented by vehicle trips per day. A vehicle trip comprises the outbound trip from and return trip to the original destination.
Verge	That part of the street or road reserve between the carriageway and the boundary of the adjacent lot or other limit to the road reserve. A verge may accommodate service provider utility infrastructure, footpaths, off- road cycleways, stormwater drainage, utility poles and landscaping.
Vulnerable use	<p>For the purposes of the Overlay Codes and Categories of Assessment - Overlays, means any of the following uses:</p> <ol style="list-style-type: none"> 1. Child care centre; 2. Community residence; 3. Community Care Centre 4. Detention facility; 5. Educational establishment; 6. Emergency services; 7. Hospital; 8. Indoor sport and recreation; 9. Industry activities involving the manufacture or storage of hazardous materials in bulk; 10. Major electricity infrastructure (for the purpose of the Bushfire Hazard Overlay); 11. Multiple dwelling; 12. Nature-based tourism; 13. Non-resident workers accommodation; 14. Outdoor sport and recreation; 15. Place of worship; 16. Relocatable home park; 17. Residential care facility; 18. Retirement facility; 19. Relocatable home park; 20. Rooming accommodation; 21. Shopping centre; 22. Short-term accommodation; 23. Substations (for the purpose of the Bushfire Hazard Overlay); 24. Telecommunication facilities (for the purpose of the Bushfire Hazard Overlay); 25. Tourist attraction; or

	<p>26. Tourist park; 27. Utility installation (for the purpose of the Bushfire Hazard Overlay).</p>
Walkable catchment	<p>The area of land that is within walking distance, equivalent to the distance that can be covered in about 10 minutes comfortable walk time, of a particular location.</p> <p>Note - the walkable catchment for a particular location can be defined according to local circumstances and shown in a planning scheme map (e.g. local plan, overlay).</p> <p><i>In relation to a boundary shown in a planning scheme map, walkable catchment means the land within the relevant boundary in the planning scheme map.</i></p> <p><i>In relation to a particular location where a boundary has not been shown in a planning scheme map, walkable catchment means the land within 800 metres distance along a walkable route from that particular location.</i></p>
Wastewater	<p>Means aqueous waste, and includes contaminated stormwater.</p> <p>Note - definition from the Environmental Protection (Water) Policy 2009, schedule 2.</p>
Wastewater connection area	<p>Means an area serviced by the water distributor-retailer's reticulated sewerage network.</p>
Water catchment	<p>An area of land that drains water to a common point.</p>
Water netserv plan	<p>water netserv plan means a plan adopted by an SEQ service provider, as defined under the South-East Queensland Water (Distribution and Retail Restructuring) Act 2009, under section 99BJ of that Act.</p>
Water sensitive urban design	<p>A holistic design approach to the management of stormwater, incorporating:</p> <ol style="list-style-type: none"> 1. the protection and enhancement of the environmental values of receiving waters; 2. the use of plants as a form of stormwater treatment; 3. water conservation using the reuse of stormwater and the planting of native plants that are water efficient; 4. a multi-disciplinary approach to the design of stormwater management; <p>and</p> <ol style="list-style-type: none"> 5. best practice environmental management.
Working dog	<p>Has the meaning given in the Animal Management (Cats and Dogs) Act 2008.</p>

Schedule 2 Mapping

SC2.1 Map Index

The table(s) below lists any strategic framework, zoning, local plan and overlay maps applicable to the planning scheme area. Maps relevant to other plans have also been included.

Editor's note - Mapping for the LGIP is contained in Schedule 3 of the planning scheme.

Table SC2.1.1 Map Index

Map Number	Map Title	Gazettal Date
Strategic Framework Maps		
SFM-01	Communities and Character	24 February 2023
SFM-02	Growing Economy	24 February 2023
SFM-03	Rural Precinct Plan	24 February 2023
Zone Maps		
	Zone Map - Index	24 February 2023
ZM-01	Zone Map 01	24 February 2023
ZM-02	Zone Map 02	24 February 2023
ZM-03	Zone Map 03	24 February 2023
ZM-04	Zone Map 04	24 February 2023
ZM-05	Zone Map 05	24 February 2023
ZM-06	Zone Map 06	24 February 2023
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ZM-18	Zone Map 18	24 February 2023
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ZM-21	Zone Map 21	24 February 2023
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OM-02	Airport Environs and Defence Land Overlay	24 February 2023
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OM-04-A	Environmental Significance Overlay - Biodiversity	24 February 2023
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OM-04-E	Environmental Significance Overlay - Local Watercourses	24 February 2023
OM-04-F	Environmental Significance Overlay - Vegetation Management Area	24 February 2023
OM-05	Extractive Resources Overlay	24 February 2023

OM-06-A	Flood Hazard Overlay - Hazard Area	24 February 2023
OM-06-B	Flood Hazard Overlay - Category Area	24 February 2023
OM-07-A	Landslide Hazard and Steep Slope Overlay - Steep Slope	24 February 2023
OM-07-B	Landslide Hazard and Steep Slope Overlay - Landslide Hazard Area	24 February 2023
OM-08	Local Heritage Overlay	24 February 2023
OM-09-A	Regional Infrastructure Overlay - Water and Wastewater Infrastructure	24 February 2023
OM-09-B	Regional Infrastructure Overlay - Major Electricity, Roads and Rail Infrastructure	24 February 2023
OM-10-A	Water Resource Catchments Overlay - Catchment Area	24 February 2023
OM-10-B	Water Resource Catchments Overlay - Streams and Dams	24 February 2023
OM-11	Master Plan Areas Overlay	24 February 2023
OM-12	Transport Noise Corridor Overlay	24 February 2023
OM-13	Minimum Lot Size Overlay	24 February 2023
OM-14	Higher Order Roads Overlay	24 February 2023
OM-15	Road Hierarchy Overlay	24 February 2023
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OPM-01	Bromelton State Development Area	24 February 2023
OPM-02	Abandoned Mines and Mining Leases	24 February 2023

SC2.2 Strategic Framework Maps

- SFM-01 Communities and Character
- SFM-02 Growing Economy
- SFM-03 Rural Precinct Plan

SC2.3 Zone Maps

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ZM-75	Zone Map 75

SC2.4 Local Plan Maps

There are no Local Plan Maps

SC2.5 Overlay Maps

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OM-01.2	Agricultural Land Overlay
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OM-02.2	Airport Environs and Defence Land Overlay
OM-02.3	Airport Environs and Defence Land Overlay
OM-02.4	Airport Environs and Defence Land Overlay
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OM-03.4	Bushfire Hazard Overlay
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OM-04-B.3	Environmental Significance Overlay - Local Biodiversity
OM-04-B.4	Environmental Significance Overlay - Local Biodiversity
OM-04-C.1	Environmental Significance Overlay - Priority Species
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OM-04-D.1	Environmental Significance Overlay - Wetlands and Waterways
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OM-04-E.1	Environmental Significance Overlay - Local Watercourses

OM-04-E.2	Environmental Significance Overlay - Local Watercourses
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OM-07-A.2	Landslide Hazard and Steep Slope Overlay - Steep Slope
OM-07-A.3	Landslide Hazard and Steep Slope Overlay - Steep Slope
OM-07-A.4	Landslide Hazard and Steep Slope Overlay - Steep Slope
OM-07-B.1	Landslide Hazard and Steep Slope Overlay - Landslide Hazard Area
OM-07-B.2	Landslide Hazard and Steep Slope Overlay - Landslide Hazard Area
OM-07-B.3	Landslide Hazard and Steep Slope Overlay - Landslide Hazard Area
OM-07-B.4	Landslide Hazard and Steep Slope Overlay - Landslide Hazard Area
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OM-09-A.2	Regional Infrastructure Overlay - Water and Wastewater Infrastructure

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OM-09-B.1	Regional Infrastructure Overlay - Major Electricity, Roads and Rail Infrastructure
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OM-10-B.2	Water Resource Catchments Overlay - Streams and Dams
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OM-13.3	Minimum Lot Size Overlay
OM-13.4	Minimum Lot Size Overlay
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OM-14.2	Higher Order Roads Overlay
OM-14.3	Higher Order Roads Overlay
OM-14.4	Higher Order Roads Overlay

OM-15.1	Road Hierarchy Overlay
OM-15.2	Road Hierarchy Overlay
OM-15.3	Road Hierarchy Overlay
OM-15.4	Road Hierarchy Overlay

SC2.6 Other Plans Maps

- OPM-01 Bromelton State Development Area

- OPM-02.1 Abandoned Mines and Mining Leases
- OPM-02.2 Abandoned Mines and Mining Leases

Schedule 3 Local Government Infrastructure Plan Mapping and Supporting Material

The Local Government Infrastructure Plan for the region was prepared under section 21 of the Planning Act 2016, which involved a separate plan making and community consultation process. The current LGIP has had effect from 20 June 2018 and forms part of the Planning Scheme as Part 4 and associated schedules upon commencement 20 March 2020.

Local government infrastructure plan maps

1. Local Government Infrastructure Plan Map PIA Key & PIA 1 to 5 Priority infrastructure area and projection areas map
2. Local Government Infrastructure Plan Map 1 to 10 Developable area map
3. Local Government Infrastructure Plan Map PFTI S-1 to S-4 Plan for trunk stormwater infrastructure
4. Local Government Infrastructure Plan Map PFTI T-1 to T-7 Plan for trunk transport infrastructure
5. Local Government Infrastructure Plan Map PFTI P-1 to P-8 Plan for trunk parks and land for community facilities infrastructure

Schedule 4 Notations Required Under the Planning Act 2016

SC4.1 Notation of Decisions Affecting the Planning Scheme under section 89 of the Act

Table 4.1.1—Notation of Decisions under section 89 of the Act

Date of decision	Location (real property description)	Decision type	File/Map reference

Editor's note - This schedule must include details of:

- development approvals that are substantially inconsistent with the planning scheme
- variation approvals decisions agreeing to a superseded planning scheme request to apply to a superseded scheme to a particular development.

SC4.2 Notation of Resolution(s) under Chapter 4, Part 2, Division 2 of the Act

Table 4.2.1 —Notation of Resolutions under Chapter 4, Part 2, Division 2 of the Act

Date of resolution	Date of effect	Details	Contact information

Editor's note - This schedule must provide information about the adopted infrastructure charges for the local government and where a copy of the adopted charges can be obtained, including a link to the local government website where a copy of the infrastructure charges resolution can be viewed or downloaded in accordance with the requirements of section 117(1)(a) of the Act.

SC4.3 Notation of Registration for Urban Encroachment Provisions under section 267 of the Act

Table 4.3.1—Notation of registrations made under section 267 of the Act

Date of registration of the premises	Location of premises (real property description)	Details of registration	Term of registration

Schedule 5 Designation of Premises for Development

Table SC5.1— Designation of premises for development of infrastructure under section 42 of the Act

Date the Designation, amendment, extension or repeal takes effect	Location of premises (real property description)	Street Address (including the relevant local government area if the notation is outside the planning scheme area)	Type of Infrastructure / Project Description
13/11/2009	Lot 5 SP253260 Lot 132 SP253260	168 MacDonnell Road, TAMBORINE MOUNTAIN	<p><i>Project Description</i> Community Purposes undertaken at the site will be provided through:</p> <ul style="list-style-type: none"> • evidence based live-in treatment programs; • group and individual counselling and support for residents and visiting clients; • abstinence-based programs with intensive education, counselling, and spiritual support; • provision of holistic health care needs for residents; • administrative, storage and maintenance facilities as necessary to support the delivery of those purposes; <p><i>Infrastructure Type</i> (h) hospitals and associated institutions.</p>
11/03/2011	Lot 184 WD 5449	4-10 Michaelina Drive, BEAUDESERT	<p><i>Project Description</i> Beaudesert Early Years Centre</p> <p><i>Infrastructure Type</i> (4) community and cultural facilities, including where a service under the Child Care Act 2002 is conducted; (6) educational facilities; (15) storage and works depots, including admin facilities associated with provision or maintenance of the CID in this part.</p>
17/02/2012	Lot 3 SP 257559	122-126 Main Western Road, TAMBORINE MOUNTAIN	<p><i>Project Description</i> Mount Tamborine Fire and Rescue Station</p> <p><i>Infrastructure Type</i> (7) emergency services facilities; (15) storage and works depots, including admin facilities associated with provision or maintenance of the CID in this part.</p>
18/01/2013	Lot 69 SP 205311	1323 Ipswich Boonah Road, PEAK CROSSING	<p><i>Project Description</i> Peak Crossing State School and Peak Crossing Kindergarten</p> <p><i>Infrastructure Type</i> (4) community & amp; cultural facilities, including where a service under the Child Care Act 2002 is conducted;</p>

			(6) educational facilities; (15) storage and works depots, including admin facilities associated with provision or maintenance of the CID in this part.
16/08/2013	Lot 154 SP 161705	Mount Lindesay Highway, BEAUDESERT	<i>Project Description</i> Beaudesert State High School <i>Infrastructure Type</i> (4) community & amp; cultural facilities, including where a service under the Child Care Act 2002 is conducted; (6) educational facilities; (15) storage and works depots, including admin facilities associated with provision or maintenance of the CID in this part.
17/04/2015	Lot 239 SP 150718	Macquarie Street and Dover Street, BOONAH	<i>Project Description</i> Boonah State High School <i>Infrastructure Type</i> (4) community & cultural facilities, including where a service under the Child Care Act 2002 is conducted; (6) educational facilities; (8) facilities for parks and recreation; (12) sporting facilities; (15) storage and works depots, including admin facilities assoc. with provision or maintenance of the CID in this part.
15 April 2016	Lot 1 on RP165525	Dwyer Ridges Road, Mount Alford	<i>Project Description</i> Mount Alford Rural Fire Brigade <i>Infrastructure Type</i> (7) emergency services facilities; (15) storage and works depots and similar facilities, including administrative facilities associated with the provision or maintenance of the community infrastructure mentioned in this part.
4 May 2018	Lot 2 SP263734	6 Running Creek Rd, Rathdowney	<i>Project Description</i> Rathdowney Auxiliary Fire and Rescue State and Rural Fire Service Facility and associated facilities <i>Infrastructure Type</i> (7) emergency services facilities; (15) storage and works depots and similar facilities, including administrative facilities associated with the provision of maintenance of the community infrastructure mentioned in this part; (16) any other facility not mentioned in this part that is intended primarily to accommodate government functions.
21 November 2019	Lot 154 WD1336	29 Anna Street, Beaudesert	<i>Project Description</i> Beaudesert Police Station <i>Infrastructure Type</i> (emergency services facilities)

Schedule 6 Planning Scheme Policies

SC6.1 Planning Scheme Policy Index

The table below lists all the planning scheme policies applicable to the planning scheme area.

Table 6.1.1 Planning Scheme Policy Index

Policy Number	Policy Title
SC6.2.1	Planning Scheme Policy 1 - Infrastructure Design
SC6.2.2	Planning Scheme Policy 2 - Landscape Design
SC6.2.3	Planning Scheme Policy 3 - Master Planning Requirements
SC6.2.4	Planning Scheme Policy 4 - Bushfire Management Plans
SC6.2.5	Planning Scheme Policy 5 - Ecological Assessments

Sch Planning Scheme Policy 1 - Infrastructure Design 6.2.1



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1.0 Introduction

1.1 Title

This planning scheme policy may be cited as Planning Scheme Policy 1 - Infrastructure Design.

1.2 Purpose of this planning scheme policy

1. The purpose of this planning scheme policy is to ensure that development complies with the local government's standards for the planning, design, location and construction of infrastructure that reflects acceptable standards in engineering, asset management, environmental management and natural resource planning by:
 - a. specifying information requirements;
 - b. specifying standards and guidelines;
 - c. specifying administrative arrangements;
 - d. specifying the circumstances in which Council may accept a security for the completion of work.

1.3 Structure of this planning scheme policy

This planning scheme policy is divided into twelve parts, being:

- a. Part 1 Introduction
- b. Part 2 Preliminary
- c. Part 3 Information Requirements
- d. Part 4 Roads
- e. Part 5 Bridges, Major Culvert Works and Pedestrian Bridges
- f. Part 6 Stormwater
- g. Part 7 Lighting and Services
- h. Part 8 Standards for Park Lands
- i. Part 9 Landscaping for Public Areas
- j. Part 10 As-Constructed Plans
- k. Part 11 Mechanical and Electrical Equipment
- l. Part 12 Bonding and Insurance
- m. Part 13 Standard Drawings.

1.4 Commencement

This planning scheme policy commences on the date of the Scenic Rim Planning Scheme.

1.5 Relationship to the Planning Act 2016

This planning scheme policy is made pursuant to the *Planning Act 2016* (Act).

1.6 Applicability of this planning scheme policy

This planning scheme policy applies to assessable development.

1.7 Relationship to Other Legislation and Standards

This Policy must be read in conjunction with Council's Planning Scheme, statutory requirements including

Council Local Laws, the Act and other references/standards as detailed herein.

1.8 Referenced documents

Any non-local government publication referenced must be sourced directly.

1.9 Terminology

1. For the purposes of Planning Scheme Policy 1 - Infrastructure Design:
 - a. **Policy** refers to Planning Scheme Policy 1 - Infrastructure Design;
2. Terms used in the Policy are defined in **Schedule 1 - Definitions**.
3. **Referenced Standards** are non-Council standards which meet the outcomes of the Policy.
4. **Council Standards** specified in the Policy may include:
 - a. Matters not otherwise referred to in Referenced Standards;
 - b. A variation to the Referenced Standard;
 - c. Limitation to one or more Referenced Standards (where multiple standards may apply).
5. Where there is any conflict between Referenced Standards and Council Standards, then the Council Standards shall apply.

2.0 Preliminary

2.1 Pre-lodgement Meetings

It is strongly recommended that discussions are held with Scenic Rim Regional Council prior to and during the design, concerning design concepts and clarification of specific requirements related to a particular project.

A pre-design site inspection is expected to be undertaken prior to any detailed design work commencing. For Designers, it is recommended that a pre-design site inspection should be held with a representative from Council to discuss specific issues and requirements for the site and surrounds.

2.2 Forms

Relevant development application forms are available from the Department of State Development, Manufacturing, Infrastructure and Planning web site: <https://planning.dsdmip.qld.gov.au/>

It is recommended that Council's Application Checklist - Engineering Documentation also be completed and submitted.

If you have specific queries about a particular question or matter, it is recommended that you discuss the query initially with Council's Customer Service Section.

2.3 Fees

Fees associated with applications for Operational Works are listed in Council's Fees and Charges Schedule located on Council's website: <http://www.scenicrim.qld.gov.au/>

2.4 Development Construction Guidelines and Public Domain Guidelines

Council's *Development Construction Guidelines* (DCG) has been prepared to assist and guide developers through the application and construction process.

Where development is proposed in the public domain in the town centres of:

- Beaudesert;
- Boonah;
- Canungra; and
- Tamborine Mountain;

reference should also be made to Council's *Design and Construction Guidelines and Scenic Rim Public Domain Guidelines* for site specific guides to public space design principles.

Copies of the DCG and the Public Domain Guidelines are available from Council's website:
<http://www.scenicrim.qld.gov.au/>

3.0 General Matters

3.1 Contents

Section	Title
3.1	Contents
3.2	Purpose
3.3	General Matters
3.4	Referenced Standards

3.2 Purpose

The purpose of this Part is to:

1. ensure that development provides appropriate and sufficient information to allow a development application to be properly and professionally assessed.

3.3 General Matters

1. Any conflicts or departure from the Standard Drawings and the Policy shall be detailed in the application.
2. Where a staged development has been approved by Council, Council may require engineering design and construction to include the whole of the site, or such additional parts of the site as will enable the Council to maintain the works in a satisfactory condition if the balance of the development does not proceed to completion (e.g. temporary end of road turn around and drainage outlets).
3. The development application shall include sufficient information outside the development footprint to verify that any future extension of the proposed works can proceed in accordance with this Policy and without any undue cost to future development.
4. All design drawings and calculations shall be supervised and certified by a Registered Professional Civil Engineer of Queensland (RPEQ (Civil)) before being submitted to Council for examination. The name and RPEQ number of the Engineer must be printed below the signature.

3.3.1 Competency to prepare a report

1. A person preparing a report, a plan or a drawing relating to development must be a suitably qualified person and includes;
 - a. in the case of geotechnical, hydraulic, stormwater infrastructure, civil, structural or electrical engineering issues be a Registered Professional Engineer of Queensland (RPEQ); or
 - b. in the case of non-minor landscaping issues be a Registered Landscape Architect with the Australian Institute of Landscape Architects; or
 - c. in the case of erosion and sediment control plans be a Certified Professional in Erosion and Sediment Control (CPESC) or a RPEQ who has undertaken the Erosion and Sediment Control training provided by the International Erosion Control Association with demonstrated specialist expertise in the relevant subject matter.
2. The report, plan or drawing must include a certification signed by the relevant suitably qualified person that the report, plan or drawing is fit for its intended purpose and can be relied upon by Council for that purpose.

3.3.2 Bill of Quantities and Asset Report

A Bill of Quantities shall be provided at the time of submission of the engineering documentation. The Bill of

Quantities need not include the contract prices. At the completion of the construction, a completed Asset Report which reflects the actual construction costs, constructed volumes, areas and length of items constructed shall be provided to Council.

Editor's Note - This information is required to update Council's Asset Register.

3.4 Referenced Standards

3.4.1 The Standards listed in Table 3.4.1 Reference Standards are the applicable standards for datum to be used for survey and design except where:

1. The Standard is in conflict with a Standard specified in the Policy; or
2. The standard is specifically varied, amended or removed by the standards specified in Policy.

Table 3.4.1 Referenced Standards

Standard	Applicable Sections	Applicable to
Australian Height Datum (AHD)		Vertical datum to be used for survey and design
Map Grid of Australia, 1994 (MGA94)		Horizontal datum to be used for survey and design

4.0 Roads

4.1 Contents

Section	Title
4.1	Contents
4.2	Purpose
4.3	General Matters
4.4	Referenced Standards
4.5	Council Standards (including variations to Referenced Standards)
4.5.1	Street and Road Classifications
4.5.2	Street and Road Geometry
4.5.3	Sight Distances
4.5.4	Vehicle Turning Movements
4.5.5	Turning Area At The End Of A Road (Cul-De-Sac)
4.5.6	Manoeuvring Areas
4.5.7	Cross Section Profiles
4.5.8	Intersection Design
4.5.9	Traffic Islands And Medians
4.5.10	Pavement Design
4.5.11	Sub-Grade Evaluation
4.5.12	Flexible Street Pavements
4.5.13	Concrete Street Pavements
4.5.14	Interlocking Pavers
4.5.15	Minimum Pavement Thickness
4.5.16	Compaction Requirements
4.5.17	Soft Areas In Subgrade
4.5.18	Pavement Wearing Course
4.5.19	Traffic Control Devices
4.5.20	Urban Property Accesses
4.5.21	Rural, Industrial And Commercial Property Accesses
4.5.22	Kerb And Channel
4.5.23	Batters And Retaining Walls
4.5.24	Driveway Access
4.5.25	Roads Construction - General
4.5.26	Filling/Excavation and Road Construction

4.5.27	Traffic Control
4.5.28	Setting Out
4.5.29	Clearing and Grubbing
4.5.30	Clearing of Trees
4.5.31	Earthworks
4.5.32	Dams and Embankments
4.5.33	Pavement Materials
4.5.34	Kerb and Channel Construction
4.5.35	Sub-Soil Drainage
4.5.36	Erosion Control Measures
4.5.37	Road Furniture and Line Marking
4.5.38	Compaction Requirements
4.5.39	Tolerances
4.5.40	Testing
4.6	Standard Drawings

4.2 Purpose

The purpose of this Part is to:

1. develop a road network and road alignments that balances the existing and future requirements;
2. provide a serviceable pavement for the specified lifetime with minimal maintenance;
3. ensure that staged construction methods are planned to meet the immediate, medium term and ultimate pavement and drainage design requirements;
4. provide smooth, safe, trafficable horizontal and vertical alignments, adequate sight distance with consideration being given to road classification requirements, road users and utilities.

4.3 General Matters

The following requirements generally apply to new streets and upgrading of existing streets affected by urban residential, commercial and industrial developments. It also applies to new roads and upgrading of existing roads affected by rural and rural residential developments, as well as rural roads impacted by commercial and industrial developments in rural areas.

4.4 Referenced Standards

4.4.1 The Standards listed in **Table 4.4.1 Reference Standards** are the applicable standards for works on land being existing or future Council land except where:

1. The standard is in conflict with a standards specified in **Section 4.5**; or
2. The standard is varied, amended or removed by the standards specified in **Section 4.5**.

Table 4.4.1 Referenced Standards

Standard	Comments
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Austrroads Guides	Guides produced and published by Austrroads
Next Generation Planning Handbook	Next Generation Planning. A handbook for planners, designers and developers in South East Queensland. First published 2011 by the Council of Mayors (SEQ)
Complete Streets: Guidelines for Urban Street Design	Produced by: Institute of Public Works Engineering Australia Queensland Division Inc (IPWEAQ)
Queensland Streets	The Local Government & Municipal (LGAM) Knowledge Base
Road Planning and Design Manual - 2nd edition	Department of Transport and Main Roads
Guide to Traffic Impact Assessment	Department of Transport and Main Roads
AS 1289.1.2.1-1998 (R2013) Methods of testing soils for engineering purposes - Sampling and preparation of soils - Disturbed samples - Standard method	Australian Standard
AS 1289.2.1.1-2005 (R2016) Methods of testing soils for engineering purposes - Soil moisture content tests - Determination of the moisture content of a soil - Oven drying method (standard method)	Australian Standard
AS 1289.3.1.1-2009/Amdt 1-2015 Methods of testing soils for engineering purposes - Soil classification tests - Determination of the liquid limit of a soil - Four point Casagrande method	Australian Standard
AS 1289.3.1.2-2009 Methods of testing soils for engineering purposes - Soil classification tests - Determination of the liquid limit of a soil - One point Casagrande method (subsidiary method)	Australian Standard
AS 1289.3.2.1-2009 Methods of testing soils for engineering purposes - Soil classification tests - Determination of the plastic limit of a soil - Standard method	Australian Standard
AS 1289.3.3.1-2009 Methods of testing soils for engineering purposes - Soil classification tests - Calculation of the plasticity index of a soil	Australian Standard
AS 1289.3.4.1-2008 Methods of testing soils for engineering purposes - Soil classification tests - Determination of the linear shrinkage of a soil - Standard method	Australian Standard
AS 1289.3.6.1-2009 Methods of testing soils for engineering purposes - Soil classification tests - Determination of the particle size distribution of a soil - Standard method of analysis by sieving	Australian Standard
AS 1289.5.1.1-2003 Methods of testing soils for engineering purposes - Soil compaction and density tests - Determination of	Australian Standard

the dry density/moisture content relation of a soil using standard compactive effort	
AS 1289.5.3.1-2004 (R2016) Methods of testing soils for engineering purposes - Soil compaction and density tests - Determination of the field density of a soil - Sand replacement method using a sand-cone pouring apparatus	Australian Standard
AS 1289.5.4.1-2007 (R2016) Methods of testing soils for engineering purposes - Soil compaction and density tests - Compaction control test - Dry density ratio, moisture variation and moisture ratio	Australian Standard
AS 1289.5.4.2-2007 (R2016) Methods of testing soils for engineering purposes - Soil compaction and density tests - Compaction control test - Assignment of maximum dry density and optimum moisture content values	Australian Standard
AS 1289.5.5.1-1998 (R2016) Methods of testing soils for engineering purposes - Soil compaction and density tests - Determination of the minimum and maximum dry density of a cohesionless material - Standard method	Australian Standard
AS 1289.5.6.1-1998 (R2016) Methods of testing soils for engineering purposes - Soil compaction and density tests - Compaction control test - Density index method for a cohesionless material	Australian Standard
AS 1289.5.8.1-2007 Methods of testing soils for engineering purposes - Soil compaction and density tests - Determination of field density and field moisture content of a soil using a nuclear surface moisture Density gauge - Direct transmission mode	Australian Standard
Q145A - Laboratory compaction to nominated levels of dry density and moisture content	DTMR Materials Testing Manual Edition 4, Amendment 1 March 2016
Q113A - California Bearing Ratio of soil - standard	DTMR Materials Testing Manual Edition 4, Amendment 1 March 2016
Q113C - California Bearing Ratio of soil at nominated levels of dry density and moisture content	DTMR Materials Testing Manual Edition 4, Amendment 1 March 2016
Q114B - Insitu California Bearing Ratio - dynamic cone penetrometer	DTMR Materials Testing Manual Edition 4, Amendment 1 March 2016

4.5 Council Standards (including variations to Referenced Standards)

Editor's Note - includes standards not referred to in Referenced Standards and any variations to those standards

4.5.1 Street And Road Classifications

The street classifications and road classifications referred to within this Policy relate specifically to the design and construction of new or upgraded streets.

- The classification of urban streets shall be in accordance with **Table 4.5.1.1 Urban Street Characteristics**.
- The classification of rural and rural residential roads shall be in accordance with **Table 4.5.1.2 Rural & Rural Residential Road Characteristics**.

Ultimate traffic volumes for street and road classifications and street and road design shall be based upon approved multipliers of existing traffic movements (measured), through traffic, and an estimate of traffic generated by proposed and future development.

Estimated traffic volumes for undeveloped areas shall be based upon the following:

1. Residential allotments - 10 vehicle movements per day per lot;
2. Commercial/Industrial - 45 vehicle movements per day per lot;
3. Rural and Rural Residential allotments - 8 vehicle movements per day per lot.

Where alternative traffic generations assumptions are used in the preparation of a Traffic Impact Study, details of alternatives shall be provided.

Note - Where Council holds traffic count data on relevant roads and streets, this information may be made available to the applicant.

Note - In some instances, additional traffic count data collection will be required on affected roads and streets to ascertain predevelopment traffic volumes and types. This will generally only be required where traffic count data is greater than three years old, or significant development has taken place since traffic count data was last collected. Where traffic volumes and type vary seasonally, data shall be used conservatively and clearly present assumptions.

4.5.1.1 Urban Street Characteristics

The classification, function, width and general composition of streets within any development are detailed in **Table 4.5.1.1 Urban Street Characteristics**. Road reserve widths must be sufficient to accommodate the carriageway, required services with approved clearances, pedestrian and bicycle access, parking, landscaping, drainage and bus routes. Where a development design incorporates Water Sensitive Urban Design (WSUD) principles, the road reserve may need to be increased. Minimum road reserve widths will not be allowed where they compromise the provision and standard of pedestrians, bicycles and buses.

Note - Lesser width industrial road reserve for short industrial cul-de-sacs will be considered by Council upon application, however turning at the cul-de-sac shall not be compromised. Curved road reserve boundaries around cul-de-sacs will be considered by Council upon application, but where they are to be fenced as chords, these should not be less than 10 metres. Where a number of such chords occur adjacent to each other, they should, as far as possible, be practically equal.

Table 4.5.1.1 - Urban Street Characteristics

Street Type	Traffic Volume (AADT)	Carriageway Width	Min. Reserve Width	Min. Verge Width	Parking Provision	Pedestrian/Cycle Provision within Road Reserve	Kerbing
Trunk Collector/ Connector Street (Bus Route, No Lot Access)	>3000	10.00m	20.30m	5.15m	No	1.5m bicycle lane on each side of carriageway & 2.5m shared pathway one	Type B1

						side and 1.5m footpath on opposite side	
Trunk Collector/ Connector Street (Bus Route)	3000 max	11.60m	21.90m	5.15m	2.5m parking lanes both sides	2.5m shared pathway one side and 1.5m footpath on opposite side	Type B1
Access/ Collector Street	1000 max	8.50m	16.80m	4.15m	No	1.5m footpath on lower side of street	Type B1
Access Place	300 max (min length 100m)	6.00m	14.30m	4.15m	No	No	Type B1

Note - Refer to Scenic Rim Regional Council standard drawing R-09 for further details.

4.5.1.2 Rural & Rural Residential Road Characteristics

The classification, function and general composition of roads within any development are detailed in **Table 4.5.1.2 Rural & Rural Residential Road Characteristics**. Road reserve widths must be sufficient to accommodate the carriageway, required services with approved clearances, pedestrian and bicycle access, parking, landscaping, drainage and bus routes. Should the development design incorporate Water Sensitive Urban Design (WSUD) principles the road reserve may need to be increased. Minimum road reserve widths in rural and rural residential developments shall be as detailed in **Table 4.5.1.2 Rural & Rural Residential Road Characteristics**, with the minimum being 20 metres, however additional reserve width is encouraged to facilitate landscaping and pedestrian/bicycle facilities. Minimum road reserve widths will not be allowed where they compromise the provision and standard of pedestrians, bicycles and buses.

Note - Curved road reserve boundaries around cul-de-sacs will be considered by Council, but where they are to be fenced as chords, these should not be less than 10 metres. Where a number of such chords occur adjacent to each other, they should, as far as possible, be practically equal.

Table 4.5.1.2 - Rural & Rural Residential Road Characteristics

Street Type	Traffic Volume (AADT)	Min. Pavement Width	Min. Seal Width	Min. Sealed Shoulder Width
Class 4A - Rural Connector	1000 - 3000	9m	7m	1m
Class 4B - Rural Collector	500 - 1000	8m	7m	0.5m
Class 5A - Rural Access	150 - 500	7m	7m	Unsealed
Class 5B - Rural Access	80 - 150	7m	6m	Unsealed
Class 5C - Rural Access	40 - 80	7m	Unsealed	Unsealed

Class 5D - Rural Access	2 - 80	5.5m	Unsealed	Unsealed
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Notes-

1. Refer to Scenic Rim Regional Council standard drawing R-10 & R-11 for further information.
2. For traffic volumes >3000 vehicles/day cross section requirements shall be in accordance with Department of Transport and Main Roads.

4.5.2 Street And Road Geometry

1. The subdivision shall be designed in accordance with the principles in the Next Generation Planning Handbook and the geometric design shall be in accordance with Austroads requirements. The street geometry shall provide sufficient space such that emergency service vehicles, waste collection vehicles and street-cleaning vehicles can carry out their functions while travelling in a forward-only direction throughout the development.
2. Cul-de-sacs shall be avoided due to the requirement to have permeable networks to distribute traffic more evenly and potentially provide more efficient walking, cycling and public transport. However where they are completely unavoidable, they are to be of bowl geometry. 'T' or 'Y' cul-de-sac heads are not permitted.
3. Staging of works shall not negate this requirement and temporary turning areas need to be established between development stages.
4. Parking, bicycle and bus requirements could potentially impact upon the minimum widths and adequacy for these functions shall be demonstrated.
5. Street design grading shall be extended a minimum of 100 metres beyond the end of the street where such street is to be extended in the future. Where new street meets an existing road or street the designer shall check the grading for a distance of 50 metres to check that the new street match well and that no abrupt change in grade occurs.
6. The geometric design of rural roads, including horizontal and vertical alignments, is to be based on Austroads 'Guide to Road Design, Part 3 - Geometric Road Design', unless otherwise noted within this Policy.
7. Road geometry in rural residential developments shall provide sufficient space such that emergency service vehicles and waste collection vehicles can carry out their functions while travelling in a forward-only direction throughout the development. Significant rural and rural residential developments may require provision for school buses. Roads shall be designed such that these vehicles shall not need to reverse.
8. Staging of works shall not negate the requirement for forward only turning and temporary turning areas shall be established between development stages. This could require the need for temporary table drains around these turning areas.
9. Road design grading shall be extended a minimum of 100 metres beyond the end of the street where such street is to be extended in the future. Where new roads meet existing roads the designer shall check the grading for a distance of 100 metres to check that roads match well and that no abrupt change in grade occurs.
10. Vertical curve design shall comply with Austroads 'Guide to Road Design, Part 3 - Geometric Road Design'. Vertical curves on rural roads shall be designed to provide Stopping Sight Distances for the design speed for the particular road. If the road is on a grade, ensure the stopping sight distance is adjusted before calculating the required "K" value for each vertical curve, as the stopping sight distances used in the tables are calculated on a level grade.
11. Horizontal and vertical geometry shall be co-ordinated for appearance and safety. In principle, co-ordination means that the horizontal and vertical curves should either be completely superimposed or completely separated. The related horizontal and vertical elements should be of similar lengths with the vertical curve contained within the horizontal curve.

4.5.3 Sight Distances

Reference shall be made to the Austroads Guidelines when considering sight distances, particularly at street intersections and on crest vertical curves.

Adequate horizontal and vertical sight distance should be provided for the design speed in accordance with

Austrroads publication 'Guide to Road Design, Part 3 - Geometric Road Design'. The design speed shall be determined using the Austrroads "Operating Speed Model".

Note - Software is available to download from the Queensland Department of Transport and Main Roads to assist with this process and should be provided with the design plans and other calculations.

Landscaping plans shall be prepared with consideration to sight distance requirements, as shall any Estate Signage.

Plans submitted for approval shall show all existing and proposed features in sufficient detail to demonstrate that appropriate sight distances are achieved.

4.5.4 Vehicle Turning Movements

Vehicle turning movements are to be examined for design vehicles and check vehicles in accordance with Austrroads 'Guide to Road Design Part 4: Intersections and crossing - General'.

Street space should be provided such that the design vehicle is able to negotiate a left turn from the left lane without crossing adjacent lanes and without the need to reverse to complete the turning movement. Check vehicles may impinge upon adjacent lanes as they represent infrequent vehicles accessing local streets, such as articulated vehicles delivering building materials in new estates or furniture carrying vehicles.

The intersection design shall be such that 600mm clearance for above ground structures is applied to the total swept path of the design vehicle, and not just to the wheel path. Vehicle accesses and driveways are NOT to be used for turning movements. All roadway and vehicle crossings are desirable to be designed to accommodate the Australian Standard 99th percentile car, but as an absolute minimum the 85th percentile Australian Standard car.

Turning movement plans shall be provided to show turning movements.

4.5.5 Turning Area At The End Of A Road (Cul-De-Sac)

Turning heads at the end of a road are to be circular and:

- i. provide access to a residential use;
- ii. incorporate provision for parking.

Access to adjoining premises does not conflict with a parking area provided at the end or on the verge of a cul-de-sac. The maximum longitudinal grade at the head of a cul-de-sac is 5 percent.

4.5.6 Manoeuvring Areas

Manoeuvring for waste collection vehicles is designed so that:

- no more than one reversing movement is required for access to bin and skip collection areas;
- where waste collection vehicles are required to enter a site, the waste collection vehicle is able to leave the site in a forward gear;
- waste collection vehicle turning radius - kerb to kerb 10.8m;
- waste collection vehicle turning radius - wall to wall 11.5m.

Where development is incomplete (such as a road that ends at a stage boundary) but is to be extended in the future, temporary manoeuvring areas are constructed:

- in the form of a gravel turning area.

Where a turning area is to be outside the road reserve, an easement in favour of Council is provided which:

- extends over the full extent of the turning area that is outside the road reserve;
- is for vehicular access purposes and is otherwise on terms satisfactory to Council.

The manoeuvring area has a maximum gradient suitable for waste collection vehicles.

The manoeuvring area has a minimum vertical distance of:

- 3.5 metres for a SRV;
- 4.5 metres for a HRV.

4.5.7 Cross Section Profiles

Cross-sections shall accord with street carriageway and road reserve widths as per sections 4.5.1.1 and 4.5.1.2. Typical cross-sections should be included in the documentation and should nominate:

- Type of kerb and channel
- Pavement construction including material type and depth
- Surface details
- Subsoil drainage, if required
- Typical footpath offsets
- Typical service corridors
- Typical landscaping corridors
- Crossfall.

Should design speeds require super-elevation of horizontal curves, design of crossfall shall be based on the current Austroads design manual for urban roads.

Verge crossfalls between footpath and back of kerb shall be 2%, and shall extend into properties at the same grade for a nominal distance of 500 mm. Should steeper verges be proposed, the Designer must demonstrate that car access can be provided to effected allotments.

Wherever new kerb and channel or footpath is to be constructed adjacent to existing roadways and/or wherever excessive crossfalls occur on either the road pavement or nature strip, all vehicle crossings to allotments shall be designed using standard car templates to ensure that car access can be provided.

Grading of residential allotments to a distance of 6m back from the property boundary will be required in steeper locations as this will then set the RL of the Garage or carport of any future house to be built on the 6m front boundary offset.

Whenever it is impractical to provide batters flatter than the maximum slopes specified, development shall provide special treatment such as retaining walls within the property and in areas prone to erosion, erosion control measures shall be used such as concrete, asphalt, diversion drains etc.

Street designs shall be such so as to avoid filling on the low side of the street, unless demonstrated to be impractical.

There shall be two lanes of traffic on rural and rural residential developments.

Cross section design should not be terminated at the property boundaries but should be extended sufficiently to determine cut and fill requirements and to show such on plans.

Should crossfalls of greater than 6% at intersections or horizontal curves be proposed, approval should be sought from Council's engineering department.

Batter slopes shall be as is appropriate for the predominant use of the locality and shall be designed with consideration of clear zones as defined in Austroads Guidelines.

Whenever it is impractical to provide batters flatter than the maximum slopes specified, barriers may be required.

4.5.8 Intersection Design

4.5.8.1 General

Intersections are to be designed and constructed such that they function in a safe, convenient and appropriate manner for the type of street and development, and shall be designed in accordance with Austroads 'Guide to Traffic Management Part 6: Intersections, Interchanges and Crossings', 'Guide to Road Design Part 4: Intersections and Crossings - General', 'Guide to Road Design Part 4A: Intersections - Unsignalised and Signalised' and 'Guide to Road Design Part 4B: Roundabouts'.

4.5.8.2 Special Considerations

For intersections where the proportion of over-dimension or large combination vehicles is higher than the normal percentage in the traffic stream the intersection requirements should be more significant. The Traffic Impact Assessment should address this issue and make recommendations regarding these intersections.

4.5.8.3 Splays

Splays of suitable dimensions shall be provided at all corners of all intersections.

At intersections involving at least one collector road (or higher classification) the minimum splay at the intersecting roads shall be 5 x 5 metre. Otherwise, at intersecting roads of lesser classification the minimum splay to be provided shall be 3 x 3 metre.

Notwithstanding the above minimum, larger splays will be required where engineering assessment indicates a need commensurate with traffic safety and the provision of service corridors and trunk drainage.

4.5.8.4 Kerb Returns

At intersections, the minimum kerb return or edge of seal radius shall be as follows:

- Residential areas 7.5 m
- Industrial / Commercial 12.0 m
- Rural Residential areas 7.5 m
- Rural areas 12.0 m.

Further to this, kerb radii shall be designed based upon turning movement requirements.

4.5.9 Traffic Islands And Medians

Medians and traffic islands are designed in accordance with Austroads and the Department of Transport and Main Roads - Road Planning and Design Manual.

Medians are cast in situ. Precast islands are not permitted unless otherwise approved by Council.

Medians and traffic islands are indicated by conspicuous raised kerbs, pavement markings or flush treatment as detailed in the Queensland Government's Manual of Uniform Traffic Control Devices (Queensland) (MUTCD) and are classified as follows:

- reflectorise (or directional) islands;
- roundabouts;
- median islands;
- medians;
- separators;
- Pedestrian refuge islands.

A median is not less than 1.2 metres wide unless otherwise approved by the local government.

Raised kerbed traffic islands less than 12.0m² or less than 2 metres wide between kerb faces are:

- constructed of concrete;
- designed for occasional heavy vehicle wheel loadings;
- where constructed of concrete, are a minimum of 100mm thick reinforced concrete with SL72 mesh on a firm sand bedding
- Constructed directly on top of the existing pavement and connected by dowels.

Raised kerbed medians and raised kerbed traffic islands greater than 12.0m² or wider than 2 metres:

- are excavated in the road pavement to subgrade level;
- are landscaped:
 - i. with grass; or
 - ii. where landscaping other than grass has been approved by the local government, incorporate a 500mm wide reinforced concrete strip as a working area for garden maintenance in accordance with standard drawing IPWEAQ SEQ R-140 and IPWEAQ SEQ R-142;
- include water supply conduits and services every 80 metres with a minimum of one service per median or traffic island;
- include an approved conduit for an electricity service to a median or traffic island that is landscaped in a location that allows ease of connection of a future electricity service.

Where the slope across a median or traffic island is greater than 1 in 4, the median or traffic island is surfaced with concrete or another treatment approved by the local government.

Where a surface treatment other than concrete has been provided for a median or traffic island, sub-soil drainage is installed in the median or traffic island directly behind kerbs in accordance with standard drawing IPWEAQ SEQ R-140 and IPWEAQ SEQ R-142.

Water and electricity services are provided to a median or traffic island which has been landscaped.

4.5.10 Pavement Design

The minimum depth of flexible or rigid pavement for the proposed pavement and proposed pavement materials shall be determined by design in accordance with Austroads 'Guide to Pavement Technology Parts 1-10', with the pavement design submitted to Council's Infrastructure Services Department for consideration. Samples and/or results of geotechnical testing and the source of the pavement material shall also be provided.

4.5.10.1 Sub-Grade Evaluation

Pavement design shall be based on the results of sub-grade analysis, including testing for soaked Californian Bearing Ratio (CBR), carried out by a NATA registered testing laboratory.

Sub-grade soil samples shall be taken at maximum intervals of 200 metres, in the bowls of Cul-de-sacs, at all intersections and at all obvious locations where existing sub-grade material changes suddenly. Core samples shall be bored to a minimum depth of 600 mm below final road sub-grade level. The soil sample used for laboratory testing shall be taken from the core at sub-grade level. Full details of sub-grade test results and core samples shall be submitted to Council with the detailed design plans.

The sub-grade inspection must include:

- the checking of the service conduit locations against the markers, if the kerb and channel is in place;
- the determination of the location of the mitre drains and the side drains;
- the proof rolling of the bottom of the box after compaction;
- the checking of the box depths;
- the checking of the sub-grade levels and the crossfalls;
- the checking of all related works.

4.5.10.2 Flexible Street Pavements

Flexible street pavement designs shall be in accordance with the Austroads 'Guide to Pavement Technology Part 2: Pavement Structural Design'.

Pavement design shall be carried out using equivalent standard axle loadings based on an average traffic generation rate of 6 vehicles per day per residential lot and a 20 year design life for residential and commercial streets. Pavement design for industrial streets shall be based on an average traffic generation rate of 45 vehicles per day per industrial lot and a 40 year design life.

For rural and rural residential roads, pavement design shall be carried out using equivalent standard axle loadings based on an average traffic generation rate of 8 vehicles per day.

4.5.10.3 Concrete Street Pavements

Concrete street pavement designs shall be based on Austroads 'Guide to Pavement Technology Part 2: Pavement Structural Design', with a minimum 40 year design life.

4.5.10.4 Interlocking Pavers

Due to safety, operational and maintenance issues interlocking block street pavements shall not be used. Alternatives such as stamped and coloured asphalt will be considered.

4.5.10.5 Minimum Pavement Thickness

Notwithstanding any of the above requirements, the pavement thickness, including the thickness of surfacing shall not be less than the amount specified in the Table 4.1.18 for streets in which kerb and channel is to be constructed, 200mm for unkerbed roads, and 150mm for carparks. The sub-base layer shall extend a minimum of 300mm past the rear face of any kerb. These minimums do not apply to roads serving industrial or commercial areas as pavement designs for these areas are to be higher than these minimums.

Table 4.5.10.5 - Minimum Total Pavement Thickness

Road Classification	Min. Total Pavement (mm)	Min. Base Course (mm) (min CBR)	Min. Subbase Course (mm) (min CBR)

Roads < 10⁶ cum. ESA	200	100 (CBR 80)	100 (CBR 45)
Roads > 10⁶ cum. ESA	250	125(CBR 80)	125 (CBR 45)

The pavement thicknesses shall be subject to confirmation by Council, following site inspection and further testing of the subgrade prior to placement of pavement material. Local or general variation of the pavement thickness will be dependent upon the actual subgrade conditions encountered.

4.5.10.6 Compaction Requirements

Depending on traffic volumes and actual pavement design, compaction will be in accordance with Transport and Main Roads Standard Specifications. Compaction testing of base and sub-base material must be carried out by a NATA approved laboratory. Copies of all geotechnical results are to be submitted to Council.

Compaction testing and proof-rolling shall be undertaken on the same day.

Sub-Grade

The street subgrade shall be compacted in accordance with Transport and Main Roads Standard Specification MRTS04, with all building sites compacted to 95% standard compaction, or in accordance with the Construction Specification and/or AS 3798.

Sub-Base

The street sub-base shall be compacted in accordance with Transport and Main Roads Standard Specification MRTS05. The number of tests to be undertaken shall as specified in Table 4.5.16.

Base

The street base shall be compacted in accordance with Transport and Main Roads Standard Specification MRTS05. However the value shown for type 2 materials in Table 8.2.4.1 - Maximum Degree of Saturation (DOS) of MRTS05 can be increased from 65% to 70%. The number of tests to be undertaken shall as specified in Table 4.5.16. Tests shall be taken on alternate sides of the road and be evenly spaced.

Table 4.5.10.6 Location And Number Of Compaction Tests

Location	All Roads
Cul-de-sacs	3
Intersections	2
Straights	1 per 500 m ²

Proof-rolling

Proof rolling of the subgrade, subgrade replacement (if required), sub-base and base shall be undertaken in accordance with AS 3798. The subgrade shall not deflect more than 2mm vertically within 300mm of the test roller in isolated locations. If deflection of the subgrade is found in more than 20% of the project area then the total area shall be reworked. There must be no visible deformation or cracking of the pavement during a proof roll. Areas that fail a proof roll test are to be rectified. Adequate notice must be given to Council's representatives for attendance of proof-rolling inspections. Failed proof roll tests require additional inspection and appropriate notice should be given.

4.5.10.7 Soft Areas In Subgrade

Where unsuitable material exists or develops during construction, it must be rectified to the satisfaction of the Council. Possible treatment methods include cement and/or lime stabilisation, replacement of the underlying material with pavement, the use of geotextiles and/or the lowering of sub-surface drainage to below the level of the area to be rectified. Rectified subgrades must achieve the required levels of compaction as specified above.

As Constructed drawings or quality documentation must show the extent of all reworked soft areas and any form of treatment taken.

4.5.10.8 Pavement Wearing Course

Pavements must be proof rolled and density tested, immediately prior to priming. The frequency of density tests shall be in accordance with AS 3798 and AS 1289 Geotechnical Testing or as otherwise specified by Council.

Pavements must be trimmed to shape, swept and have a surface consistency suitable for priming. Adequate protection shall be provided for signs, concrete edgings, and traffic control devices to prevent over-spray during priming or tack coating.

The wearing surface for all urban streets shall be a minimum of 35mm ACM10 Asphalt (40mm for cul-de-sac heads), with a binder suitable for the traffic environment, and be in accordance with Transport and Main Roads Technical Specification MRTS30. The surface of the final wearing course shall be between 5-10 mm above the concrete edging and detailed on the construction plans for each edging type. The wearing course shall be flush with the lip of the kerb and channel at all footpath kerb crossings (to eliminate any trip hazard).

All new and upgraded roads, including widened roads, that are located in or adjacent to commercial or industrial developments shall be sealed with AC10M Asphalt in accordance with Transport and Main Roads Technical Specification MRTS30. The asphalt is to have a binder suitable for the traffic environment and be of suitable thickness for the expected traffic loading, with the minimum thickness to be 40mm.

All new and upgraded roads, including widened roads, which are located in rural areas, are to be spray sealed. The seal is to be designed in accordance with the 'Austroads Technical Report AP-T68/06: Update of the Austroads Sprayed Seal Design Method'. The seal is to be designed by a person who has undertaken the required official training on the method, and is to be certified by an RPEQ.

Where a dispute arises concerning the finished surface texture or construction methods, wearing course core samples and compaction testing will be required. The person who benefits from the development shall, prior to construction, specify the hotmix design including aggregate size and any additives.

Where road and streets under this section are subject to turning movements that will cause deformation to the wearing surface, deeper asphalt wearing course or structural asphalt Base layer shall be provided.

Where road under this section are subject to turning movements that will cause stone loss from a sprayed seal, or large numbers of heavy vehicles, an asphalt wearing course or asphalt base layer shall be provided.

4.5.11 Traffic Control Devices

Traffic control devices shall be considered in accordance with MUTCD.

4.5.11.1 Signposting And Pavement Marking

Signposting and pavement marking should generally be provided to roads, intersections, traffic control devices, cycleways and carparks in accordance with MUTCD.

4.5.11.2 Road Side Barriers

Where there is a warrant (e.g. an identified hazard in the clear zone) a barrier is to be provided in accordance with Transport and Main Roads specifications, where shown on the approved engineering plan.

4.5.12 Urban Property Accesses

This section applies to urban areas regardless of whether there is kerb and channel.

Driveways and direct vehicle access to trunk collector streets should be designed to allow forward entry and exit from properties.

The maximum number of vehicle crossings to residential properties is one (1) crossing. Crossing shall be constructed in accordance with the requirements of Standard Drawing Numbers R-05 to R-08.

Where any crossing exceeds 3.5 metres width, the maximum width of that crossing is to be 6.0 metres. Crossings to adjacent properties shall be either fully combined, and of maximum width of 6.0 metres, or else have a minimum separation of 9 metres.

Vehicle crossings to residential corner allotments are to be located a minimum of 6 metres from the intersection of road reserves and 2 metres clear of pedestrian kerb crossings.

Editor's Note - An Application for Property Access Approval is required to be submitted for each new property access. Property Access Approval is required to ensure that the access meets the following conditions:

1. The access is to be located in a position which can achieve the appropriate safe sight distance for the surrounding speed environment.
2. The construction standard of the access is to comply with Council's relevant standard drawings.
3. If a piped access is required, the pipe size is to be determined by Council after the initial site inspection. The minimum size required is 375Ø.
4. Guide posts must be installed on all rural piped accesses.
5. If the access is off of a sealed road, the access requires a 2 coat spray seal.

4.5.13 Rural, Industrial And Commercial Property Accesses

Roads should be located and designed such that vehicular access can be readily obtained at every allotment of a subdivision. Where the natural surface slopes steeply to or from the road, the access to each lot should be given special consideration. The locating of an access is to be avoided if effect to the vertical alignment of the road will occur.

All rural vehicle access crossings shall be designed to be in accordance with Council's Standard Drawing R-08 & R-09.

Culverts shall be designed with the following hydraulic capacity:

- 63.21% AEP capacity before property culvert overtops;
- 1.98% AEP capacity results in overtopping of maximum depth of 300mm; and
- No water shall encroach on edge of shoulder on sealed roads, or edge of gravel on gravel roads.

Industrial and commercial developments located in areas without kerb and channel shall comply with or exceed the guidelines presented in Austroads publication 'Guide to Road Design Part 4A: Unsignalised and Signalised Intersections' with the minimum requirement being a BAL and BAR.

Rural vehicle crossings shall be upgraded to meet current standards whenever rural land is subdivided or where a planning permit relates to boundary realignment.

Editor's Note - An Application for Property Access Approval is required to be submitted for each new or existing property access. Property Access Approval is required to ensure that the access meets the following conditions:

1. The access is to be located in a position which can achieve the appropriate safe sight distance for the surrounding speed environment.
2. The construction standard of the access is to comply with Council's relevant standard drawings.
3. If a piped access is required, the pipe must be a minimum of 375 ϕ to allow for stormwater flow.
4. Guide posts must be installed on all rural piped accesses.
5. If the access is off of a sealed road, the access requires a 2 coat bitumen seal.

4.5.14 Kerb And Channel

All urban streets shall be constructed with an asphalt sealed pavement and provided with cast in-situ concrete kerb and channel on both sides of all streets (unless alternative treatment is integral to a Water Sensitive Urban Design application).

Kerb and channel profiles shall be constructed in accordance with Council's Standard R-04, and with the following:

- A Barrier kerb (Type B2) can be used on the high side of roads with one way crossfall;
- Barrier kerb and channel with a 450mm channel (Type B1) shall be used in the following locations:
 - Adjacent to parks;
 - Industrial Streets (Heavy duty barrier to be used i.e.: standard barrier type with an additional 50mm base thickness);
 - Sub-Arterial and Arterial urban streets;
 - Commercial areas such as Shopping Centres;
 - In locations where higher pedestrian volumes are likely, for greater pedestrian safety;
- Semi-mountable kerb shall be used adjacent to medians and traffic islands;
- Pram ramps as indicated on Standard Drawings R-16A (and R-16B, R-16C, R-16D, R-17 where applicable) shall be provided at all kerb returns, unless approved otherwise;
- Transitions between differing types of kerb and channel shall be either (i) immediately after a kerb crossing, or (ii) over a 3 metre length after a gully pit that has standard/barrier lintel and pit is located at tangent point of kerb return;
- Subsoil drainage shall be required at all roundabouts and medians unless fully hard surface infilled; and
- Subsoil drainage shall be provided below all kerb and channel unless the following conditions apply:
 - Subgrade is rock or sand
 - No underground drainage is available to connect the subsoil drainage to.

Note - Where non-standard kerb profiles are to be matched, consultation with Council's Infrastructure Services Department will be required to determine the most appropriate kerb to be used.

Kerb and channel shall be constructed in accordance with AS2876.

4.5.15 Batters And Retaining Walls

Batters have slopes that are:

- Max 1 in 4 for all batters;
- Max 1 in 10 for batters in public open space;
- Max 1 in 4 for batters to waterways.

Stabilisation by use of vegetation is commenced immediately following completion of bulk filling and excavation to form batters.

Batters are constructed as follows:

- Wholly within the property boundary;
- Have adequate drainage at the toe and top of the batter.

Batters are benched where the proposed freestanding batter height exceeds 2.5 metres.

Where batters are benched:

- The minimum benching width is 1.0 metre;
- The minimum slope is 1 in 100 towards the lower face.

Where excavation and filling shall take place near existing or proposed stormwater, water and sewer assets, these assets shall be protected by maintaining the appropriate pipe cover, easement width, CCTV survey and any other protection required.

Batters are contained so as not to extend into an existing or proposed road, park or conservation areas.

Retaining walls are designed with appropriate provision for sub-soil drainage.

Treated timber sleeper walls (for use within allotments only) are:

- used for landscaping purposes only;
- a maximum of 900mm in height;
- constructed of timber suitably treated to prevent termite infestation;
- Not constructed within 1.5 metres of the property boundary of private property, public open space or road reserve.

Treated timber sleeper walls are not located on boundaries of the premises, or where allotments or transport infrastructure are planned.

A retaining structure:

- does not encroach onto any adjoining property or road reserve;
- up to and including 1.5 metres in height, is allowed on property boundary provided it has adequate drainage;
- exceeding 1.5 metres in height, has a minimum boundary clearance equal to the full height of the retaining structure;
- is designed in accordance with AS 4678: Earth-retaining structures;
- is designed to provide a neat architectural and aesthetic appearance;
- drains storm water discharge to the street or other lawful point of discharge;
- wall adjacent to road reserve boundary is fenced for pedestrian safety;
- wall adjacent to road reserve boundary includes safety measures to protect pedestrians in the road reserve during construction;
- Roadside design is in accordance with Austroads Guide to Road Design.

Retaining walls do not impose any loading on adjoining structures including underground services. Where the area of influence of the load of a proposed retaining structure influences services, the services or the retaining structure, shall be re-located or re-designed so that the wall is supported and does not have an adverse impact on the service.

Retaining walls are not located in a road reserve, however a retaining structure located in a road reserve will be considered upon receipt of a formal submission prior to approval.

Retaining walls:

- in urban and non-urban areas over 1.5 metres in height are stepped a minimum of 1 metre horizontally for every 1.5 metres in height to a maximum height of 3 metres;

Retaining structures are not permitted within detention basins. Retaining structures located within a bioretention basin must not be within a detention basin or other stormwater quantity control measure.

A retaining structure within a bioretention basin shall:

- have a minimum clearance from the boundary of the premises equal to the height of the retaining structure;
- is terraced and landscaped;
- does not exceed an angle of repose of 45 degrees to adjoining buildings;
- has a geotechnical and structural design;
- in industrial and commercial areas, has a maximum height of 5 metres;
- in public open space areas, has a maximum height of 0.6 metres;
- has a design life of not less than 60 years.

The person who has the benefit of the development approval is responsible for the stability of filling and excavation until final acceptance by Council of the works Off-maintenance.

Prior to the acceptance of the works off-maintenance the person who has the benefit of the development approval will replace any section of the filling and excavation that has for any reason become displaced.

Temporary drainage shall be provided to ensure that ponding, flooding, erosion or siltation does not occur on the site or external to the site, as a result of the filling and excavation.

Certification of the retaining structure by a RPEQ (structural) must be submitted to Council at the time of On Maintenance application.

4.5.16 Driveway Access

Driveway access shall be suitable for:

1. the type of vehicles associated with the use;
2. frequency of vehicular use associated with development; and
3. the nature of the development.

Design standard shall be in accordance with **Table 4.5.24**.

Table 4.5.16 Driveway Access Minimum Standards

Use	Standard Drawing	Other Applicable Standards
Residential	R-05 Residential Driveway	
Non-Residential	R-06 Non-Residential Driveway	AS2890 Off-Street Commercial Parking
Rural (Pipe Required)	R-07 Rural Access (Single & Dual) Pipe Required	
Rural (No Pipe Required)	R-08 Rural Access (Single & Dual) No Pipe Required - Invert	

Editor's Note - Approval pursuant to Councils Local Laws is required for a driveway crossover not associated with other roadworks and an Operational Works Permit authorises the driveway crossover.

4.5.17 Roads Construction - General

Sufficient testing shall be undertaken to ensure works are completed to the standards tolerances and finishes outlined in this Policy, including:

- Traffic Control;
- Excavation;
- Road Pavements;
- Subsoil Drainage;
- Stormwater Drainage;
- Sewerage Reticulation;
- Water Reticulation;
- Bitumen Sealing.

4.5.17.1 Subgrade and Pavement Inspections

Mandatory inspections apply at subgrade and each pavement layer. All levels of pavement, subgrade, subgrade replacement, sub-base and base course will be subjected to testing by proof rolling for compaction and by stringing for depth and crossfall. All levels of pavement must be of a compacted state with no movement under load, and clean of debris and organic material. Compaction test results and material quality tests are to be verified by an RPEQ prior to proceeding with any further works.

4.5.17.2 Preseal Inspection

A mandatory inspection applies at the pre-seal stage. This inspection includes audits by Council of:

- subsoil drainage;
- earthworks profiles of table drains, batters, and the services allocation;
- conduit crossings for depth, shape, location and alignment (check also marker locations against service conduits);
- of stormwater drainage affecting roadworks;
- kerb and channel for line and level;
- evidence provided for testing of the base course layer.

For spray sealed surfaces, proposed application rates of prime, and binder and spread rates of pre-coated aggregate shall have been approved prior to the inspection. Where the seal surface is asphalt, proposed application rates of prime and results of mix acceptance tests shall have been approved prior to the inspection. A pavement design and seal design shall be submitted to Council for approval prior to pavement and seal works commencing.

The base course shall not be sealed if any of the above items require rectification work.

4.5.18 Filling/Excavation and Road Construction

4.5.18.1 Operations

The person who benefits from the development shall be responsible for all damage to grass, cultivation, fences, existing services, buildings or stock, by fire, falling timber or other causes arising from its operations. If the person who benefits from the development damages any existing services it shall immediately arrange for the relevant service authority to make good such damage and all costs for this work shall be borne by the person who benefits from the development.

4.5.18.2 Site Disturbance

Soil disturbance associated with filling and excavation is limited to the minimum necessary to perform the required filling and excavation.

A previously undisturbed area of soil is not exposed to erosion where:

- a slope is greater than 1 in 10; or
- A highly erosive or clay-based soil is present.

4.5.18.3 Site Waste Management

Waste water from the washing of tools and painting equipment and the cutting of concrete, masonry, tiles or other products is discharged on the site and over a porous grassed surface or well-drained, loosened soil.

All waste water generated on the site is:

- prevented from flowing off the site and is allowed to infiltrate the soil; or
- filtered through a porous, fine-grained embankment lined with filter cloth before it is allowed to exit the site.

Sand, soil or other material from the site that is deposited on a paved road or within a gutter or a drain is removed:

- immediately, if rain is occurring or is imminent; or
- upon the completion of the day's work, if rain is not occurring or is not imminent.

Where sand, soil or other material from the site is deposited on a paved road or within a gutter or a drain as a result of the filling and excavation on the site, the sand, soil or material is:

- first shoveled, then swept from the gutter, drain or paved surface;
- not washed from the surface unless directed by the local government.

Solid or liquid waste from a concrete truck and equipment is contained on the site.

Cement residue from works associated with filling and excavation, including concreting and the preparation of exposed aggregate concrete surfaces are:

- washed onto a pervious surface such as a grassed or open soil area; or
- contained in a temporary collection trench formed near the concrete surface; or
- Filtered through a fine-grained, porous embankment lined with an appropriate filter cloth.

An erosion and sediment control measure is kept in working order until:

- the disturbed parts of the site have been effectively stabilised;
- a damaged erosion and sediment control measure is repaired as soon as practicable.

All solid waste collected in erosion and sediment control measure is disposed at an approved landfill site.

4.5.18.4 Treatment of Adjoining Properties

Cross-section plans for filling and excavation that show the adjoining property boundaries where filling and excavation are adjacent to existing developments. The effect on the drainage of adjoining properties from any cut and fill operation is considered and designed to ensure that no ponding of water or nuisance stormwater runoff occurs.

4.5.18.5 Protection of Structures

The filling and excavation for the construction of an embankment or for an excavation do not cause movement of,

or undue strain to, any structure.

4.5.18.6 Property Pegs

Survey pegs or survey marks that identify areas:

1. are not to be cleared, excavated or covered by embankments; or
2. where disturbed, displaced, damaged, or covered, are replaced by a licensed surveyor.

4.5.18.7 Dust Control

Adequate precautions shall be taken to effectively minimise any dust related conditions which occur during the construction of the subdivision or development works and which affect the safety or cause environmental nuisance, to the employees and/or occupants of nearby buildings.

4.5.19 Traffic Control

Construction on any existing road reserve, which has a trafficable road, shall satisfy the requirements of MRS02 and MRTS02.

4.5.20 Setting Out

A Qualified Surveyor shall be used for all level and set out control.

4.5.21 Clearing and Grubbing

Clearing and grubbing operations shall comply with the requirements of MRS 11.04 except as noted herein.

The area of road reserve for roadworks and areas of earthworks to allotments shall be cleared of all boulders, deposited rubbish and vegetation within the clear zone. Clearing shall include the removal of all man made obstructions, including fences, buildings, etc.

In environmentally sensitive areas clearing shall be kept to the full width of the earthworks or roadworks, whichever is the greater plus a further 1.0m on each side.

4.5.22 Clearing of Trees

Prior to clearing land associated with filling and excavation, the land is inspected by appropriately qualified persons accredited and licensed under the *Nature Conservation Act 1992* to conduct and/or supervise the preparation and implementation of Wildlife Protection and Management plans and the detection, capture removal and relocation of wildlife from sites proposed to be developed.

4.5.22.1 Trees to be Preserved

- Filling and excavation is undertaken to preserve, without damage, trees and vegetation identified by Wildlife Protection and Management plans;
- Trees and vegetation identified by Council to be of significance are identified, marked and left standing and undamaged;
- Trees and vegetation that form part of a riparian or other buffer zone along rivers, creeks or waterways are clearly identified and preserved;
- The management of trees to be preserved is undertaken in accordance with AS 4970-2009 Protection of Trees on Development Sites.

A 3.0m wide strip clear of all vegetation and accessible by vehicle is to be provided around all boundaries on all proposed Public Open Spaces. All Declared Pests/Plants are to be identified and removed.

Grubbing, or the removal of tree stumps, roots, rocks etc. shall be to a depth of 300mm below the surface of the ground. Grubbing shall be carried out for the full width of the cleared area. All grub holes shall be filled in with good selected material and compacted thoroughly.

4.5.22.2 Damage

Timber shall be prevented from falling onto adjacent properties and any timber falling onto adjacent properties shall be removed. Any fence damaged during the execution of the work shall immediately be repaired .

Work shall be carried out so that underground services are not displaced or disturbed. In the case of any such displacement or damage occurring to such services, the relevant authority shall be contacted and the damage made good.

4.5.23 Earthworks

Earthworks shall be carried out in accordance with Queensland Department of Transport and Main Roads - Standard Specification Roads Manual MRS 11.04 except as varied otherwise herein.

Earthworks shall be taken to include all operations necessary to excavate earth and rock, irrespective of type and subsurface conditions, to construct embankments and allotment filling, including the placing of selected material in connection therewith as specified; to place backfill for structures, and culverts, unless separately specified and designated; to remove and replace unsuitable material; to construct road formation; all shown in the drawings and specified in the specifications and any special provisions.

Any specific reference in MRS 11.04 to an earthworks item or operation for a road shall be deemed to include same works within allotments (e.g. The words "road embankment fill" shall be read as "road or allotment fill").

Note - AS 3798 is a useful reference for earthworks operations and testing. With respect to earthworks operations generally (including allotment filling) Council specification and testing requirements as outlined herein are equivalent to Level 2 as nominated in AS3798. ARRB Sealed Local Roads Manual contains useful technical information and construction tips for general earthworks and road construction.

4.5.24 Dams and Embankments

Embankments, spillways and associated water flow channels are designed and constructed in accordance with the requirements of the Queensland Department of Environment and Heritage and the Queensland Urban Drainage Manual.

Constructed waterways, embankments and associated outlet structures are not constructed within:

- 10 metres of property boundaries; or
- 40 metres of a building.

Maintenance dredging of dams:

- has regard for water quality requirements;
- is conducted in a manner that prevents siltation of any downstream watercourse or property.

Filling of dams:

- Dewatering of dams should be done in the presence of a spotter catcher.
- To ensure the integrity of drainage lines to and from any dam that is to be filled, an alternative drainage path is designed applying the principle of *no worsening* and utilising best practice natural channel design and erosion and sediment control measures to replace the original drainage path prior to the dam being filled.

Organic material

- No tree, log or other organic material is placed in any embankment, scour, hole, dam to be filled or other hollow place where transport infrastructure or allotments are planned.

4.5.25 Pavement Materials

4.5.25.1 Unbound Pavements

As specified in Queensland Department of Transport and Main Roads - Standard Specification Roads Manual MRS 11.05 Unbound Pavements. The Unbound Material type as specified is Type 2 and is per Table 4.5.25.1.

Table 4.5.25.1

Property	Subtype				
CBR (soaked) min	2.1	2.2	2.3	2.4	2.5
	80	60	45	35	15

CBR tests to verify the quality of base and sub base pavement materials shall be in accordance with Main Roads Test Method Q113C. The single point CBR test shall be carried out at OMC and at the relative compaction indicated in the specification (e.g. for base and sub base layers test at 100% RDD (standard compactive effort)).

CBR tests to verify the quality of subgrade replacement material (Type 2.5) shall be in accordance with Main Roads Test Method Q113A (4-5 point test).

A qualified representative of the soil testing company shall be required to attend the subgrade inspection to verify boundaries of material types if materials with similar visual descriptions have substantially different CBR results or properties.

4.5.25.2 Bound Pavements

As specified in Queensland Department of Transport - Standard Specification Roads Manual MRS 11.08 Plant-Mixed Stabilised Pavements.

4.5.25.3 Bituminous Surfacing

All surfacing shall comply with the relevant Main Roads Standard Specifications as listed below:

- MRS 11.11 - Sprayed Bituminous Surfacing
- MRS 11.17 - Bitumen
- MRS 11.18 - Polymer Modified Binder
- MRS 11.19 - Cutter and Flux Oils
- MRS 11.20 - Cutback Bitumen
- MRS 11.21 - Bituminous Emulsion
- MRS 11.22 - Supply of Cover Aggregate
- MRS 11.30 - Dense Graded Asphalt Pavements.

A Seal Design shall be submitted to Council prior to coordinating the pre-seal inspection. The pre-seal inspection shall proceed subject to approval of the wearing course design. Within two weeks of sealing a road, all loose screenings are to be swept from the surface and removed from the site.

Unless approved otherwise by Council, core sampling shall be used for compaction testing and thickness verification of asphalt.

4.5.26 Kerb and Channel Construction

Construction requirements include:

- control joints 5.0 m centres 40 mm deep and 6 mm wide;
- expansion joints not to exceed 20 m spacing and adjoining structures;
- expansion joint material to be 6 mm thick bitumen impregnated fibre board or equivalent;
- kerb to be bedded on 75 mm min compacted Type 2.5 material;
- concrete to be cured for 7 days prior to undertaking adjoining works;
- channels on grades less than 1 % to be water tested for ponding;
- concrete with any faults or chipping will be rejected.
- concrete strength to be 32 mpa

4.5.27 Sub-Soil Drainage

Details and locations of sub-soil drainage shall be in accordance with Council's Standard Drawing.

Construction requirements include:

- sub-soil drainage shall be provided behind the kerb of all roads which incorporate kerb or kerb and channel;
Note - *Some discretion on this requirement may be applied where the kerb level is more than 300 mm above natural surface or where the natural materials are free draining.*
- Mitre drains shall be incorporated as required. Typically mitre drains shall be used where the road centreline is perpendicular (or nearly) to the natural contours;
- Sub-soil drainage lines shall be located below any service or conduit crossing.

4.5.28 Erosion Control Measures

Where stipulated in the development assessment conditions, an Erosion and Sediment Control Management Plan shall be submitted for approval at time of lodgement of the engineering documentation.

Relevant guidelines for this management plan are contained in The Institute of Engineers Australia (Qld) Soil Erosion and Sediment Control Guidelines and shall be in accordance with Best Practice and Sediment Control, International Erosion Control Association, (IECA) Australasian Chapter.

4.5.29 Road Furniture and Line Marking

Road furniture and line marking shall be in accordance with the Queensland Department of Main Roads "Manual of Uniform Traffic Control Devices" volumes 1 and 2 and the Main Roads Standard Specifications MRS 11.14 and 11.15.

4.5.30 Compaction Requirements

The minimum relative compaction values for earthworks and unbound pavement construction are outlined in Table 4.5.38.

Table 4.5.30 Minimum Relative Compaction

Item	Application	Minimum relative compaction %	
		Min. density ratio (Cohesive soils) (see Note 1)	Min. density index (Cohesionless soils) (see Note 2)
1	Ground surface treatment below embankments MRS 11.04 Cl.7		
1a	Ground surface treatment beneath allotment filling	95	65
1b	Ground surface > 300mm below subgrade level of road pavements	95	65
1c	Ground surface < 300mm below subgrade level of road pavements	97	69
2	Filling Operations MRS 11.04 Cl.10		
2a	Residential- allotment fill, house sites	95	65
2b	Commercial- fills to support minor loadings, incl floor loadings of up to 20Kpa and isolated pad or strip footings to 100Kpa	98	70
2c	Road embankment fill > 300mm below subgrade level of road pavements	95	65
2d	Road embankment fill < 300mm below subgrade level of road pavements	97	69
2e	Material in unsealed verges and within medians up to base of topsoil	95	65
2f	Spoil Areas (See Note 2)	95	65
2g	Fill/Backfill Against In-Place Structures MRS 11.04 Cl.13 > 300 mm below subgrade < 300 mm below subgrade	95 97	70 Not Permitted Cl.13.3.1
3.0	Cuttings MRS 11.04 Cl 8.0 Refer also Ground Surface Preparation		
3a	Road Cuttings. Insitu Material to 150 mm below subgrade	97	69
3b	Other cuttings	95	65
4.0	Unbound Pavement Materials MRS 11.05 Cl.8		
4a	Subgrade replacement Type2.5 material	98	NA
4b	Subbase and Base Course Materials	100	NA
5	Bound Pavements MRS 11.07 or MRS 11.08	Project Specified	Project Specified

Notes:

1. All compaction requirements refer to standard compactive effort. See AS 1289.5.1.1
2. Building works on residential allotment fill are assumed to impose loadings not exceeding: 20kPa floor slab; or 100kPa for strip or pad footings. Refer also AS 3798.
3. Building works on commercial allotment fill are subject to assessment of load carrying capacity of the filling. Refer also AS 3798.
4. Spoil areas within developments, which have not been compacted in accordance with the allotment filling

requirements, shall be excluded from building envelopes.

5. Proof rolling is mandatory in road pavement construction to verify compaction.
6. Proof rolling of allotment filling is recommended at ground surface and finished platform levels. The person who benefits from the development to nominate extent of proof rolling (and appropriate loading) in the supplementary specification.

4.5.31 Tolerances

The tolerance limits in Table 4.5.39 shall take precedence over limits specified in the Main Roads Standard Specifications. Where tolerance limits for a work item are not included in Table 4.5.39, the Main Roads tolerances shall apply.

Table 4.5.31 - Tolerance Requirements

Course	Design Level Tolerance	Horizontal Tolerance (defined pts)	Thickness Tolerance	Shape Tolerance	Crossfall Tolerance
General Earthworks	For other than subgrade: + 75 mm in rock otherwise + 40 mm	-50 +250 mm Refer also MRS 11.04 Cl 5.2 Note 4	N/A	N/A	As directed
Batters Excavation	For other than subgrade: + 75 mm in rock otherwise + 40 mm	-50 +250 mm Refer also MRS 11.04 Cl 5.2		+ 300 Refer MRS 11.04 Cl 8.3,10.3.5	+ 1.0 %
Embankment	For other than subgrade: + 75 mm in rock otherwise + 40 mm	-50 +250 mm Refer also MRS 11.04 Cl 5.2		+ 300 Refer MRS 11.04 Cl 10.3.5	+ 1.0 %
Subgrade	+ 10 mm - 40 mm	-50 +250 mm Refer also MRS 11.04 Cl 5.2		25 mm in 3 m max	+ 1.0 %
CBR 15 Material (subgrade replacement)	+ 10 mm - 40 mm	-50 +250 mm Refer also MRS 11.04 Cl 5.2	+ 40 mm - 20 mm	25 mm in 3 m max	+ 1.0 %
Sub-base	+ 15 mm - 15 mm	-50 +250 mm Refer also MRS 11.05 Cl 8.2.4	+ 40 mm - 20 mm	25 mm in 3 m max	+ 1.0 %
Base Note 3	+ 15 mm - 15 mm	-50 +250 mm Refer also MRS 11.05 Cl 8.2.4	+ 20 mm - 15 mm	12 mm in 3 m max	+ 0.5 %
Kerbing	+ 10 mm - 10 mm	+ 20 mm - 20 mm		Match Std Dwgs	
AC Surfacing	+ 10 mm	+ 50 mm	+ 15 mm	5 mm in 3 m	

Note 3	- 5 mm	Refer also MRS 11.09 Cl 8.2.2.2	- 5 mm	max	
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Notes:

1. Level tolerance on inverts of open drains is + 40 mm and within 1 m of the plan location.
2. All embankments, subgrades, benches, berms and drains shall be free draining.
3. For pavements with kerbing, the finished base levels plus design thickness of wearing course must match kerb lip levels + 5 mm.

4.5.32 Testing

Sufficient tests shall be undertaken to ensure the works comply with all the standards and requirements of the specification. Testing shall be undertaken at random test locations within each lot.

Testing of earthworks and road pavements shall be undertaken by a NATA registered testing authority.

Should any inspection or testing indicate the material quality or standard of workmanship does not satisfy specification requirements, the relevant material shall be replaced and the area reworked until further testing indicates satisfactory compliance with specification requirements.

The following test methods in Table 4.5.40 are acceptable to Council. Main Roads Standard Test Methods as nominated in each relevant Main Roads Standard Specification shall be utilised where no other approved test method is listed below.

Table 4.5.32 Test Methods for Earthworks And Pavements

AS 1289.1.2.1-1998	Sampling and preparation of soils — Disturbed samples — Standard method
AS 1289.2.1.1-1992	Soil moisture content tests — Determination of the moisture content of a soil — Oven drying method (standard method)
AS 1289.3.1.1-1995	Soil classification tests — Determination of the liquid limit of a soil — Four point Casagrande method
AS 1289.3.1.2-1995	Soil classification tests — Determination of the liquid limit of a soil — One point Casagrande method (subsidiary method)
AS 1289.3.2.1-1995	Soil classification tests — Determination of the plastic limit of a soil — Standard method
AS 1289.3.3.1-1995	Soil classification tests — Calculation of the plasticity index of a soil
AS 1289.3.4.1-1995	Soil classification tests — Determination of the linear shrinkage of a soil — Standard method
AS 1289.3.6.1-1995	Soil classification tests — Determination of the particle size distribution of a soil — Standard method of analysis by sieving
AS 1289.5.1.1-1993	Soil compaction and density tests — determination of the dry density/moisture content relation of a soil using standard compactive effort
AS 1289.5.3.1-1993	Soil compaction and density tests — Determination of the field density of a soil — Sand replacement method using a sand-cone pouring apparatus
AS 1289.5.4.1-1993	Soil compaction and density tests — Compaction control test — Dry density ratio, moisture variation and moisture ratio
AS 1289.5.4.2-1993	Soil compaction and density tests — Compaction control test — Assignment of maximum dry density and optimum moisture content values

AS 1289.5.5.1-1998	Soil compaction and density tests — Determination of the minimum and maximum dry density of a cohesionless material — Standard method
AS 1289.5.6.1-1998	Soil compaction and density tests — Compaction control test — Density index method for a cohesionless material
AS 1289.5.8.1-1995	Soil compaction and density tests — Determination of field density and field moisture content of a soil using a nuclear surface moisture-density gauge — Direct transmission mode
Q110A - 1996	Dry Density/Moisture Relationship — Standard Compaction
Q110E - 1991	Laboratory Compaction to Nominated Levels of Dry Density and Moisture Content
Q113A - 1993	California Bearing Ratio (Standard compactive effort)
Q113C - 1998	California Bearing Ratio at Nominated Levels of Dry Density and Moisture Content
Q114B - 1978	Insitu California Bearing Ratio (Dynamic Cone Penetrometer)

4.6 Standard Drawings

- 4.6.1** The Standard Drawings listed in **Part 13 Standard Drawings** are the minimum standard of design and construction for this Part.

5.0 Bridges, Major Culvert Works and Pedestrian Bridges

5.1 Contents

Section	Title
5.1	Contents
5.2	Purpose
5.3	General Matters
5.4	Referenced Standards
5.5	Council Standards (including variations to Referenced Standards)
5.5.1	Standards
5.6	Standard Drawings

5.2 Purpose

The purpose of this Part is to:

1. provide a serviceable infrastructure for the specified lifetime with minimal maintenance;
2. provide safe and trafficable bridges for vehicles and pedestrians;
3. ensure design is appropriate for the traffic use and water flows.

5.3 General Matters

Prior to the commencement of the bridge design process, requirements with respect to the design criteria need to be obtained from Council. AS 5100.1-2004 /Amdt 1-2010 Bridge design – scope and general - principles Appendix A lists design criteria which need to be resolved prior to commencing the design process.

5.4 Referenced Standards

5.4.1 The Standards listed in **Table 5.4.1 Reference Standards** are the applicable standards for bridges, major culvert works and pedestrian bridges installed on land being existing or future Council land except where:

1. the standard is in conflict with a standards specified in Section 5.5; or
2. the standard is varied, amended or removed by the standards specified in Section 5.5.

Table 5.4.1 Referenced Standards

Standard
AS 1597.1: Pre-cast reinforced concrete box culverts - Small culverts
AS 1597.2: Pre-cast reinforced concrete box culverts - Large culverts
AS 1720.1: Timber structures-design methods
AS 3660 (Set): Termite management
AS 5100 Set: Bridge design

AS/NZS 3725: Design for installation of buried concrete pipes
AS/NZS 3845: Road safety barrier systems
Department of Transport and Main Roads' standard drawings
AS 1428 (Set): Design for access and mobility
Austroroads (with respect to bicycles)

5.5 Council Standards (including variations to Referenced Standards)

Editor's Note - includes standards not referred to in Referenced Standards and any variations to those standards

5.5.1 Standards

1. All road bridges:
 - a. are concrete structures;
 - b. incorporate minimum 2.5 metre wide paths between handrails and bridge kerbs;
 - c. Service ducts with a minimum depth of 400mm deep and a minimum width of 1200mm.
2. Approach embankments are of sufficient width to accommodate a minimum 2.5 metre wide path fitted with handrails abutting the bridge path.
3. Afflux calculations prove that bridges constructed over waterways result in no worsening of flood levels on properties upstream of the bridge.
4. Copies of all approvals are required from other relevant agencies in relation to bridge construction to be submitted with the engineering design documentation.
5. The following concrete work is coated in an approved non-sacrificial, anti-graffiti protection system:
 - a. abutment and wing walls;
 - b. piers, piles and site caps;
 - c. facings of reinforced soil structures;
 - d. service duct covers;
 - e. barrier walls;
 - f. easily accessible areas.
6. A brass plugs PSM and brass Date-plaque is installed on one of the bridge abutments in a location approved by Council.
7. Terrestrial and aquatic fauna movement solutions are included in all waterway crossings.
8. Pedestrian bridges are designed in accordance with this section and:
 - a. AS 1428 (Set): Design for access and mobility;
 - b. the provisions of Austroroads with respect to bicycles.
9. The minimum clear width for a pedestrian bridge is:
 - a. 2.5 metres; or
 - b. where it is deemed necessary for Council to access the pedestrian bridge with maintenance vehicles, 3.5 metres.
10. A pedestrian bridge that incorporates timber elements:
 - a. incorporates termite management systems;
 - b. is designed:
 - i. to achieve a 50 year design life;
 - ii. in accordance with:
 - A. AS 1720.1: Timber structures-design methods;
 - B. AS 3660 (Set): Termite management.
11. A design report must include:
 - a. horizontal and vertical geometry;
 - b. hydrologic and hydraulic data;
 - c. statements on environmental impact, aesthetics and future maintenance;
 - d. Specification codes and design loads used for loading calculations.

5.6 Standard Drawings

5.6.1 The Standard Drawings listed in **Table 5.6 Standard Drawings** are the minimum standard of design and construction for this Part.

Table 5.6 Standard Drawings

Standard Drawing Number	Name
DTMR 1508	Bridge Barriers — Steel Bridge Connections for Concrete End Posts
DTMR 1509	Bridge Barriers — Steel Bridge Traffic Rail End Post w Beam Connection
DTMR 1510	Bridge Barriers — Steel Bridge Traffic Rail End Post Thrie Beam Connection
DTMR 1511	Bridge Barriers — Bridge Safety Rail
DTMR 1512	Bridge Barriers — Bridge Balustrade

6.0 Stormwater

6.1 Contents

Section	Title
6.1	Contents
6.2	Purpose
6.3	General Matters
6.4	Referenced Standards
6.5	Council Standards (including variations to Referenced Standards)
6.5.1	Stormwater Drainage Design
6.5.2	Stormwater Drainage Construction
6.5.3	Easements — Drainage
6.6	Standard Drawings

6.2 Purpose

The purpose of this Part is to:

1. provide minimum stormwater drainage design parameters, which allow the safe and efficient removal of stormwater from urban and rural living environments.

6.3 General Matters

1. The development provides an appropriate drainage system, with sufficient capacity to pass through the design runoff from all upstream catchments.
2. Easements/reserves dedicated in favour of Scenic Rim Regional Council shall be provided for all drainage paths through the development and for all drainage paths downstream of the development to the legal point of discharge.
3. The proposed drainage system, and earthworks for the development shall be such that the upstream drainage is not adversely affected.
4. Pre-development rates of discharge shall be maintained from the site unless approved otherwise.
5. A conceptual site based stormwater management plan is required for development being a material change of use or a reconfiguring a lot where stormwater quality, frequent flow management or waterway stability infrastructure is being provided.
6. A detailed site based stormwater management plan is required for development being an operational work application where stormwater quality, frequent flow management or waterway stability infrastructure is being provided.

6.4 Referenced Standards

6.4.1 The Standards listed in **Table 6.4.1 Reference Standards** are the applicable standards for

stormwater installed on land being existing or future Council controlled land except where:

1. The standard is in conflict with a standards specified in Section 6.5; or
2. The standard is varied, amended or removed by the standards specified in Section 6.5.

Table 6.4.1 Referenced Standards

Standard	Comments
Queensland Urban Drainage Manual (QUDM)	Available from Queensland Department of Energy and Water Supply
Australian Rainfall and Runoff (ARR) Guideline	See www.arr.org.au
Water Sensitive Urban Design Guidelines	
Water Sensitive Road Design	Cooperative Research Centre For Catchment Hydrology
Australian Runoff Quality: Guide to Water Sensitive Urban Design	See www.engineersaustralia.org.au
Healthy Land and Water Guidelines	Bioretention Technical Design Guidelines - Water by Design Healthy Waterways initiative www.hlw.org.au
AS1141 Methods of sampling and testing aggregates	
AS1254 Unplasticized PVC (uPVC) Pipes and Fittings for Storm and Surface Water Applications	
AS1289 Method of Testing Soils for Engineering Purposes	
AS1303 Steel Reinforcing Bars for Concrete	
AS1379 The specification and Manufacture of Concrete	
AS1597 Small Precast Reinforced - (Part 1) Concrete Box Culverts	
AS1597 Large Precast Reinforced - (Part 2) Concrete Box Culverts	
AS1646 Elastomeric Seals for Waterworks purposes	
AS1650 Hot-dipped Galvanised Coatings on Ferrous Articles	
AS1830 Iron Castings - Grey Cast Iron	
AS2187 Explosives - storage, transport and use	
AS2758 Aggregates and rock for engineering purposes	
AS3600 Concrete Structures	
AS3678 Structural Steel - Hot-rolled Plates, Floor-plates and Slabs	
AS3996 Metal Access Covers, Road Grates and Frames	
AS4058 Precast Concrete Pipes	

AS4139 Fibre Reinforced Concrete Pipes and Fittings	
AS1141 Methods of sampling and testing aggregates	
AS1254 Unplasticized PVC (uPVC) Pipes and Fittings for Storm and Surface Water Applications	
AS1289 Method of Testing Soils for Engineering Purposes	
AS1303 Steel Reinforcing Bars for Concrete	
AS1379 The specification and Manufacture of Concrete	

6.5 Council Standards (including variations to Referenced Standards)

Editor's Note - includes standards not referred to in Referenced Standards and any variations to those standards

6.5.1 Stormwater Drainage Design

6.5.1.1 Standards

The stormwater network shall be planned and designed in accordance with the Queensland Urban Drainage Manual and the Australian Rainfall and Runoff (ARR).

Stormwater quantity infrastructure shall be provided to convey stormwater runoff from the development site to a lawful point of discharge in accordance with the Queensland Urban Drainage Manual.

The QUDM partners recognise that the Manual is not a stand-alone planning and design guideline for stormwater management. It must be used in coordination with other recognised manuals covering topics such as:

1. Water Sensitive Urban Design
2. Water Sensitive Road Design
3. Natural Channel Design
4. Waterway management including fauna passage
5. Erosion & Sediment Control
6. Bridge and culvert design manuals
7. Australian Rainfall and Runoff (ARR)
8. Australian Runoff Quality (ARQ)
9. Various Australian Standards on product manufacture and installation.

6.5.1.2 Stormwater Network

The stormwater network comprises a minor and major drainage system. Both drainage systems need to be planned, designed and constructed as one integrated system.

1. The **minor drainage system** fully contains and conveys relatively minor and frequent stormwater flow to prevent nuisance from stormwater runoff on-site as well as offsite. Infrastructure items including, but not limited to:
 - a. inlets;
 - b. underground drainage;
 - c. junction pits;

- d. access chambers;
 - e. outlets;
 - f. field or kerb inlets installed to collect surface runoff from within allotments as well as the roof water provision for buildings;
 - g. cross drainage under minor roads such as low flow pipes or box culverts installed under floodways;
 - h. Low flow pipes installed under drainage reserves or park areas.
2. The **major drainage system** conveys a major storm event beyond the capacity of the minor drainage system. Both stormwater quantity and quality infrastructure items including, but not limited to:
- a. open space channels, road reserves, grassed or vegetated channels, pavement expanses and other flow paths that can act as overland flow paths in excess of the capacity of the major drainage system;
 - b. culverts and bridges;
 - c. natural or constructed waterways;
 - d. detention or bioretention basins;
 - e. underground drainage;
 - f. other major water bodies.

6.5.1.3 General Design Criteria

1. The drainage design shall involve the improvement of the effectiveness of natural systems rather than replacing, upgrading or ignoring them.
2. The impact of development, and particularly urban development, on flow regimes, erosion, silting and flooding is to be controlled by adopting stormwater management techniques that maintain the function of natural drainage systems as far as possible.
3. All development shall discharge to a legal point of discharge in accordance with the Queensland Urban Drainage Manual.
4. Where the lawful point of discharge is to a park, the receiving waterway shall be an appropriately designed, naturalised and constructed within an existing channel or waterway. Any works undertaken within the park shall ensure that the park function is not degraded and the written permission of the asset owner is obtained prior to application being submitted to Council.
5. A lawful point of discharge is established for infill (brown field) development where the site slopes downward away from the road reserve and no inter-allotment drainage system exists. If the drainage system passes through a private property, a letter of consent from the owner(s) of downstream property(ies) must be submitted as a part of an approval process for the development application. Easements will be required over any infrastructure and flow paths through downstream private properties.
6. Development must achieve the principle of "*no worsening*", as per the Queensland Urban Drainage Manual and the provisions of this planning scheme policy. In achieving the principle of no worsening, development:
 - a. does not result in a detrimental impact on the flooding, or flood risk of any area;
 - b. does not result in adverse impacts of any other property in terms of changes in peak discharge, flood levels, the frequency of flooding, the shape of the hydrograph, flow velocities, water quality, sedimentation or scour effects for the full range of ARI storm events up to and including the defined flood event;
 - c. does not result in an increase in peak discharge from the development site;
 - d. ensures that the time of concentration to the peak of the event does not decrease and where it does increase, consideration is given to the impacts upstream, adjacent, and downstream of the property boundary so as to ensure runoff from the site does not bring the hydrograph peak closer to coincidence with the peak flow in adjoining catchments;
 - e. Undertakes a method of modeling agreed with the local government, upstream and, where appropriate, downstream of the site.
7. Stormwater infrastructure is designed to preserve and enhance public safety. This shall be achieved by methods including, but not limited to the following:

- a. meeting velocity, depth and velocity*depth limitations for pedestrians and motor vehicles;
- b. providing safe egress from detention systems;
- c. ensuring that in the event of carpark flooding, flooding is limited to a depth of 600mm and a depth*velocity product of less than 0.4m²/s;
- d. applying the principles of crime prevention through environmental design;
- e. adequate signage.

6.5.1.4 Urban Stormwater Systems

All urban stormwater systems are to be designed and documented in accordance with the current version of the Queensland Urban Drainage Manual (QUDM), and subsequently certified that they are in accordance with this Policy and QUDM.

The hydrologic procedures provided in the Policy are considered appropriate for small catchments of up to 500 hectares. These procedures are generally not considered appropriate for the determination of design flood levels along vegetated (i.e. non-grassed) waterways. Reference shall be made to the latest version of Australian Rainfall and Runoff (ARR) for guidelines on:

1. The assessment of urban catchments larger than 500 hectares and,
2. Determination of design flood levels along vegetated waterways.

6.5.1.5 Rural And Rural Residential Stormwater Systems

All rural and rural residential stormwater systems are to be designed in accordance with the current version of the Transport and Main Roads "Road Drainage Manual".

6.5.1.6 Additional Design Criteria

The purpose of this section is to:

1. Supplement QUDM by providing further detail and guidance where QUDM only provides general guidance,
2. Specify the criteria to be adopted for certain parameters that QUDM leaves up to the determination of Council and
3. Document where Council's requirements vary to QUDM, due to Regional Factors as listed in Section 1.02 of QUDM.

6.5.1.6.1 Roof, Allotment And Inter-Allotment Drainage

1. The level of roof and allotment drainage required is specified as an addition to the extract from the "Recommended design average recurrence intervals" Table 7.02.1 from QUDM below.

(ii) Minor System Design AEP (%)	Level of Allotment Drainage	
	Development Category	
Central Business and Commercial	9.52	V
Industrial	39.35	V
Urban Residential High Density - greater than 20 dwelling units/ha	9.52	III
Urban Residential High Density - greater than 5 & up to 20 dwelling units/ha	39.35	III
Rural Residential - 2 to 5 dwelling units/ha	39.35	II

2. Unless approved otherwise by Council inter-allotment drainage (Refer Figure 7.13.2 QUDM) shall be located on the low side of any sewer reticulation and generally 1.5 metres clear of the sewer alignment (or 1.5 metres from the property boundary alignment where no adjoining sewer).
3. Easements are required for inter-allotment drainage.
4. Kerb adaptors must be installed within the kerb and channel for each allotment not serviced via an inter-allotment drainage system. The kerb adaptors shall be of a fabricated metal construction.

6.5.1.6.2 Intensity-Frequency-Duration Data (Refer QUDM 4.07)

IFD data is to be generated using the procedures given in ARR (1998) Book 2. Book 2 provides both algebraic and graphical procedures that allow the user to determine either complete or selected IFD design rainfall information for any location in Australia. The procedures enable the determination of rainfall intensities for durations of 5 minutes to 72 hours and ARIs from 1 year to 100 years. Book 2 also describes procedures for extrapolation of ARIs up to 500 years.

Alternatively the Bureau of Meteorology has a free program available on their website (listed below) to generate IFD charts that is also acceptable to Council.

Editor's Note - refer to <http://www.bom.gov.au/water/designRainfalls/ifd/index.shtml>

6.5.1.6.3 Stormwater Infrastructure Location

Note - Particular attention should be paid to the Design Procedure in Section 7.15.3 of QUDM as this will guide the layout of the site to achieve the drainage philosophy of "improvement of the effectiveness of natural systems rather than replacing, upgrading or ignoring them".

At the start of this procedure consideration should be given to maximising the use of "Natural" drainage solutions (i.e.: naturally vegetated channels beside the road as a feature etc.) before opting for "Built" (pits and pipes) infrastructure.

By following this procedure the designer can readily determine the approximate maximum size of the sub-catchment area that is likely to be acceptable to minimise the infrastructure required to convey the minor storm flows, whilst still maintaining the safety requirements of the major storm overland flows.

Specific requirements include:

1. Roads are to be located in gullies to enable appropriate overland flow paths that don't impact private properties.
2. Stormwater lines are to be located under the kerb and channel with gully pit to gully pit connections.
3. For pipelines greater than 600mm the location of the pipeline is to be behind the kerb and channel. This will require a wider verges on one side of the road and hence a wider road reserve, for stormwater space allocation in accordance with Section 7.01.1 QUDM. (Therefore layouts should be designed to keep catchments small to keep pipe sizes 600mm and avoid this requirement)
4. Stormwater manholes and pits are not to be located within the road or street pavement and the length of stormwater pipe under roads or streets is to be minimised.

Note - this is to reduce the risk of pavement failures due to differential settlement and allow economical pavement rehabilitation when required in the future.

A stormwater infrastructure item is only to be provided in or adjacent to a park or open space - where it results in an:

1. increase in the continuity of greenspace area;
2. improvement in overall amenity of the area.

If development cannot achieve this requirements, the stormwater infrastructure item must be located within a drainage reserve dedicated for the purpose of stormwater drainage.

Stormwater infrastructure item located within a park, open space, or drainage reserve shall be designed to:

1. reflect the natural character of the land and its surrounds;
2. preserve community safety;
3. allow for maintenance activities to be undertaken.

A stormwater infrastructure item should only be provided in a waterway and wetland buffer area where the buffer area is degraded to such an extent that the construction of the stormwater infrastructure item would result in an enhancement to the condition and ecological function of the buffer area.

A stormwater infrastructure item should not be located within the waterway and wetland buffer area where the buffer area:

1. contains intact riparian vegetation; or
2. is located below the 4.88% AEP flood level; or
3. where the mapped waterway or wetland buffer is less than 30m in width, measured from the top bank.

6.5.1.6.4 Stormwater Inlets And Manholes (Refer QUDM 7.05.1)

The following criteria apply to stormwater inlets and manholes:

1. Gully inlets shall be a combination grate and side inlet pre-cast lintel.
2. They shall generally be Lip-in-Line, however Kerb-in-Line is more suitable where parking is allowed near barrier kerb.
3. Maximum outlet pipe of gully connections in series is 525mm Ø
4. The desirable maximum inlet pit depth should be limited to 1.5m to enable safe maintenance,
5. The desirable minimum and maximum stormwater manhole depth is to be limited to 1.2m and 3.0m respectively
6. Gully grates shall be "bike proof"
7. Kerb inlet pits at intersections are generally to be located at the tangent point taking into account the position of pedestrian paths and kerb ramps. Inlets shall not be placed on kerb return unless specifically approved by Council.
8. Pits are to be free draining.
9. Pipe work openings are to be located within a single wall. I.e. pipes shall not be permitted to enter through the corner of the pit structure.
10. Inlet pits should be located at the mid-point of allotment frontages to reduce the likelihood of conflict with service conduits and future driveways.

6.5.1.6.5 Outlets And Outlet Protection

1. All outlets shall be located to facilitate inspection and maintenance access
2. Protection works to outlet shall be designed to meet the following criteria:
 - a. Dissipate the outflow velocity to minimise scouring;
 - b. Provide protection from flows in receiving waters;
 - c. Provide protection from overland (Major Storm) flows;
 - d. Provide protection from local scouring or undermining of the outlet structure.

6.5.1.6.6 Open Channels

1. All open channels shall have adequate access provisions for maintenance and cleaning,
2. Subsurface drainage shall be provided in grass-lined channels to prevent water logging of the channel bed.

6.5.1.6.7 Pipes And Box Culverts

1. Stormwater drainage pipes and boxes shall be generally of reinforced concrete (including FRC) construction

(unless approved by Council) and in accordance with the following:

2. Minimum pipe size 375mm in Urban environments and 450mm for rural cross road pipes,
3. Minimum box culvert size 450mm x 300mm.

6.5.1.6.8 Cross Road Culverts

1. Cross road culverts shall be designed to pass the flow of an 1.98% AEP storm with the top water level (TWL) not exceeding edge of carriageway except as indicated below:
 - a. For roads servicing less than 20 lots and where the average lot area fronting the road is greater than 7999m², 18.13% AEP with TWL not exceeding the edge of carriageway. A design check should also be undertaken for Q50 assuming the road acts as a floodway. The floodway should be trafficable at Q50 with a maximum submergence of 200mm and maximum velocity shall be 1.85m/s. Floodways to be designed to Austroads Standards
 - b. The culvert should be designed for an 1.92% AEP with TWL not exceeding the edge of carriageway if the subject road has less than 2000 AADT at the 20 year horizon and where there exists an alternate route above the 1.92% AEP flood, which is within an acceptable proximity. This relaxation is subject to the discretion of Council. Other factors pertinent to any approval, are road geometry (sight distance to flood affected area); the speed environment; the period of time the road would be impassable; the location of alternate routes and the standard of other nearby cross road drainage.
2. The backwater for the 1% AEP storm must not exceed permissible limits. Embankments require facing where overtopping is likely to occur.
3. In residential and residential low density areas where the pipe extends through private property downstream of the road the culverts and downstream drainage shall be designed for 1% AEP

6.5.1.6.9 Culvert Backwater

In rural, rural residential and low density residential areas, backwater from culverts can extend into private property provided the area of inundation is shown on flood plans lodged at sealing stage and the affected area is excluded from any building envelope and the minimum building envelope criteria is satisfied.

6.5.1.6.10 Culvert Length Criteria

Where kerb and channel or flush kerb with shallow table drains:

1. Culverts are to be full width of the road reserve except where the cumulative span of culvert internal diameters/box widths exceeds 3m. If the latter case applies, culvert length shall be in accordance with Australian Standard 5100, with provision for a footpath on one side of the road. The minimum clear width available for use by pedestrians shall be 1.8m. (Where pedestrian movements are considered significant, footpaths should be included on both sides of the culvert.)
2. In Rural Residential Zones:
 - a. Where road frontage is less than or equal to 50m, Culvert to extend from road formation on upstream side to 5 m beyond the building envelope of the affected and adjoining lot on the downstream side. Where these criteria cannot be achieved, the watercourse downstream of the culverts should be dedicated to Council as Park or Reserve.
 - b. Where road frontage is greater than 50m, road formation width shall be in accordance with AS5100, with provision for a footpath on one side of the road. The minimum clear width for use by pedestrians shall be 1.8m.

6.5.1.6.11 Major Storm Overland Flowpath And Natural Watercourses

In Rural and Rural Residential Zones:

1. Major storm flows passing overland through these properties are subject to assessment of the 1% AEP flood level and compliance with minimum building envelope criteria being satisfied. Where cross road culverts discharge into private property, an easement shall be provided for the extent of any pipeline in the property (if applicable) and for a minimum distance of 30m beyond the culvert apron or channel outfall.

Note - This latter requirement may be waived if the cross-road culvert discharges into a recognisable creek system.

2. Natural watercourses contained within private property will require easements over the defined width including and allowance for access and maintenance berms.

6.5.1.6.12 Medium/Low Density Residential Zone Alternative Drainage System

1. Table drains to be maximum 400mm deep and fully turfed except where cement grouted stone pitching or concrete lining or approved equivalent is required for scour protection. Side batters to be 1V:4H maximum.
2. Pipe/table drain minor system to be designed for 1.98% AEP with top water level not exceeding edge of shoulder level.
3. Access culvert crossings shall be provided for entry to all allotments in accordance with Council's Standard Drawings
4. At or adjacent to road crests, concrete invert style crossings will be considered in lieu of pipe crossings.

6.5.1.6.13 Table Drains - Rural & Rural Residential Areas

The invert of table drains to be 150mm lower than the subgrade level, with localised deepening at pipe crossovers, if required. The side batters of table drains shall be 1V:4H maximum. Some road reserve widths on existing roads preclude such flat batters. Where this is the case a proposal is to be submitted to Council and alternatives such as a concrete v-drain with subsoil drain will be determined.

Table drains shall be fully turfed except where velocities exceed limits in Table 9.05.3 QUDM, in which case alternative permanent erosion control measures shall be incorporated.

6.5.1.6.14 Detention Basins

5. All detention basins shall be designed and constructed with a minimum two staged outlet.

The low level outlet is located low in the basin and is designed to allow normal flow discharge, with due consideration to any potential blockage of the outlet.

6. Flows greater than the normal flow discharge shall be conveyed via a weir and pipe or spillway system with no increase in flow from all flood events up to the design event. Weir and pipe, or spillway systems shall be designed:
 - a. with a depth velocity value across the weir or spillways of less than or equal to 0.6m²/s;
 - b. To ensure structural integrity of the basin is retained during any event, including spilling of the basin.
7. All outlets are to be designed such that:
 - a. blockages are prevented;
 - b. safety of the public and maintenance personnel is preserved;
 - c. intake provisions comply with Queensland Urban Drainage Manual;
 - d. scour protection and energy dissipation are provided within the development site boundary for the detention basin inflow and discharge.
8. Detention basins shall be designed to provide for maintenance. All detention basins shall be designed and constructed with a reinforced concrete heavy vehicle access into the base of the detention basin, or equivalent. Maintenance access must be provided for:
 - a. removal of sediment deposits from within the basin;

- b. removal of debris and rubbish after flood events;
 - c. repair of cracking, erosion and leakage;
 - d. removal of undesirable tree and vegetation growth;
 - e. mowing; and
 - f. reinstatement of basin materials and planting.
5. All detention systems, designed and constructed to become a Council asset, shall be provided on land dedicated in favour of Council at no cost to Council. All private on-site systems shall be maintained and managed by the private property owner. Such systems shall not be established on Council owned land, nor will they be accepted by Council as a Council managed asset.
 6. Detention systems sites are to be designed and constructed primarily for flood mitigation purposes. However detention systems sites can also be designed for a secondary purpose, that include:
 - a. usable recreational space during dry periods; or
 - b. carparking and hardstand areas.
 7. Detention systems sites designed as usable recreational space during dry periods will not be included as park land.
 8. Detention systems sites designed to provide usable open space during dry periods shall be designed and constructed such that:
 - a. it dries rapidly after rainfall;
 - b. it is inundated to a maximum depth of 1.2m during the 4.88% AEP event, except where the system is a carpark, in which case depths shall be limited to 600mm during a 1% AEP event;
 - c. it is safe;
 - d. includes a low flow channel, flow path or pipe to maximise community benefit from the area;
 - e. Provides pedestrian access to disabled grades and access.
 9. Carparking space should be configured to provide stormwater detention in private development. Where this occurs, development shall ensure that:
 - a. it satisfies the requirements for carpark design and stormwater detention system design;
 - b. safety is maintained or enhanced;
 - c. Flood free or low flood hazard access for the entry and exit points of the carpark is provided.

6.5.1.6.14 Bioretention Basins

All bioretention basins shall be designed and constructed using the Bioretention Technical Design Guidelines - Water by Design, Healthy Waterways initiative undertaken by Healthy Land and Water (a not for profit organisation).

6.5.2 Stormwater Drainage Construction

6.5.2.1 Purpose

This specification details the construction of concrete kerb, kerb and channelling, stormwater drains, inter allotment drainage, manholes, gullies, gully connections, headwalls and other miscellaneous drainage works. The specification applies to the supply, delivery, laying and jointing of drainage pipes, reinforced concrete box culverts and drainage works components including excavation, bedding and backfilling.

6.5.2.2 Standards and Codes

Standard	Comments
AS 1141 Methods of sampling and testing aggregates	

AS/NZS 1254:2010 PVC-U pipes and fittings for stormwater and surface water applications	
AS 1289 Method of Testing Soils for Engineering Purposes	
AS 1379-2007 Specification and supply of concrete	
AS 1597.1-2010 Precast reinforced concrete box culverts - Small culverts (not exceeding 1200 mm span and 1200 mm height)	
AS 1597.2-2013 Precast reinforced concrete box culverts - Large culverts (exceeding 1200 mm span or 1200 mm height and up to and including 4200 mm span and 4200 mm height)	
AS 1646-2007 Elastomeric Seals for Waterworks purposes	
AS/NZS 4680:2006 Hot-dip galvanized (zinc) coatings on fabricated ferrous articles	
AS 1830-2007 Grey cast iron	
AS2187 Explosives - storage, transport and use	Includes subsidiary Standards
AS2758 Aggregates and rock for engineering purposes	Includes subsidiary Standards
AS3600-2009 Concrete Structures	
AS/NZS 3678:2016 Structural Steel - Hot-rolled Plates, Floorplates and Slabs	
AS 3996-2006 Access covers and grates	
AS/NZS 4058:2007 Precast concrete pipes (pressure and non-pressure)	
AS 4139-2003 Fibre reinforced concrete pipes and fittings	

6.5.2.3 Existing Services

All public utility authorities shall be contacted to ascertain the location of services prior to commencing work.

Before undertaking any work which may interfere with any drain, public utility, railway, road, watercourse or tidal waters or with any structure, the required notice in writing shall be given to the relevant department or authority concerned. No work shall commence until all necessary permits are obtained and such work shall be carried out in accordance with the conditions set out in such permits.

Any damage to any existing services shall be made good.

6.5.2.4 Excavation

Excavation for stormwater drainage construction covered by this specification shall be completed to the lines and levels shown on the drawings.

Where over-excavation occurs, it will be made good with bedding material as specified.

All things necessary shall be done to;

1. divert any water interfering with the progress of the works;
2. keep the excavations and trenches free from water while the works are in progress; and
3. prevent any damage to the works by water due to floods or other causes.

Approved pumping gear for keeping the excavation or trenches constantly dewatered shall be on-site during the times the works are in progress. Any work or material damaged by water shall be made good.

Where necessary, the bottom of trenches or excavations shall be compacted prior to the placing of any bedding or concrete materials. Should the foundation material be incapable of effective compaction, the material shall be removed and replaced with a suitable material.

6.5.2.5 Use of Explosives

Where approved, rock should be carefully excavated by blasting procedures.

Handling, storage and use of explosives shall comply with all state laws, and with **AS 2187.0-1998 Explosives - Storage, transport and use** .

Where explosives are used in rock excavation, the charges shall be so proportioned and placed that they will not loosen the rock outside of the excavation lines shown on the drawings or as provided for. If the rock below the line or slopes designated should be loosened by blasting to such an extent as to render it liable to slide, fall or have a detrimental effect to the works such loosened rock shall be removed. The removed material shall be made good with acceptable material and in a manner approved.

6.5.2.6 Pipe Bedding

Bedding and haunch material shall comply with the grading limits on SRRC Standard Drawing D-15.

In wet or unstable ground conditions where the trench bottom requires further stabilising, additional bedding of 20mm and/or 30mm nominal size shall be placed below the standard bedding to a depth determined a suitably qualified person. An approved filter fabric shall be used in conjunction with the additional bedding. Grading limits for the additional bed thickening material (detailed as Type 6 on SRRC Standard Drawing D-15) are shown in **Table 6.5.2.6**.

The bed and haunch material shall be compacted for the full width of the trench by two passes of a vibrating plate or hand tamping method.

Table 6.5.2.6

A.S. SIEVE (mm)	Percentage Passing By Weight	
	Crushed Rock Nom Size 20mm (additional bedding)	Crushed Rock Nom Size 30mm (additional bedding)
37.5	-	100
26.5	100	80-100
19.0	90-100	70-90
13.2	50-80	60-80
9.5	30-40	50-70
6.7	0-5	
4.75		
2.36		

6.5.2.7 Reinforced Concrete Pipes and Box Culverts - Supply and Delivery

Reinforced concrete pipes and box culverts shall conform in all respects to the following Standards:-

1. For Precast Concrete Drainage Pipe - AS4058
2. For Small Precast Reinforced Concrete Box Culverts - AS1597 Part 1
3. For Large Precast Reinforced Box Culverts - AS1597 Part 2

Pipe classes shall be as shown on the drawings. The class of pipe shall be suitable for the intended construction and final traffic loadings. Spigot and socket rubber ring joints shall be used on pipes up to and including 600mm diameter. Interlocking flush joints may be used for pipes greater than 600mm diameter.

Where rubber ring jointing of pipes other than specified above is required, this will be indicated on the drawings or in the Bill of Quantities.

The outside and inside surface of the pipe shall be smooth, dense and hard and shall not be coated with cement wash or other preparation.

6.5.2.8 Reinforced Concrete Pipes and Box Culverts - Laying and Jointing

Pipes, and precast or cast-in-situ box culvert bases shall be bedded on approved material as specified in section 6.5.2.6 herein. The depth and extent of bedding and haunch support shall be as shown on the drawings or as specified. Cast-in-situ box culvert bases shall be constructed to the details shown on the drawings.

Pipe laying shall begin at the downstream end of the line with the socket or grooved ends of the pipe facing upstream. When the pipes are laid, the barrel of each pipe shall be in contact with the bedding material throughout its full length exclusive of the socket. Pipe sockets shall not bear on the bottom of the trench.

When elliptical pipes with circular reinforcement or circular pipes with elliptical reinforcement are used, the pipes shall be laid in such a position that the manufacturer's marks, designating the "Top" or "Bottom" of the pipe shall not be more than 5 degrees from a vertical plane through the longitudinal axis of the pipe.

For rubber ring joints the pipe ends shall be thoroughly cleaned before the joint is made. The two pipe sections shall then be tightly joined with their inner surfaces at the manufacturer's nominated laying gap.

Jointing mortar for pipes (other than rubber ring jointed pipes) shall be of a smooth consistency, consisting of 1 part Portland Cement to 2 parts of fine sand, with water content not greater than 20 litres/bag of cement.

After the joint is made, the inside of the pipes and annular recess at the ends of the pipes shall be cleaned. The recess shall then be filled with mortar and finished smooth and even with the inside surface of the pipes. Joints on pipes greater than 600mm in diameter shall not be finished on the inside until all fill over the pipe has been completed. No backfill shall be carried out until joints have been inspected and passed.

Where shown on the drawings or specified elsewhere that flush jointed pipes are externally jointed these shall have the external joint mortared and covered with an external band.

External bands shall be installed in accordance with the manufacturer's recommendations.

Joints in box culvert segments shall be made using cement mortar to provide as thin a joint as possible. The external faces of the units shall be bandaged with "Denso Tape 600" or approved equivalent 200 mm wide lapped by at least 100 mm.

Lifting holes in pipes and culverts shall be plugged with mortar, precast tapered plugs mortar or tape surrounded, or other approved means prior to backfill material being placed.

Cutting operations for concrete pipe and box culverts shall provide neat end surfaces. The cut surfaces shall be given two coats of tar epoxy paint.

Joints shall not be made under water. The trench shall be de-watered to facilitate joint making and inspection. Precautions shall be taken to prevent erosion of joint material by moving currents of water.

Completed cement mortar joints shall be kept damp and protected from the direct rays of the sun until backfilling takes place.

6.5.2.9 uPVC Pipes - Supply and Delivery

uPVC pipes shall:

1. conform in all respects with the requirements of AS1254. The class of pipes shall be uPVC "Stormwater HD" designed for solvent weld spigot and socket connection. Prior approval for their use is required.
2. be supplied with sufficient quantities of solvent for making of the pipe joints; and
3. be transported, handled and stacked in accordance with manufacturer's recommendations.

6.5.2.10 uPVC Pipes - Laying and Jointing

Pipe laying shall begin at the downstream end of the line with the socket end of the pipe facing upstream. When the pipes are laid, the barrel of each pipe shall be in contact with the bedding material throughout its full length.

The pipe ends shall be thoroughly cleaned before the joint is made. Jointing shall be in accordance with manufacturer's directions using jointing solvent.

Joints shall not be made under water. The trench shall be de-watered to facilitate joint making and inspection. Precautions shall be taken to prevent erosion of joint material by moving currents of water.

6.5.2.11 FRC - Pipes Supply and Delivery

1. FRC pipes and fittings shall comply with the requirements of AS4139.
2. The class of pipes shall be as shown on the drawings or in the Bill of Quantities. The class of pipe shall be suitable for the intended construction and final traffic loadings.
3. The pipes shall carry the manufacturers distinguishing mark, date of manufacture, nominal size and class of pipe.
4. The pipes shall be transported handled, stacked and protected in accordance with the manufacturer's recommendations.
5. Evidence shall be provided that compliance testing of process and proof load testing verify that the pipes supplied meet the manufacturer's product specification.
6. Bends, junctions and associated couplings shall comply with the same requirements as for pipes.
7. Unless otherwise specified all pipe joints shall be made using an approved internal rubber ring joint.

6.5.2.12 FRC - Pipes Laying and Jointing

1. Laying and jointing shall be in accordance with the manufacturer's recommendations.

2. Construction of pipelines on curves shall not be carried out at greater deflections than that recommended by the manufacturer.
3. Joints shall not be made under water. The trench shall be de-watered to facilitate joint making and inspection.

6.5.2.13 Drainage Line Pipe Laying Tolerances

All drainage lines shall be constructed within 100mm of design line, not less than the design grade and not more than 25mm above the design grade.

6.5.2.14 Rubber Rings and Gaskets

Rubber rings and gaskets shall be manufactured and tested in accordance with AS1646.

6.5.15 Sub-Surface, Mitre Drains and Seepage Drains

Sub-surface, mitre drains, seepage and diversion drains shall be constructed in accordance with the SRRC Standard Drawings R-18, R-19, R-20, the project drawings.

Flushing points and sub-surface inlets are to be provided as shown on the drawings, and/or as directed. All sub-surface and mitre drains shall be tested by flushing.

6.5.2.16 Backfilling

Under roadways and footpaths the backfill material above the haunch zone shall be compacted in layers not greater than 200mm thick. If the "on site" material is not suitable for backfilling over pipes, material shall be imported with a soaked CBR not less than 15%.

In locations other than under roadways and footpaths (e.g. allotments and parks, etc.) the backfill material shall consist of either of the following:

- a. the best of the material from trench excavation; or
- b. material from "on site" earthworks selected.

If material from item a. above is not suitable for backfilling then material from item b. above shall be used.

The backfill material (in locations other than under roadways and footpaths) shall be compacted. Any settlement shall be made good, prior to the end of the On Maintenance Period.

Where work is being constructed on private property, and it shall be done only with the written consent of the property owner. All items located on such property including lawns, gardens, etc., shall be reinstated and left in the same condition as before the commencement of the work unless the owner or occupier of the property agrees otherwise in writing.

6.5.2.17 Gullies, Manholes, Inlets, Outlets and Other Structures

The grade and slump of concrete to be used in the works shall be as shown on the drawings. The manufacturer, supply, handling and placing of concrete shall comply with the requirements of AS1379 and AS3600.

Reinforced concrete drainage elements such as manholes, wingwalls, and aprons shall be inspected prior to the placement of any concrete. (For significant concrete pours (individual element volume > 15 m³) project testing of concrete strengths and slumps is warranted and supplementary specification shall be provided outlining project

testing requirements.) Delivery dockets (Manufacturer's Certificate) for ready mixed concrete shall be retained. The destination element of the relevant delivery shall be shown on the docket.

Steel reinforcing bars shall comply with the requirements of AS1302. Welded wire reinforcing fabric shall comply with AS1304.

Galvanising shall comply with the requirements of AS1397.

Formwork shall comply with the requirements of AS3610.

Reinforcing shall conform to the requirements of AS3678.

Gullies, manholes, headwalls, and other miscellaneous structures shall be constructed to the forms and dimensions shown on the drawings. Where the ground is solid, back forms need not be used in the construction of manholes and gullies, the concrete being poured against the earth. Where this is done, the thickness of the wall of such gullies or manholes shall be increased by a minimum of 50mm greater than the dimension shown on the drawings.

The thickness of the walls of gullies and manholes shown on the drawings shall be the minimum adopted when back forms are used. Benching and rendering shall be as shown on the drawings. Gully gratings, manhole covers and frames shall be provided as shown on the drawings.

Gully gratings and frames and manhole lids and frames shall comply with the following criteria:-

- a. Loading requirements to AS3996 Class D
- b. Bicycle safety to AS3996
- c. Finished cast iron products shall be dipped in hot bitumen before leaving the manufacturers works
- d. Finished steel products shall be hot dip galvanised in accordance with AS1650

Manhole covers and frames shall be best quality grey cast iron grade T200 complying with the requirements of AS1830. They shall be free from cracks, flaws and porous spots, before being placed in the works.

Casting inspection certificates shall be provided for all cast iron covers and frames incorporated in the works.

6.5.2.18 Concrete Kerb, Kerb and Channel, Kerb Crossings

Kerb, kerb and channel or channel shall be bedded on a foundation of a minimum of 75 mm thick of compacted Type 2.5 gravel.

The whole of the water channel cross section shall be cast simultaneously i.e. casting of invert and kerb at different times will not be permitted.

Where kerb or kerb and channel are constructed by an extrusion process, the extrusion machine shall be fitted with a tamper and an automatic control which allows adjustment of the position of the forming mould while the machine is in operation. The horizontal and vertical alignments of kerb, kerb and channel and channel shall be controlled by means of a sensor working to a control line. The finished kerb, kerb and channel or channel shall be well compacted and shall have exposed surfaces free from voids.

Prior to the placing of concrete all loose material shall be removed and the surface of the foundation shall be watered to produce a damp surface.

Rendering, if used, shall be mixed in the proportion of one (1) part Portland Cement to two (2) parts fine sand.

Rendering to kerb and invert (when approved) shall be broken at the joints and shall show a neat joint line at right angles to the length of the kerb on top of the kerb and the invert of the channel. Joint lines shall not exceed 6mm in width and depth.

Connection of extruded kerb and channel to gully pits or existing kerb and channel shall be made by hand to give a smooth transition.

Concrete kerb and channel with a longitudinal design grade less than 1% shall be subject to a water test within 24 hours of placing. The test shall consist of placing sufficient water at the high point to make the channel flow over its full length. The criteria for acceptance shall be that not more than 6mm of water ponds in the channel twenty minutes after the flow ceases. All testing shall be supervised.

Note: A similar test may be required prior to the commencement and the expiration of the Defects Liability Period.

The vertical alignments of kerb and kerb and channel shall not vary from that specified by more than ± 10 mm. The horizontal alignment of the kerb and kerb and channel shall not vary from that specified by more than ± 20 mm. Notwithstanding the above tolerances, the alignments of the kerb and kerb and channel shall have smooth lines.

Expansion joints shall be made at regular intervals not exceeding 20 m. The joints shall be made by installing 6 mm maximum thickness bitumen impregnated fibre board compressible packing in the full cross section of the kerb, kerb and channel and channel. Expansion joints shall also be provided at the interface with drainage structures.

Contraction joints between expansion joints shall be made at regular intervals not exceeding 5 m. The joints shall be made by forming grooves 40 mm deep and not more than 6 mm wide in all exposed surfaces of the kerb, kerb and channel and channel. All grooves shall be normal to the top surfaces and square to the alignment of the kerb, kerb and channel and channel.

Concrete shall be cured for a period not less than 7 days before any other roadworks operations are carried out adjacent to the kerb, kerb and channel and channel.

6.5.2.19 Stone Pitching

Stone pitching shall be laid as shown on the drawings or elsewhere specified, and shall consist of sound igneous, metamorphic or approved sedimentary rock which will not disintegrate in water. Unless larger stones are specified in the design, the stones shall be not less than 0.015m^3 , and generally no dimension shall be less than 250mm. The stones shall be properly bedded to even planes on approved loam or sand, and geofabric.

Where stone pitching is provided at a bridge or a culvert abutment, invert, or inlet and an outlet to a culvert, such pitching is grouted with flowable concrete fill.

After trimming of the embankment is complete and the bedding material compacted, selected rock is placed:

1. with the face of the greatest area against the bedding and the longest side of the rocks horizontal;
2. so that joints are staggered as much as possible.

All rocks are firmly wedged with stone chips driven into the joint so that the finished surface presents an even face with joints of a nominal width of 25mm.

The grouted stone is shaded and kept damp for at least 48 hours.

If any stones are not firmly held in position after the mortar has set, the mortar is removed around such loose stones and the area re-grouted.

Weep holes are left in the grout at two metre intervals, both horizontal and vertical.

Stone pitching shall not be used as headwalls by itself.

6.5.2.20 Rubble Masonry

Rubble masonry shall be laid as shown on the drawings or elsewhere specified, and shall consist of sound igneous, metamorphic or approved sedimentary rock which will not disintegrate in water. Unless larger spalls are specified in the design, the spalls shall be not less than 0.015m³, except spalls for wedging.

Spalls shall be placed in cement mortar beds in horizontal layers. All spalls shall be thoroughly wetted before placing. All voids shall be filled with cement mortar and/or smaller size spalls.

Mortar for grouted rubble masonry shall be as for Stone Pitching. Hydrated lime may be incorporated into the cement mortar to the extent of 1 part hydrated lime to 10 parts cement (loose volume).

6.5.2.21 Measurement and Payment

Quantities in the Bill of Quantities are to be computed on the following basis:

- Kerb, kerb and channel - per plan linear metre including vehicle crossings and access ramps (unless itemised separately).
- Stormwater line - per plan linear metre along the axis of the pipe or culvert between centre line of the manholes and gullies and up to the sealed or open end of the line.
- Other items of drainage works have been measured in the units indicated in the text of the item in the Bill, and based on the dimensions as shown on the drawings or specified elsewhere.

The cost of all work required by this specification including testing, supply of all materials, plant, tools, labour and all expenses necessary for the satisfactory completion of the works, and shall be included in the relevant Bill of Quantities and Asset Report.

6.5.3 Easements — Drainage

The purpose of this Section is to detail the type/s and extent/s of easement/s in favour of Council required in future allotments created under development proposals within the Region.

6.5.3.1 Easement Details

Indicative location/s and extent/s of easement/s required by engineering design shall be identified on the relevant design drawings.

Final location/s and extent/s of easement/s, following completion of man-made works, shall be determined by field survey and detailed on the final Survey Plan/s, and accompanied by Easement Documents, prior to submission of the plan/s to Council for signing and sealing.

Final Survey Plan/s submitted for Pre-sealing by Council shall only be considered by Council when all required man-made works for inlet/outlet channel/s within proposed lots have been completed, and final extent/s of the easement/s shown on the appropriate Linen Survey Plan/s.

6.5.3.2 Construction Over/or Adjacent To Easements

Construction of buildings and works, excluding boundary fences across easements, shall be the subject of

project specific approvals, except where works are prohibited in **Table 6.5.3.2**.

Table 6.5.3.2 - Drainage Easements

Purpose		Type Of Construction		Required Easement/s
1.	Stormwater Drainage — Street Discharge System	1.01	Piped system within proposed allotments.	4.0 metres wide, adjacent to side boundary for the full length of the pipe and any extended area as required in Section 2.5. OR 1.0 metres wider than the distance between the outer edges of the pipe or box-culvert or as determined by Council. Whichever is greater.
		1.02	Open outlet channel in proposed Rural/Rural Residential lots.	Extent of man-made works, plus 3 metres on one side for maintenance access purposes, with a minimum width of 6 metres — thence for the width of flow, symmetrical about the low point to the legal point of discharge.
		1.03	Inlet and/or Outlet works for cross road culverts.	Refer 1.02.
		1.04	Downstream discharge works — external Stage or development.	Refer 1.01 and 1.02, as applicable.
2.	Stormwater Drainage — Inter-allotment System	2.01	Piped system within proposed allotments.	4 metres wide for the full length of the pipe, with 4 metres by 4 metres in lot at the head of the line.

Note - This type of construction shall only be considered by Council when all other alternatives including widening of road reserves and provision of pathways have been exhausted.

6.6 Standard Drawings

6.6.1 The Standard Drawings listed in **Table 6.6 Standard Drawings** are the minimum standard of design and construction for this Part.

Table 6.6 Standard Drawings

SRRC No./ DTMR No.	Drawing Title	Version	Version Date
Reinforcing			
DTMR 1043	Reinforcing Steel — Standard Bar Shapes		
DTMR 1044	Reinforcing Steel — Standard Hook, Lap and Bend Details and General Steel Reinforcement Information		
Pipes and Culverts			
DTMR 1174	RC Slab Desk Culverts — Construction of End Structure (H 150 — 600)		
DTMR 1303	RC Box Culverts & Slab Link Box Culverts — Construction of		

	Reinforced Concrete Wingwalls and Headwalls		
DTMR 1304	Pipe Culverts — Construction of Reinforced Concrete Wingwalls and Aprons for Pipe Oslash. Up to 2400		
DTMR 1305	End to Pipe Culverts — General Arrangement and Installation of Wingwalls, Headwalls & Aprons		
DTMR 1306	Ends to Pipe Culverts — Construction of Unreinforced Wingwalls, Headwalls and Aprons		
DTMR 1309	Concrete Gully — Field Inlet Type 1		
DTMR 1310	Concrete Gully — Field Inlet Type 2		
DTMR 1316	RC Box Culverts & Slab Link Box Culverts — General Arrangement and Installation of Precast Units		
DTMR 1317	RC Box Culverts & Slab Link Box Culverts — Construction of Bases with Nibs and Aprons		
DTMR 1318	RC Box Culverts & Slab Link Box Culverts — Construction of Bases with Recesses and Aprons		
DTMR 1319	RC Box Culverts & Slab Link Box Culverts — Construction of Unreinforced Wingwalls and RC Headwalls (H 750 — 2400)		
DTMR 1320	RC Box Culverts & Slab Link Box Culverts - Crown Unit Holding Down Anchors		
Stormwater Manholes			
D-02	Stormwater Access Chamber Detail (oslash 1050 — 2100)	A	10/10
D-03	Stormwater Gully — Roadway — Grate and Frame	A	10/10
D-04	Stormwater Manhole Roof Slab — ∅ 1050 — 2100	A	10/10
D-05	Stormwater Manhole Roof Slab — ∅ 1500 — Extended 600 and 900	A	10/10
D-06	Stormwater Manhole Roof Slab — Rectangular Fabric Reinforcement	A	10/10
D-07	Stormwater Manhole Roof Slab — Rectangular Standard Reinforcement	A	10/10
D-08	Stormwater Manhole Cast Iron Cover & Frame C.I. Concrete Filled Cover	A	10/10
D-9	Stormwater Manhole Cast Iron Cover & Frame Bolt Down	A	10/10
D-10	Stormwater Manhole Step Irons	A	10/10
Roofwater			
D-11	Roofwater Inspection Chamber — Interallotment Drainage	A	10/10
Drainage Pits			
D-12	Drainage Pits — Kerb Inlet — Kerb and Lip In Line	A	10/10
D-13	Drainage Pits — Kerb Inlet — Kerb in Line (Anti-Ponding)	A	10/10
D-14	Drainage Details — Culvert Inlet Screen	A	10/10
Excavation, Bedding and Backfilling			
D-15	Excavation, Bedding and Backfilling of Concrete Reinforced Drainage Pits	A	10/10

D-16	Excavation, Bedding and Backfilling of Precast Box Culverts	A	10/10
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7.0 Lighting and Services

7.1 Contents

Section	Title
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7.5.6	Conduits and Construction
7.6	Standard Drawings

7.2 Purpose

The purpose of this Part is to:

1. achieve the desired requirements for developments in relation to street lighting and services;
2. to increase the safety and amenity of pedestrians and to improve traffic operations at intersections and hazardous locations.
3. be made as per Scenic Rim Regional Council, Open Space Infrastructure Guidelines, "Electrical, Lighting and Telecommunications".

7.3 General Matters

The design and installation of utility services shall be approved by the relevant authority including:

1. Lighting on Main Roads Infrastructure shall be approved by and designed and built to the requirements of Department of Transport and Main Roads.
2. Telecommunication conduits shall be located and installed as required by telecommunication authorities.
3. Electrical conduits shall be located and installed in accordance with Energex requirements.
4. Electrical, Lighting and Telecommunications infrastructure shall be located and installed in accordance with Scenic Rim Regional Council, Open Space Infrastructure Guidelines

7.4 Referenced Standards

The Standards listed in **Table 7.4.1 Reference Standards** are the applicable standards for lighting and services installed on land being existing or future Council land except where:

1. The standard is in conflict with a standards specified in Section 7.5; or
2. The standard is varied, amended or removed by the standards specified in Section 7.5.

Table 7.4.1 Referenced Standards

Standard	Applicable Sections	Applicable to
AS1158 SAA Public Lighting Codes	All	All lighting work
	Category V lighting	Major Roads
	Category P lighting	Minor Streets and Roads
Main Roads Departmental Policy & Guidelines for the Provision of Public Lighting	Graph 2.9A	Intersection Lighting For Major Roads
AS1159 Polyethylene Pipes for pressure applications	All	
AS1289 Method of Testing Soils for Engineering Purposes	All	
AS1477 Unplasticised PVC (uPVC) pipes and fittings for pressure applications	All	
AS2053 Non-metallic conduits and fittings	All	
AS2439 Perforated plastics drainage and effluent pipe and fittings	All	
Energex standards and policies	All	Electricity installations
AS1939 Supp1 and 2 - 1990 Degrees of Protection provided by enclosures for electrical equipment(IP Code) - Wallchart 1 and 2	All	Electrical Design, Installations and Maintenance
AS/NZS 3000:2007 Electrical Installations. Wiring Rules, requirements for the design construction and verification of electrical installations	All	Electrical Design, Installations and Maintenance
AS/NZS 3002:2008 Electrical Installations. Shows and Carnivals. Requirements for the supply of electricity at low voltage by wiring systems to power consuming devices	All	Electrical Design, Installations and Maintenance
AS/NZS 3008.1.1:2017 Electrical Installations - Selection of Cables - Cables for alternating voltages up to and including 0.6/1kV	All	Electrical Design, Installations and Maintenance
AS/NZS 3017:2007 - Electrical Installations - Verification Guidelines	All	Electrical Design, Installations and Maintenance
AS/NZS 3439.1 2002 - Low Voltage Switchgear and Control gear Assemblies - Part 1 Type-tested and partially type tested assemblies	All	Electrical Design, Installations and Maintenance

AS 60529:2004 - Degree of Protection Provided by Enclosures (IP CODE)	All	Electrical Design, Installations and Maintenance
AS/CA S009:2013 - Installation Requirements for Customer Cabling (wiring rules)	All	Communications - Design, Installations and Maintenance
AS/NZS 1158 Set:2010 - Lighting for Roads and Public Spaces	All	Lighting design , installations and maintenance
AS4282:1997 - Control of the Obtrusive Effects of Outdoor Lighting	All	Lighting Design , installations and maintenance
AS1110.1:2015 ISO - Metric Hexagon Bolts and Screws - Product grades A and B - Bolts	All	Lighting poles design , installations and maintenance
AS1110.1:2000 ISO - Metric Hexagon Bolts and Screws - Product grades A and B - screws	All	Lighting poles design , installations and maintenance
AS/NZS 1170.0:2002 - Structural Design Actions - General Principles	All	Lighting poles design , installations and maintenance
AS/NZS 1798.0:2014 - Lighting Poles and Bracket Arms - Recommended Dimensions	All	Lighting poles design , installations and maintenance

7.5 Council Standards (including variations to Referenced Standards)

Editor's Note - includes standards not referred to in Referenced Standards and any variations to those standards

7.5.1 Street Lighting

7.5.1.1 Intersection Lighting For Major Roads

Traffic warrants for lighting at intersections shall comply with the Main Roads Departmental Policy & Guidelines for the Provision of Public Lighting.

7.5.1.2 Isolated Intersections

Where isolated intersections are deemed to require category V lighting and the approach roads are presently unlit, an additional 2 spans of lighting (luminance based, for the category specified) shall be provided as per AS/NZS1158.1.1 Clause 3.5.

Note - Some judgement needs to be taken in ascertaining whether this additional lighting is covered under the extents of the intersection conflict points or changes in carriageway width to avoid unnecessary costs in over extending the design limits. E.g. in Figure 7.6.2 the first luminaire is located approximately 2 spans away from the key luminaire to light the first change in carriageway width. An additional luminaire is provided between these two to meet the requirements for lighting the intersection to the Australian Standard. Under this circumstance no additional lighting is necessary beyond this point as the "lead in lighting" is covered within the extents of the intersection.

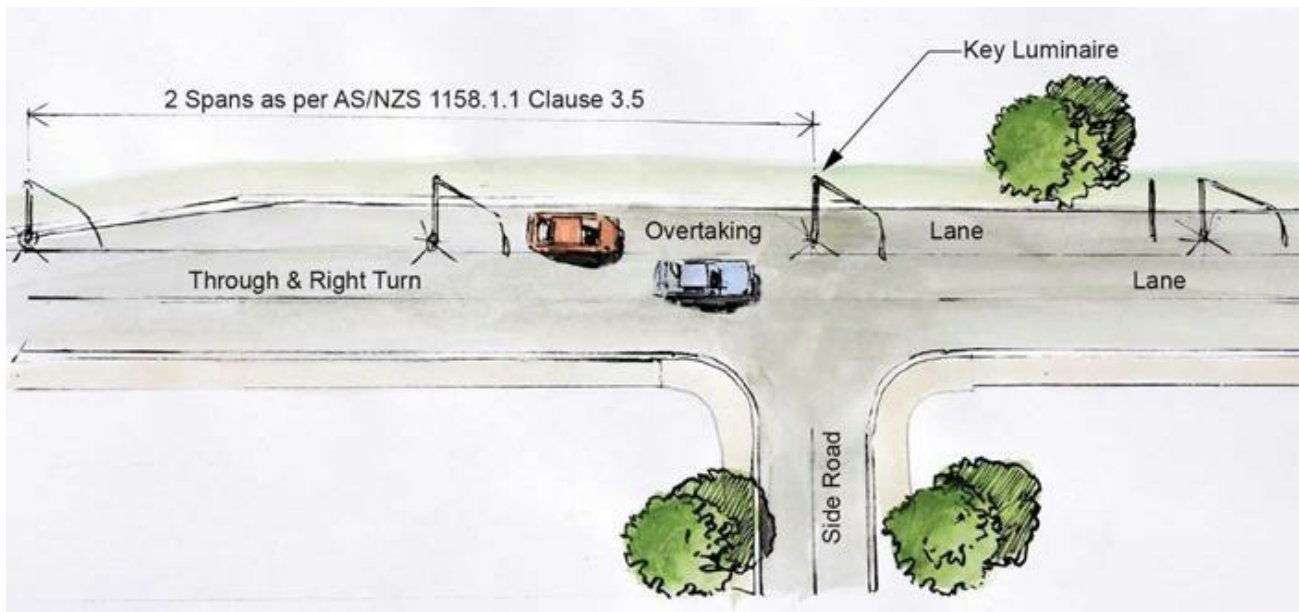


Figure 7.5.1.2

7.5.1.3 Smart Technologies

The use of smart technologies in or incorporated with street lighting will be assessed on a case by case basis. The outcomes of such infrastructure must equal or exceed standard technologies.

7.5.1.4 Special Cases

Council may vary the required street lighting category for any street or road in consideration of special circumstances or require additional lighting in the following situations:

- intersections.
- roundabouts.
- sharp bends.
- traffic control devices.
- pedestrian crossings.
- cul-de-sac.
- bridges (minimum Category V5 at abutments and minimum Category P3 on deck).
- night time accident locations.
- frequently used night time bus stops.
- areas that may generate pedestrian traffic or vehicle night traffic.
- ends of roads.

7.5.1.5 Street Light Pole Alignment

Street light poles shall be located in accordance with **Table 7.4.1 Referenced Standards**. Alternative proposed alignments addressing engineering and safety aspects will be considered on their merits. Supporting documentation should address:

- potential runoff impact from vehicles,
- road geometry and speed environment,
- kerb type, and
- streetscaping to protect or easily identify such poles, particularly at night.

All poles painted in a dark colour shall have a reflectorized band placed or painted around the pole with a minimum width of 50 millimetres and located at a height of one metre above the base of the pole.

Streetlight poles are not be located in the central median of roundabouts if the diameter of the island is less than 6m. Streetlight poles are not be located in the central median of a road if the median width is less than 3 metres. Where poles are in vulnerable locations, consideration shall be given to the use of slip base or frangible type poles.

Note - Further recommendations on setbacks and clearances are outlined in Appendix B of AS 1158.1.3:1997.

7.5.1.6 Luminaries

1. Subject to 2, Mercury Vapour lights are to be used on all minor roads where B2 standard is specified.
2. Luminaries shall be the most economical luminary type available and acceptable to Energex. Use of smart LED streetlights should be considered (colour temperatures to be consistent with standard lighting).
3. For infill developments, new lamps and brackets shall be the same or of similar appearance to those in adjacent existing developments.
4. Aeroscreen luminaires shall be provided where:
 - a. Residences abut roads with Category V or B1 lighting
 - b. Background lighting is dark and the aeroscreen will help reduce glare including isolated intersections, isolated ends of road, isolated speed control devices, steep crests, or bridges.
5. Post-top and opal sphere lanterns shall not be used

7.5.2 Overhead Power

1. Street lighting poles are to be located opposite common allotment boundaries.
2. Pole location should avoid likely vehicle conflict points to minimise the risk of damage to both poles and vehicles and injury to vehicle occupants. Consideration should be given to potential paths of vehicles accidentally leaving the carriageway, and also to the swept path of oversize vehicles which need to leave the carriageway to manoeuvre, (e.g. at cul-de-sac turning areas, speed control devices, bends, and intersections).
3. Pole alignments shall be 3.4 metres from property boundary and no closer than 1.6 metres to the edge of bitumen in non-kerbed areas. Pole alignments may be reduced to 0.3 metres in the following circumstances:
 - a. at property boundaries of hatchet blocks with narrow frontages
 - b. in cul-de-sacs with narrow frontages
4. Poles shall not be placed to coincide with water services. Poles may be placed 1.0 metre offset from physically located conduits, if no alternative layout is feasible. Conflicts with drainage structures and table drains, cut batters etc. are to be avoided.

7.5.3 Underground Power

7.5.3.1 Conduit Location And Alignment

1. Shared trenching with telecommunications cables is permitted. No sharing of trenches shall occur with water or gas.
2. Road crossings shall be at right angles where practicable and in no case shall the skew exceed 45°.
3. Electrical crossings should be to the opposite boundary to water service crossings. Refer Standard Drawing R-02 & R-03.
4. Electrical crossings are not permitted within the area defined as an intersection under the Traffic Regulations, unless on the standard alignment off the projected intersecting property boundary.
5. Laying of conduits is only permissible within the designated service corridor in the road reserve or between service pillars, lamp posts and transformers. Conduits shall not be laid outside the service corridor or as service connections between overhead reticulation and properties, without prior approval of Council.

7.5.3.2 Pillars And Pad Mount Transformers

Pillars shall be provided at all entry points, adjacent to the side boundary of each private property, except that for 11kV entry points to an internal transformer. "Cabmarked" Cable Marker post or equivalent are subject to prior

approval.

Pillars shall not be located at the same side boundaries as fire hydrants, nor on truncated boundaries. Placement on the tangent point will be subject to approval by Council.

All pad mounted transformers should be located in areas of level, flood free ground. The area required for a pad mounted site shall comply with Energex specifications and shall be located on road reserve or future road reserve.

7.5.4 Gas Supply

Where reticulated gas is proposed an approved design plan must be prepared by the responsible gas supply company. A copy of the plan must be provided to Council. Reticulation gas pipelines should only be installed by the responsible gas supply company or their approved installers.

7.5.5 Telecommunications/NBN

Evidence of the telecommunications agent's agreement to provide services must be provided to Council prior to the pre-start meeting. Conduit crossing layouts and alignment shall be provided with engineering documentation.

7.5.6 Conduits and Construction

7.5.6.1 General

Works covered by this specification includes:

1. the installation of conduits across roadways and footpaths for water, gas, electricity and telecommunication services;
2. installation of conduits longitudinally along footpaths for electricity and telecommunication services; and
3. the fixing of brass indicator discs embossed 'W', 'G', 'T' and 'E' respectively at water, gas, telecommunication and electricity conduit locations.

7.5.6.2 Trenches

1. The bottoms of trenches shall be firm and smooth and where they change in level from footpath to roadway or up an embankment, the change shall be gradual.
2. Trenches shall be excavated so that the conduits are laid with 75mm clearance all around from other obstructions.
3. Conduits shall be bedded for 120 degrees of their circumference on at least 75mm of compacted sand or trench backfill material.
4. For new developments:
 - a. trenches across roadways and pavement areas shall be excavated before pavement material has been placed;
 - b. trenches along footpaths shall be excavated before topsoiling and grassing has been carried out.

7.5.6.3 Material for Utility Service Conduits

All uPVC pipe conduits, joints and couplings shall comply with AS1477, AS2053 and AS2439 and shall be of the class specified on the drawings or Bill of Quantities. Conduits for electricity services shall comply with Energex requirements.

7.5.6.4 Liaison with Public Utility Authorities

The relevant Utility Authorities shall be consulted prior to completion of earthworks and commencement of pavement material to ensure correct sequence of construction activities.

7.5.6.5 End Caps

After laying, all conduits shall be cleaned internally and subjected to Council inspection before end caps are installed.

7.5.6.6 Brass Marker Discs

Brass marker discs shall be supplied and installed in accordance with the drawings.

In locations where there is no kerb and channel, concrete marker blocks shall be constructed. The marker blocks shall consist of Grade N25 concrete blocks 225 mm x 75 mm x 450 mm long with indentation for the indicator disc centrally placed on the top face of each block.

7.5.6.7 Backfill and Compaction

Backfill material type shall be in accordance with the Standard Drawing and shall be compacted by mechanical means to 100% Standard Density or 70% density index as applicable.

7.6 Standard Drawings

7.6.1 The Standard Drawings listed in **Table 7.6 Standard Drawings** are the minimum standard of design and construction for this Part.

Table 7.6 Standard Drawings

Standard Drawing Number	Name
R-02	Public Utilities - Typical Service Corridors and Alignments
R-03	Public Utilities - Typical Service Conduit Sections

Part 8 - Standards for Park Lands

8.1 Contents

Section	Title
8.1	Contents
8.2	Purpose
8.3	General Matters
8.4	Referenced Standards
8.5	Council Standards (including variations to Referenced Standards)
8.5.1	Standards for Parks
8.5.2	Minimum Size for Parks
8.5.3	Minimum Post Development Flood Immunity for Parks
8.5.4	Maximum Post Development Grade for Parks
8.6	Standard Drawings

8.2 Purpose

The purpose of this Part is to:

1. detail the provision of suitable park lands where required by the Scheme for development;
2. insure park lands meet size, constraint, topographical and service standards appropriate for the desired future use of the park lands.

8.3 General Matters

1. Trunk Parks include the park network planned in accordance with **Part 4 - Local Government Infrastructure Plan** section 4.4.3.1 (Park network)) of the planning scheme.
2. Non-trunk Parks includes parks dedicated to the local government pursuant to the Reconfiguration of Lot Code

8.4 Referenced Standards

Not applicable to this Part.

8.5 Council Standards (including variations to Referenced Standards)

Editor's Note - reference can be made to Council's - Parks & Amenities Strategy 2015 which has been developed with consideration to linkages with a range of strategic documents, legislation, guidelines and standards relating to Council's provision of the parks network.

8.5.1 Standards for Parks

Design standards for the park classification specified in Column 1, is provided in accordance with Column 2 of **Table 8.5.1.1 — Design Standards for Parks**.

Following standards apply to all parks irrespective of their classification:

1. has vehicular access for maintenance and management purposes;
2. has clear and visible lines of sight from formalised entries and pedestrian crossings;
3. provides for casual surveillance to and from the civic space. Queensland Police CPTED guidelines provides additional guidance.
4. provides embellishments in accordance with Part 9 of this Policy.

Table 8.5.1.1 — Design Standards for Parks

Column 1 Park classification	Column 2 Design standards
Civic Spaces	Local recreation - Civic park: <ol style="list-style-type: none"> a. is fair average land; b. has a minimum area in accordance with Table 8.5.2.1—Minimum Size of Parks of this planning scheme policy; c. is square, rectangular or semicircular in shape; d. has a post development flood immunity in accordance with Table 8.5.3.1 — Post Development Flood Immunity for Parks of this planning scheme policy; e. has a post development grade in accordance with Table 8.5.4.1 — Maximum Post Development Grade for Parks of this planning scheme policy; f. has a minimum 50 per cent road frontage, or 25 per cent road frontage where it is integrated with premises with an active frontage.
Corridor	Corridor recreation park: <ol style="list-style-type: none"> a. is part of a safe, linked open space and park network; b. is suitable for cycle and pedestrian paths; c. has a minimum 25 per cent road frontage, provide a minimum of 2 road access points and have further access points every 500m; d. does not include: <ol style="list-style-type: none"> i. land subject to cut and fill with a batter slope which does not comprise the provisions of (a) to (g); ii. any land required for stormwater infrastructure; iii. any areas of land less than 30 metres wide;
Premier Parks	The land: <ol style="list-style-type: none"> a. is fair average land; b. is adjacent to a trunk road or state controlled road; c. is easily accessible for pedestrians and cyclists; d. has an area in accordance with Table 8.5.2.1—Minimum Size of Parks of this planning scheme policy; e. is of a compact shape, free of irregular boundaries; f. has a post development flood immunity in Table 8.5.3.1 — Post Development Flood Immunity for Parks accordance with of this planning scheme policy; g. has a post development grade in accordance with Table 8.5.4.1 — Maximum Post Development Grade for Parks of this planning scheme policy; h. has a minimum 75 per cent road frontage; i. has an area above the defined flood events for locating buildings, structures and facilities liable to damage by flooding;
Local recreation parks	Local recreation park:

	<ul style="list-style-type: none"> a. is fair average land; b. is on an urban access road in a residential area; c. is easily accessible for pedestrians and cyclists; d. is configured such that the land can be expanded by the addition of adjoining land; e. has an area in accordance with Table 8.5.2.1—Minimum Size of Parks of this planning scheme policy; f. is of a compact shape free of irregular boundaries; g. has a post development flood immunity in accordance with Table 8.5.3.1 — Post Development Flood Immunity for Parks of this planning scheme policy; h. has a post development grade in accordance with Table 8.5.4.1 — Maximum Post Development Grade for Parks of this planning scheme policy; i. has road frontage of not less than 75 percent;
<p>District recreation</p>	<p>District recreation park:</p> <ul style="list-style-type: none"> a. is fair average land; b. is adjacent to a trunk road; c. is easily accessible for pedestrians and cyclists; d. has an area in accordance with Table 8.5.2.1—Minimum Size of Parks of this planning scheme policy; e. is of a compact shape free of irregular boundaries; f. has a post development flood immunity in accordance with Table 8.5.3.1 — Post Development Flood Immunity for Parks of this planning scheme policy; g. has a post development grade in accordance with Table 8.5.4.1 — Maximum Post Development Grade for Parks of this planning scheme policy; h. has a minimum 75 per cent road frontage; i. has an area above the defined flood event for locating buildings, structures and facilities liable to damage by flooding.
<p>District and Regional sport</p>	<p>Metropolitan and district sport park:</p> <ul style="list-style-type: none"> a. is fair average land; b. is adjacent to a trunk road or state controlled road; c. is easily accessible for pedestrians and cyclists; d. has an area in accordance with Table 8.5.2.1—Minimum Size of Parks of this planning scheme policy; e. is of a compact shape, free of irregular boundaries; f. has a post development flood immunity in accordance with Table 8.5.3.1 — Post Development Flood Immunity for Parks of this planning scheme policy ; g. has a post development grade in accordance with Table 8.5.4.1 — Maximum Post Development Grade for Parks of this planning scheme policy; h. has a minimum 75 per cent road frontage; i. has a minimum 60 per cent of the area suitable for sports fields or courts; j. is connected to infrastructure including power, water and sewerage; k. has an area above the defined flood event for locating buildings, structures and facilities susceptible to damage by flooding
<p>Non-trunk recreation parks</p>	<p>Non-trunk recreation park:</p> <ul style="list-style-type: none"> a. is fair average land; b. is on an urban access road in a residential area; c. is easily accessible for pedestrians and cyclists d. is configured such that the land can be expanded by the addition of adjoining land;

	<ul style="list-style-type: none"> e. is of a compact shape free of irregular boundaries; f. has road frontage of not less than 50 percent
Non-trunk landscape parks	Non-trunk landscape park: <ul style="list-style-type: none"> a. is predominately providing landscape values; b. is a site that, because of their location, size, or topography, are limited in their use; c. is usually undeveloped, and feature lawns, specimen trees, or shrubs
Non-trunk nature parks	Non-trunk nature park: <ul style="list-style-type: none"> a. is bush and wetland areas that have ecological values worth preserving; b. is relatively undeveloped park whose principle purpose is to provide for natural ecosystems, predominately bushland, for the preservation of native flora and fauna, and to provide access to these sites where appropriate. c. is located where natural features such as wetland areas, bushland, and escarpments occur; d. must have a demonstrated conservation value, and ideally be over 10ha in size; e. must have 50% of the park perimeter with direct road frontage for regional and district nature park; f. must have at least 25% of the park perimeter with direct road frontage for local nature park

8.5.2 Minimum Size for Parks

Park size for the park classification specified in Column 1, is in accordance with Column 2 of **Table 8.5.2.1—Minimum Size of Parks**.

Table 8.5.2.1—Minimum Size of Parks

Column 1 Park classification	Column 2 Minimum size of park (hectares)		
	Local	District	Regional
Civic Spaces	-	0.03 - 0.2	0.03 - 0.2
Corridor	30mt width	30mt width	-
Premier	-	1 - 20	1 - 20
Recreation	0.5 - 1	1 - 2	-
Sports	-	5 - 10	5 - 10

8.5.3 Minimum Post Development Flood Immunity for Parks

Park flood immunity for the park classification specified in Column 1, is in accordance with Column 2 of **Table 8.5.3.1 — Post Development Flood Immunity for Parks**.

Table 8.5.3.1 — Post Development Flood Immunity for Parks

Column 1 Park classification	Column 2 Post development flood immunity (percentage of minimum size* of park)			
	39.35% AEP flood event	9.52% AEP flood event	1.98% AEP flood event	1% AEP flood event
Civic Spaces	100	90	75	50

Corridor	80	50	20	10
Premier	80	70	40	10
Local Recreation	80	60	20	10
District Recreation	80	60	20	10
Non-trunk Recreation	60	20	10	5
District Sport	80	60	40	10
Regional Sport	80	60	40	10

8.5.4 Maximum Post Development Grade for Parks

Park post development grade for the park classification specified in Column 1, is in accordance with Columns 2 and 3 of with **Table 8.5.4.1 — Maximum Post Development Grade for Parks**.

Table 8.5.4.1 — Maximum Post Development Grade for Parks

Column 1	Column 2	Column 3
Park classification	Maximum grade (percent)	Percentage of minimum size* of park having a post development grade less than the maximum grade
Civic Spaces	2	85
Premier Parks	5	75
Local recreation	5	50
District recreation	5	70
Non-trunk Recreation	7	40
District sport	2	70
Regional sport	2	85

8.6 Standard Drawings

Not applicable to this Part.

9.0 Landscaping & Embellishment for Public Areas

9.1 Information Requirements	
9.1.1	Purpose
9.1.2	General Matters
9.1.3	Referenced Standards
9.2 Landscaping for Public Areas	
9.2.1	Purpose
9.2.2	General Matters
9.2.3	Referenced Standards
9.2.4	Council Standards (including variations to Referenced Standards)
9.2.5	Standard Drawings

9.1 General Information Requirements

9.1.1 Purpose

The purpose of this Part is to ensure that development provides appropriate and sufficient information to allow a development application to be properly and professionally assessed.

9.1.2 General Matters

1. Any conflicts or departure from the Standard Drawings or the Policy must be detailed in the application.
2. Where a staged development has been approved by Council, Council may require landscape design and construction to include the whole of the site, or such additional parts of the site as will enable the Council to maintain the works in a satisfactory condition if the balance of the development does not proceed to completion.
3. The development application must include sufficient information outside the development footprint to verify that any future extension of the proposed works can proceed in accordance with this Policy and without any undue cost to future development.
4. All design drawings and calculations must be supervised and certified by a suitably qualified person before being submitted to Council for examination. The name and professional details of the person must be supplied.

9.1.2.1 Competency to prepare a report

1. A person preparing a report, a plan or a drawing relating to development must be a suitably qualified person and includes, in the case of non-minor landscaping issues, a Registered Landscape Architect with the Australian Institute of Landscape Architects.
2. The report, plan or drawing must include a certification signed by the suitably qualified person that the report, plan or drawing is fit for its intended purpose and can be relied upon by Council for that purpose.

9.1.2.2 Bill of Quantities and Asset Report

A Bill of Quantities must be provided at the time of submission of the engineering documentation. The Bill of Quantities need not include the contract prices. At the completion of the construction, a completed Asset Report which reflects the actual construction costs, constructed volumes, areas and length of items constructed must be provided to Council.

Editor's Note - This information is required to update Council's Asset Register.

9.1.3 Referenced Standards

9.1.3.1 The Standards listed in **Table 9.1.3.1 Reference Standards** are the applicable standards for datum to be used for survey and design except where:

1. The standard is in conflict with a standards specified in the Policy; or
2. The standard is specifically varied, amended or removed by the standards specified in Policy.

Table 9.1.3.1 Referenced Standards

Standard	Applicable Sections	Applicable to
Australian Height Datum (AHD)		Vertical datum to be used for survey and design
Map Grid of Australia, 1994 (MGA94)		Horizontal datum to be used for survey and design

9.2 Landscaping & Embellishment for Public Areas

9.2.1 Purpose

The purpose of this Part is to:

1. Recognise the value of landscaping in characterising public open space;
2. Set minimum design, performance and maintenance standards for landscape works;
3. Recognise adjacent land uses to ensure that uniform and coherent landscaped corridors are created within developments; and
4. Set minimum standards for park furnishings and embellishments.

9.2.2 General Matters

1. Council supports innovative design provided the landscaping outcomes of this Policy can be achieved.
2. Design principals must take cognisance of adjacent land uses to ensure that uniform and coherent landscaped corridors are created within particular development zones.
3. All elements of the landscaping design that are structural/building form must be certified by an RPEQ (Civil).
4. The general landscape elements addressed in this Policy include:
 - a. Streetscaping
 - b. Parks and Public Open Space

9.2.3 Referenced Standards

9.2.3.1 The Standards listed in **Table 9.2.3.1 Reference Standards** are the applicable standards for and being existing or future Council land except where:

1. The standard is in conflict with a standards specified in Section 9.2.4; or
2. The standard is varied, amended or removed by the standards specified in Section 9.2.4.

Table 9.2.3.1 Referenced Standards

Standard	Comment
AS 4970-2009 Protection of Trees on Development Sites	

AS 4373-2007 Pruning of amenity trees	
AS4685 - 2014 - Playground Equipment and Surfacing set	Playground equipment manufacturers specifications with a focus on design quality and durability.
AS4685 -2017 - Playground Equipment and Surfacing - development , installation inspection, maintenance and operation.	Playground equipment manufacturers specifications with a focus on design quality and durability.
AS 4422:2016 - Playground surfacing specifications, requirements and test methods	Playground Surfacing
AS 1547:2012 - Onsite domestic wastewater management	Water play equipment
AS/NZS 3000:2007 - Electrical Installation	Audio Equipment
AS4174:1994 - Synthetic Shade cloth and Amendment 1:1996.	Shade sails/structures
AS/NZ3661.2:1993 - Slip Resistance of Pedestrian Surfaces	Footpaths
National Construction Code (NCC)	Volume 1 and 2 Building code of Australia
Plumbing Code of Australia (PCA)	
AS 2890-2009 Parking Facilities	Includes <ul style="list-style-type: none"> • AS/NZS 2890.1:2004 Parking facilities—Off-street car parking • AS 2890.2—2002 Parking facilities—Off-street commercial vehicle facilities • AS 2890.3—2015 Parking facilities - Bicycle parking • AS 2890.5—1993 Parking facilities—On-street parking • AS/NZS 2890.6:2009 Parking facilities—Off-street parking for people with disabilities
AS 4419-2003 Soils for landscaping and garden use	
AS/NZS 3500 Set (Parts 0-4):2015 Plumbing and drainage Set	Irrigation systems
Austrroads Guides	Including Cycling Aspects of Austrroads Guides
Road Landscape Manual - Department of Main Roads	Streetscaping
Best Practice Erosion and Sediment Control, International Erosion Control Association, Australasia Chapter, 2008	Erosion prevention and control

9.2.4 Council Standards (including variations to Referenced Standards)

Editor's Note - includes standards not referred to in Referenced Standards and any variations to those standards

9.2.4.1 Design

1. A suitably qualified person supervising the construction of landscaping works must be either:
 - a. a Landscape Architect holding A.I.L.A. (Australian Institute of Landscaping Architects) Corporate Membership, or a person eligible for membership; or
 - b. where minor landscape works, an experienced, qualified Landscape Designer with demonstrated competence in landscaping works, and contract administration.

2. Where projects involve only minor landscape works, a full specification is not necessary. Construction and performance notes and supporting detail drawings, presented on the landscaping drawings will suffice.
3. Variations to these criteria will be considered by Council where they meet design outcomes and standards.

9.2.4.2 Landscaped Design & Environmental Considerations

9.2.4.2.1 General

Consideration must be given to the following parameters when preparing a landscape design:

- Surrounding native flora and fauna
- Existing site vegetation
- Soil types and characteristics
- Topography and slope stability
- Natural drainage patterns and catchments including overland flow paths
- Local climatic elements:
 - ◊ rainfall (annual precipitation and seasonal dominance)
 - ◊ temperature
 - ◊ frost occurrence
 - ◊ solar radiation (intensity and seasonal direction patterns)
 - ◊ wind (prevailing direction and expected velocity)
- Surrounding human influence and cultures
- Dominant local treatments and styles that have been developed or introduced
- Current Local Council and State Government Requirements, Local Laws, Council's Recreation Strategy, etc.
- Special or additional requirements of applicants and intended users of the habitat

In addition, the design must ensure the function of the intended use and purpose of the landscape. Functional elements include:

- traffic flows (pedestrian, cyclist and vehicular)
- focus on features and visual outlooks
- provision of shade and shelter
- retardation of undesirable visual or acoustic elements
- provision of reasonable access to services for maintenance purposes
- the creation of space and comfort
- the provision of recreation facilities
- the encouragement of and nurture of environmental attributes
- the promotion of aesthetic enhancement
- short and long term maintenance requirements
- provision of water storage
- ability to retard bushfires

When assessing plant species the following plant characteristics should be researched, in particular:

- dimensions at maturity
- rate of growth
- form or pattern of growth
- cultural and maintenance requirements
- compatibility with aforementioned site, environmental and climatic elements
- root aggression and effect on adjacent roads' water and sewer mains
- potential to drop litter: leaves, flowers, seed and fruit
- shading effect of canopy on surrounding plants or grasses
- ability to regenerate or spread
- characteristics (size, shape and colour) of plants aesthetic features: trunk, leaves, flowers, etc.
- any restrictive characteristics, poisonous, noxious, spikes or prickles, etc.
- ability to be trained
- fragrance

- availability in local nurseries
- fire resistance
- fire retardance
- native species are typically required, preferably those that are endemic to the Scenic Rim Region

Note - Use of the species listed within the **Schedule 1** is encouraged. **Schedule 1** is a comprehensive listing of shrub and tree species which are suitable for use within the Scenic Rim. The schedule is divided into various landscaping environments:

1. Major road corridors;
2. Parklands;
3. Streets and avenues;
4. Creek corridors; and
5. Medians, Roundabouts and Screenings.

9.2.4.3 Landscape Design Requirements

9.2.4.3.1 Minimum Planting Requirements

All trees and shrubs required to be planted must be at least 750mm and 200mm high respectively when planted. Each required shrub must attain a height of not less than 600mm when fully matured, except where such height would interfere with traffic visibility, e.g. traffic islands or roundabouts.

All existing trees and shrubs between three metres and twenty metres of any building work or approved car parking area or access thereto to be retained and included in a landscape plan. Appropriate action is to be undertaken to minimise disturbance to this vegetation during on-site building work including the need to adhere to **Australian Standard 4970-2009 Protection of Trees on Development Sites**. All retained trees are to be assessed by a qualified Consulting Arborist and remedial actions taken as per their recommendations. Individual trees are to be identified by species and/or genera and mass vegetation to be identified by vegetation type (notate information on drawing and include the condition, average diameter of the trunk of individual trees and 'significance' value (high, medium, low) per identification). Photos of the vegetation are to be submitted with the plan and to include a 'known' object in the photo to demonstrate the scale of the picture.

Where trees are planted, they must be staked using a minimum of two approved wooden stakes per tree, or an approved metal tree guard well secured into the ground so as to assist in the establishment of the plant's rooting system and as partial protection against vandalism. Refer to Scenic Rim **Standard Drawing P-30 (Specimen Park/Street Tree Planting)**.

Garden areas to have a maximum slope of 1 in 3. Should site requirements be unable to accommodate this requirement then the slopes are to be stabilised in an Engineer designed manner.

9.2.4.3.2 Streetscaping

Streetscaping guidelines must be incorporated into landscaping within the verges or medians of new roads in a subdivision. Detailed working plans of the landscaping must be lodged with the engineering documentation as part of an Operational Works application.

Conceptual sketches illustrating typical streetscaping treatments and considerations are shown in **Figures 9.1-9.4**.

Streetscape must only include feature landscaping within the perimeter of roundabouts and large traffic islands in the higher profile parts of the estate. Full area decorative concrete finishes should be used for smaller and/or lower profile traffic islands, roundabout and traffic calming. Large roundabouts to include a maintenance vehicle set down pad as one of the design features. The dominant feature of the streetscape will be street trees with no or limited gardens within the street footpath/verge area. Roundabout landscaping should typically include a single feature tree, small shrubs (not exceeding 300mm in height) and ground covers. All roundabouts to have a 1.5m wide decorative concrete surround (to provide improved buffer zone between maintenance workers and traffic).

Entry statements/signage and the planting associated with these are to be:

1. contained within the private land of the estate that is not existing or future Council controlled land; or
2. on existing or future Council controlled land where there is an established private maintenance agreement and at the finalisation of the estate, such planting is removed and turf established (at no cost to Council) prior to final handover to Council.

Design must satisfy the following criteria:

- Planting is in scale with streetscape.
- Street trees are not planted within 6m of light poles.
- Plants are not placed at access points.
- Plants must not obstruct access to services.
- Planting has limited species variation.
- The street tree alignment must be within the corridor shown on **Standard Drawing R-02**.
- Earthworks are not carried out within close proximity of existing vegetation.
- All street gardens including roundabouts and medians must be provided with an automatic irrigation system.
- Subsoil drainage must be provided between all street gardens and the road pavement.
- Pedestrian access must be maintained around, and where applicable through, all street planting.
- Visibility lines ensure that the minimum stopping distance for vehicular traffic is maintained, assuming the plantings have grown to full maturity.

Works must also incorporate:

- a. Stabilisation of unstable slopes with retainer wall treatments and revegetated appropriately.
- b. Stable slopes will be rehabilitated using low maintenance grasses and/or revegetation techniques.
- c. Road verges including table drains in rural zones are grassed with a minimum aerial coverage of 80 percent before acceptance off maintenance. The grass coverage must also have been significantly established and maintained for a minimum period of twelve months before acceptance off maintenance. Bank slopes of drains to be no steeper than 1 in 6 where this can be accommodated and where there is insufficient space, no steeper than 1 in 4 (also refer the Queensland Urban Drainage Manual). Turfed areas are to be accessible by industry standard mowers and shaped in such a way as to accommodate these machines.
- d. Acoustic barriers to be provided for all new roads with design traffic >5000AADT where the abutting properties are residential and have an average lot area <2000m².

9.2.4.3.3 Parks And Public Open Space

Major estates must provide a management plan for the parkland. A management plan will identify the intended uses of the parkland. In particular the management plan will identify those areas suitable to be used for active sport and recreation and those areas to be preserved for environmental reasons. Refer to Parks standard drawings for further details.

Minimum works required in all parkland areas include:

1. General
 - a. Removal and safe disposal of declared plants and environmental weeds;
 - b. Bollards with appropriate access lock rails/gates are to be installed to all road frontages or access points;
 - c. All substantial and significant trees are to be retained where ever practical and protected in accordance with **Australian Standard 4970-2009**;
 - d. All retained trees over 200mm diameter at breast height (ABH) are to be assessed by an independent qualified Arborist (as per AQF and Australian Standards) and the recommendations from the Arborist report are to be implemented prior to the on maintenance period in accordance with Australian Standard 4373-2007. The Arborist report is to be provided/detailed before any construction commences on the site;
 - e. Selective tree planting to areas where weeds have been removed to stabilised soils and suppress regrowth of weeds.
 - f. The bank slopes of drains are to be no steeper than 1 in 6 (also refer the Queensland Urban Drainage Manual). Turfed areas are to be accessible by industry standard mowers.
2. Site Specific Works

- a. Pathway/bikeway/horse trail construction
 - b. Playground equipment, seating, shelters and picnic facilities in accordance with section 9.2.4.4 Embellishment for Parks.
3. Minimum Design Requirements
- a. Landscaping to parkland:
 - i. Specify and detail a multi-purpose landscape, through the design and placement of plantings, earthworks, hardscape and park furniture.
 - ii. Site preparation:
 - iii. Specify and detail ground preparation and grassing of the parkland so as to provide an area free from sudden undulations, ponding and extraneous materials that could potentially injure children performing play activities in the parkland or that would make the site unmowable.
 - b. Plantings:
 - i. Specify and locate vegetation to the frontages and boundaries of parkland, so as to delineate and promote the location of the parkland.
 - ii. Specify and locate plant species, earthen mounding, boulders and other features adjacent to play equipment for the protection from sun, wind and air pollutants, control of surface drainage and provision of innovative play options.
 - iii. Locate play areas in proximity to shelters, picnic areas, pathways and amenities and where visible from access roads and pathways.
 - iv. Locate play areas no closer than 10m from private properties, road reserves, dense bushland, water courses and any other areas that could potentially jeopardise the safety of children or where their play could disturb neighbours.
 - v. Provide seating and shelter for supervisors orientated to clearly view children at play.
 - c. Playgrounds :
 - i. The Relevant sections of **AS4685 - 2014, AS4422:2016** - Playground Equipment and Surfacing set and **AS4685 -2017** - Playground Equipment and Surfacing - development , installation inspection, maintenance and operation.
 - d. Bikeways:
 - i. Bikeways are typically 2.5m wide and are to be of concrete, and suitable for use by cyclists and pedestrians.
 - ii. Where bikeways exit parkland onto busy streets, include a physical barrier to restrict accidental movements onto the road pavement.
 - iii. Where bikeways restrict access to particular areas of the parkland, provide maintenance vehicle crossovers at practical points to avoid damage to concrete.

Note - Unless otherwise specifically stated in the conditions of a development approval, liaise with Council's relevant officer to confirm:

- The siting of the parkland and bikeway routes.
- The specific function, targeted user groups and intended frequency of use.
- The items to be provided per park, including play equipment and park furniture in accordance with section 9.2.4.4 Embellishment for Parks.
- The method of drainage required where springs, seepage and overland flow paths exist.
- Provision for access by disabled persons. Note: Any clearing in parkland is to be constructed in accordance with the approved management plan and confirmed on site by Council or one of their delegates.
- Any clearing in parkland is to be constructed in accordance with the approved management plan and confirmed on site by Council or one of their delegates.
- No fill batters, generated by the Development, shall encroach onto the parkland.
- All structures, infrastructure and equipment are to be designed by an appropriately qualified engineer. The improvements must comply with the relevant Australian Standards, Council Standards and where no recognised standard exists the design shall be subject to Council approval.

Detention system sites designed for secondary use as usable recreational space during dry periods will not be included as parkland provision. However they can be contiguous with parkland where incorporated within the overall park design. Naturally occurring waterways are to be contiguous with, but are not to be included within the parkland provision.

Where practicable, natural water flows through the site are to be maintained and water is not be permanently ponded or dammed within parks (with the exception of naturally occurring water bodies). Existing constructed

permanent water bodies are to be dewatered and filled/levelled.

9.2.4.3.4 Carparks

Carparking facilities and vehicle access must conform to the requirements of relevant Development Conditions firstly, and AS2890 and Austroads Guidelines as appropriate, to address the following design issues:

1. Location/Layout:
 - a. Concentrate carparks to the rear of buildings and/or divide large carparks with buildings, covered walkways or open space.
 - b. Provide pedestrian set-down bays and public transport stops. Set-down bays will be considered for use in small-scale commercial deliveries only.
 - c. Provide walkways/aisles for circulation of pedestrians. Protect walkways with wheel stops or kerbs.
 - d. Provide landscaped medians incorporating shade trees within the car parking layout.
 - e. Orientate parking bays and shade tree planting patterns to optimise the seasonal shade patterns and minimise the glare from the afternoon sun.
2. Construction - dual use:
 - a. Design carparks as detention basins, without inconveniencing the motorist, to detain increases in runoff that may overload the existing stormwater system, or in combination with a series of “small” detention basins to ease the overall load on the development.
 - b. Replace concrete kerbs, excluding those at the base of batters, with wheel stops to allow runoff to irrigate surrounding landscaped areas; include a stone and sand filter trench drain, reduce runoff flow and increase percolation.
3. Landscaping:
 - a. Each landscaped island must be of sufficient size to accommodate a mature shade tree.
 - b. All landscaped areas to be provided with an irrigation system.
 - c. Subsoil drainage and root barrier protection to be provided around landscaped areas.

9.2.4.4 Embellishment for Parks

9.2.4.4.1 Recreation Park and Premier Park

Embellishment for Recreation Park and Premier Park are to be in accordance with **Table 9.2.4.4.1 — Embellishments for Recreation Park and Premier Park**

Table 9.2.4.4.1—Typical embellishments for Recreation Park and Premier Park

Column 1 Embellishment Type	Column 2			
	Recreation Park		Premier Park	
	District	Local	Regional	District
Access Roads	-	-	Sealed roads to high standard - asphalt with concrete edge	Sealed roads to high standard - asphalt with concrete edge
BBQ's	Electric BBQ's under rotundas at 2 BBQ/park	-	Electric BBQ's under rotundas at 0.5 BBQ's/ hectare	Electric BBQ's under rotundas at 0.5 BBQ's/ hectare
Bike Racks	-	-	High standard bike racks at 0.5/hectare	-
Buildings - Visitor	-	-	High standard - provided where appropriate	High standard - provided where appropriate

Car Parking Onsite	-	-	Asphalt carparks - 10/ hectare	Optional asphalt carparks - 5/hectare
Dog Exercise Areas	Where appropriate, minimum 5000m ² , chain-wire fence to perimeter with signage, shade structure, water, dog droppings bin, access paths, concrete access area	-	-	-
Drainage	-	-	Designed drainage all areas	Designed drainage all areas
Drinking Fountains	High standard - 1 per park	-	High standard at 0.5/hectare	High standard at 0.5/hectare
Entrance Sign	1 sign per park	1 sign per park	High standard sign at each entrance point	High standard sign at each entrance point
Exercise Equipment	Provided at 1 unit per park	-	Provided at 0.5 units/ hectare	Provided at 0.5 units/ hectare
Fencing and Barriers	Round top, treated pine bollards and slip-rail	Round top, treated pine bollards and slip-rail	Hardwood bollards and steel powder coated gates	Hardwood bollards and steel powder coated gates
Flagpoles	-	-	Provided where appropriate	-
Footbridges	High standard provided where appropriate	High standard provided where appropriate	High standard designed to appropriate code - provided where appropriate	High standard designed to appropriate code - provided where appropriate
Fountains	-	-	High standard architecturally designed - provided where appropriate	-
Gardens	Irrigated high standard gardens at 10m ² per hectare	-	Irrigated high standard gardens at 100m ² / hectare	Irrigated high standard gardens at 50m ² / hectare
Interpretive Signs	-	-	High standard sign - located where appropriate	-
Irrigation - Turf	-	-	High use grass areas irrigated	-
Lighting	-	-	High standard safety and feature lighting of ornamental features such as artwork and specimen trees	Safety lighting
Public Use Mains Power	Available with event booking only	-	Available with event booking only	Available with event booking only
Paths	Concrete	-	Concrete footpaths	Concrete footpaths

Playgrounds	Up to 5 units, min 50% shaded area	-	Between 10-15 play items, min 50% shaded area	Between 5-10 play items, min 50% shaded area
Public Art	-	-	1 item / hectare	1 item / hectare
Public Toilets	Uni-sex toilets at 1 cubicle per hectare (min 2 cubicles per park)	-	Uni-sex toilets at 2 cubicles per hectare (min. 2 cubicles per park)	Uni-sex toilets at 1.5 cubicles per hectare (min. 2 cubicles per park)
Rubbish Bins	Wheelie bin stand, 2 per park	-	240 litre wheelie bin enclosures at 2 bins / hectare	240 litre wheelie bin enclosures at 1 bin / hectare
Seats	High standard at 1 seat/hectare	-	High standard at 2 seats / hectare	High standard at 2 seats / hectare
Shelters	-	-	High standard at 0.5 shelters / hectare	High standard at 0.5 shelter / hectare
Tables	-	-	High standard - provided at 0.5 hectare if not incorporated into shelter	High standard - provided at 0.5 hectare if not incorporated into shelter
Trees	Specimen tree planting to provide shade to infrastructure & for beautification & screen (min. Size 200mm stock, min 25 trees/ hectare)	Specimen tree planting to provide shade to infrastructure & for beautification & screen (min. Size 200mm stock, min 25 trees/ hectare)	Specimen trees planted to landscape design (min. Size 200mm stock, min. 30 trees / hectare)	Specimen tree planting to provide shade to infrastructure & for beautification & screening (min. Size 200mm stock, min. 30 trees / hectare)
Viewing Platforms	-	-	High standard - located where appropriate	High standard - located where appropriate
Water Body	-	-	Up to 25% of site area - where appropriate	Up to 25% of site area - where appropriate
Water Points	1 per BBQ &/or drinking fountain	-	1 per BBQ & / or drinking fountain	1 per BBQ & / or drinking fountain

9.2.4.4.2 Corridor and Civic Spaces

Embellishments for Corridor and Civic Spaces are to be in accordance with **Table 9.2.4.2.2 Embellishments for Corridor and Civic Spaces**.

Table 9.2.4.4.2—Embellishments for Corridor and Civic Spaces

Column 1 Embellishment Type	Column 2			
	Corridor		Civic Spaces	
	District	Local	Regional	District
Bike Racks	-	-	High standard bike racks at 0.5/hectare	-

Drainage	-	-	Designed drainage all areas	Designed drainage all areas
Drinking Fountains	-	-	High standard at 1 per park	High standard at 1 per park
Entrance Sign	1 sign per park	1 sign per park	High standard sign at 1 per park	High standard sign at 1 per park
Fencing and Barriers	Round top, treated pine bollards and slip-rails at potential points of access by vehicles	Round top, treated pine bollards and slip-rails at potential points of access by vehicles	Aesthetically designed fencing as appropriate	Aesthetically designed fencing as appropriate
Footbridges	High standard provided where appropriate	High standard provided where appropriate	-	-
Fountains	-	-	High standard architecturally designed - provided where appropriate	High standard - provided where appropriate
Gardens	-	-	Designed, Irrigated high standard gardens	Designed, Irrigated high standard gardens
Interpretive Signs	High standard sign - located where appropriate	-	High standard sign - located where appropriate	-
Irrigation - Turf	-	-	High use grass areas irrigated	-
Lighting	-	-	High standard safety and feature lighting of ornamental features such as artwork and specimen trees	High standard safety and feature lighting of ornamental features such as artwork and specimen trees
Public Use Mains Power	-	-	Available with event booking only	Available with event booking only
Paths	Concrete	Concrete	Designed hard surface	Designed hard surface
Public Art	-	-	Specifically designed	Specifically designed
Rubbish Bins	-	-	High standard bin enclosures at 2 per park	Designed bins at 2 per park
Seats	High standard at 1 seat per kilometre	-	As per design requirements	As per design requirements
Tables	-	-	High standard - as per design requirements	High standard - as per design requirements
Trees	In natural corridor parks, dense revegetation planting of non-vegetated areas with 4 tube	In natural corridor parks, dense revegetation planting of non-vegetated areas with 4 tube	Specimen trees planted to landscape design	Specimen trees planted to landscape design

	stock per 2m ² . In grassed corridor parks, specimen trees with min. 12 trees per 100m of corridor	stock per 2m ² . In grassed corridor parks, specimen trees with min. 12 trees per 100m of corridor		
Water Points	1 per BBQ &/or drinking fountain	-	1 per drinking fountain	1 per drinking fountain

9.2.4.4.3 Sport Park

The embellishments for Sport Park are to be in accordance with **Table 9.2.4.4.3—Embellishments for Sport Park**.

Table 9.2.4.4.3—Embellishments for Sport Park

Column 1 Embellishment Type	Column 2	
	Regional	District
Access Roads	Sealed roads to high standard - asphalt with concrete edge	Sealed roads to high standard - asphalt with concrete edge
Ancillary Sports Structures	As appropriate to sport requirements	As appropriate to sport requirements
Bike Racks	High standard bike racks at 0.5/hectare	High standard bike racks at 0.5/hectare
BMX Tracks	Design and construct to Australian Standards	Design and construction to Australian Standards
Buildings - Community	Design and construct and associated with park activity	Design and construct and associated with park activity
Car Parking Onsite	Asphalt as per development application	Asphalt as per development application
Drainage	Designed site and field drainage	Designed site and field drainage
Drinking Fountains	High standard -1.0 / per park	High standard -1.0 / per park
Entrance Sign	Park name sign at each entrance	Park name sign at each entrance
Exercise Equipment	Provided as 0.5 units / hectare	-
Fencing and Barriers	Perimeter mesh fencing	Round top, treated pine bollards and slip-rail
Footbridges	High standard - provided where appropriate	High standard - provided where appropriate
Irrigation - Turf	Irrigation on all field	Irrigation on all fields
Lighting	Lighting to required standard on all fields	Lighting to required standard
Public Use Mains Power	Available with event booking only	Available with event booking only
Paths	Concrete	Concrete
Playgrounds	Australian standard - 3 play items, min. 50% shaded area	-
Public Toilets	Associated with clubhouse facilities only	Associated with clubhouse facilities only
Rubbish Bins	Wheelie bin stand - 1.0 / hectare	Wheelie bin stand - 1.0 / hectare
Seats	High standard at 2 seats / hectare	High standard at 2 seats / hectare

Shelters	High standard at 1 shelter / hectare	High standard at 0.5 shelter / hectare
Skate Parks	Concrete, 1 per locally	Concrete, 1 per locally
Trees	15 trees/ hectare, located on the perimeter of the park (min. size 200mm stock)	15 trees/ hectare, located on the perimeter of the park (min. size 200mm stock)
Water Points	1 water point / drinking fountain	1 water point / drinking fountain

9.2.4.4.4 Non-Trunk Recreation Park and Landscape Park

The embellishments for Sport Park are to be in accordance with **Table 9.2.4.4.4—Embellishments for Non-Trunk Recreation Park and Landscape Park**.

Table 9.2.4.4.4—Embellishments for Non-Trunk Recreation Park and Landscape Park

Column 1 Embellishment Type	Column 2		
	Non-Trunk Recreation Park	Landscape Park	
		District	Local
Entrance Sign	1 sign per park	1 sign per park	1 sign per park
Fencing and Barriers	Round top, treated pine bollards and slip-rail	Round top, treated pine bollards and slip-rail	Round top, treated pine bollards and slip-rail
Footbridges	High standard provided where appropriate	High standard provided where appropriate	High standard provided where appropriate
Gardens	-	Only in entry statement location	-
Paths	-	Concrete	-
Public Art	-	1 item per park	-
Trees	Specimen tree planting to provide shade to infrastructure & for beautification & screening (min. Size 200mm stock, min 20 trees/ hectare)	Specimen tree planting to provide shade to infrastructure & for beautification & screening (min. Size 200mm stock, min 30 trees/ hectare)	Specimen tree planting to provide shade to infrastructure & for beautification & screening (min. Size 200mm stock, min 30 trees/ hectare)

9.2.4.4.5 Nature Park

The embellishments for Sport Park are to be in accordance with **Table 9.2.4.4.5—Embellishments for Nature Park**.

Table 9.2.4.4.5—Embellishments for Nature Park

Column 1 Embellishment Type	Column 2		
	Regional	District	Local
Access Roads	Sealed roads to high standard <ul style="list-style-type: none"> asphalt with concrete edge 	Sealed roads to high standard - asphalt with concrete edge	-
Car Parking Onsite	Asphalt carparks - 5.0/hectare	-	-
Entrance Sign	1 sign per park	1 sign per park	1 sign per park

Fencing and Barriers	Hardwood bollards and steel powder-coated gates	Round top, treated pine bollards and slip-rail	Round top, treated pine bollards and slip-rail
Fire Trails	100% of the perimeter of Nature Parks shall have a fire trail 3.5m wide, all weather suitable for 4 wheel drive access, with a passing bay every 200m.	100% of the perimeter of Nature Parks shall have a fire trail 3.5m wide, all weather suitable for 4 wheel drive access, with a passing bay every 200m.	100% of the perimeter of Nature Parks shall have a fire trail 3.5m wide, all weather suitable for 4 wheel drive access, with a passing bay every 200m.
Footbridges	High standard provided where appropriate	High standard provided where appropriate	Functional standard provided where appropriate
Interpretive Signs	High standard - located where appropriate	High standard - located where appropriate	-
Paths	Bitumen/stabilised gravel	Bitumen/stabilised gravel	Bitumen/stabilised gravel
Public Toilets	Yes	-	-
Seats	High standard at 2 seats/hectare	High standard at 1 seat/hectare	-
Shelters	High standard at 1 shelter/hectare	-	-
Trees	Dense revegetation planting of non-vegetated areas with 4 tube-stock/2m ² . Specimen tree planting to maintained grassed areas (min. 60 trees/hectare) maintained as a revegetation site in the interim	Dense revegetation planting of non-vegetated areas with 4 tube-stock/2m ² . Specimen tree planting to maintained grassed areas (min. 60 trees/hectare) maintained as a revegetation site in the interim	Dense revegetation planting of non-vegetated areas with 4 tube-stock/2m ² . Maintained as a revegetation site in the interim
Viewing Platforms	High standard - located where appropriate	-	-
Water Body	Natural occurring only	Natural occurring only	Natural occurring only
Water Points	On new Nature Parks, a water point will be installed where there is a mains water connection available.	On new Nature Parks, a water point will be installed where there is a mains water connection available.	On new Nature Parks, a water point will be installed where there is a mains water connection available.

9.2.4.5 Landscape Plant Schedule

Plants used for vegetation and landscaping of public places must be in accordance with the lists provided below, for planting in circumstances indicated for each table.

Major Road Corridors (also see Street and Avenue Species)

Botanical Names	Common Name
Acacia species	Wattles
Acmena species	Lilly pillies
Alphitona excelsa	Red ash
Banksia species	
Brachychiton acerifolius	Flame tree

Brachychiton discolor	Lace bark
Brachychiton populneus	Kurrajong
Buckinghamia celsissima	Ivory curl
Callistemon species	Bottle brushes
Casuarina species	She oak
Cupaniopsis anacardiodes	Tuckeroo
Eucalyptus curtisii	Plunkett mallee
Flindersia species	Crows ashes
Glochidion ferdinandii	Cheese tree
Grevillea robusta	Silky oak
Guioa semiglauc	Wild Quince
Harpullia pendula	Tulipwood
Hymenosporum flavum	Native frangipani
Lophostemon confertus	Brush box
Melaleuca bracteata	White cloud tree
Melaleuca linariifolia	Narrow leaved paperbark
Melaleuca quinquenervia	Broad leaved paperbark
Melaleuca stypheloides	Prickly paperbark
Melaleuca viminalis	Weeping bottlebrush
Notolea longifolia	Native olive
Podocarpus elatus	Brown pine
Syzygium species	Lilly pilly / satinash

Parkland Trees Species (also see Street and Avenue Species)

Botanical Name	Common Name
Agathis robusta	Kauri pine
Araucaria cunninghamii	Hoop pine
Backhousia myrtifolia	Grey myrtle
Brachychiton acerifolius	Flame tree
Castanospora alphanthii	Brown tamarind
Cryptococarya obovata	Pepperberry ash
Cupaniopsis anacardioides	Tuckeroo
Dysoxylum fraserianum	Rosewood
Eleocarpus grandis	Blue quandong
Eleocarpus obovatus	Hard quandong
Eucalyptus intermedia	Pink bloodwood
Eucalyptus microcorys	Tallowwood

Eucalyptus pilularis	Black butt
Eucalyptus propinqua	Grey gum
Eucalyptus signata	Scribbly gum
Melicope elleryana	Pink doughwood
Ficus macrophylla	Moreton bay fig
Flindersia australis	Crows ash
Flindersia schottiana	Bumpy ash
Flindersia collina	Leopard ash
Gmelina leichhardtii	White beech
Grevillea robusta	Silky oak
Harpullia pendula	Tulipwood
Hymenosporum flavum	Native frangipani
Melaleuca species	Paperbarks
Podocarpus elatus	Brown pine
Syzygium australe	Brush cherry
Syzygium luehmanii	Small-leaved Lilly-pilly
Syzygium francissii	Giant water gum
Xanthostemon chrysanthus	Golden penda

Editor's Note - Criteria for species suitability:

- a. species with low limb loss
- b. species are to be drought and frost resistant

Street and Avenue Species

Native Species

Botanical Name	Common Name	Comments
Backhousia myrtifolia	Grey Myrtle	Requires moderately fertile soils.
Banksia integrifolia	Coastal banksia	Requires sandy free draining soils.
Brachychiton acerifolia	Flame tree	It is deciduous and therefore loses substantial amounts of leaf and requires wider than normal street verges to accommodate this large tree. It also requires soils that are high in organic matter to produce an adequate tree. Avoid severely frost exposed areas.
Buckinghamia celsissima	Ivory curl	
Callistemon "Wildfire"	Bottlebrush	
Callistemon "Wilderness White"	Bottlebrush	
Cupaniopsis anacardiodes	Tuckeroo	Subject to scale insect and the resulting sooty mould. It is best on moist sandy loam soils.

Elaeocarpus eumundi	Eumundi Quandong	Avoid frost prone areas and poor quality soils.
Harpulia hillii	Blunt Leaved Tulip	Requires moderately fertile soils.
Hymenosporum flavescens	Native frangipani	Requires moist sandy loam soil to perform at its best.
Lophostemon confertus	Brush box	Requires wider than normal street verges.
Lophostemon suaveolens	Swamp Box / Turpentine	
Melaleuca irbyana	Irbyana	
Melaleuca linariifolia	Snow in summer	
Melaleuca quinquenervia	Broad-leaved paperbark	
Melaleuca viridiflora (red form)	Red Flowering paperbark	
Rhodospaera rhodanthema	Tulip satinwood	Requires moderately fertile, non-compacted soils.
Stenocarpus sinuatus	Wheel of fire tree	
Syzygium "Elite"	Lilly Pilly "Elite"	Requires moderately fertile, non-compacted soils.
Syzygium luehmanii	Small-leaved Lilly-pilly	Drops lots of small fleshy fruits and it is best to avoid planting it near concrete footpaths.
Waterhousia floribunda	Giant Weeping Lilly Pilly	Requires very good soils and wider than normal street verges.
Xanthostemon chrysanthus	Golden penda	Avoid areas where there are particularly low powerlines.

Editor's Note -

1. *Criteria for species suitability:*

- a. compact growth habitat
- b. ability to handle pruning
- c. moderate root system
- d. resistance to drought and/or frost
- e. resistance to limb loss (storm and wind damage)
- f. evergreen species

2. *Those species which may be maintained under Power Lines with only moderate maintenance / pruning are marked in bold lettering.*

Street and Avenue Species

Exotic Species

Botanical Name	Common Name
Bolosanthus speciosus	South African wisteria
Calodendron capense	Cape chestnut
Jacaranda mimosaeifolia	Brazilian rosewood (deciduous)
Largerstroemia species	Crepe myrtle (deciduous)
Schotia brachypetala	Drunken parrot tree

Editor's Note - Natives are the preferred plantings. Exotic species may be allowed only if they are required to match existing street tree plantings

Revegetation Plants Understorey

Botanical Name	Common Name
Alocasia brisbanensis	Cunjevoi
Alpinia caerulea	Naïve ginger
Austromyrtus dulcis	Midyim
Commelina diffusa	Native wandering jew
Crinum pedunculatum	River lily
Dianella caerulea	Blueberry lily
Geranium solanderi var solanderi	Native geranium
Hardenbergia violacea	Native sarsaparilla
Lomandra longifolia	Mat rush
Lomandra hystrix	Creek mat rush
Stylidium graminifolium	Grass trigger plant

Revegetation Plants Overstorey

Botanical Name	Common Name
Acmena ingens	Red Apple
Alphitonia excels	Red ash
Brachychiton acerifolius	Flame tree
Commersonia bartramia	Brown kurrajong
Eucalyptus tereticornis	Blue gum
Elaeocarpus grandis	Blue Qundong
Ficus coronata	Creek sandpaper fig
Ficus fraseri	Sandpaper fig
Ficus macrophylla	Moreton bay fig
Flindersia australis	Crows ash
Glochidion ferdinandi	Cheese tree
Gmelina leichhardtii	White beech
Grevillea robusta	Silky oak
Hibiscus heterophyllus	Native rosella
Hymenosporum flavum	Native frangipani
Lophostemon confertus	Brushbox
Melaleuca viminalis	Weeping bottlebrush
Myrsine variabilis	Muttonwood
Syzygium francisii	Giant water Gum

Syzygium oleosum	Blue lillipilli
Toona ciliata	Red cedar

Creek Corridors and Creek Crossings Tree Species

Botanical Name	Common Name
Acacia species	Wattles
Acmena smithii	Lilly pilly
Alphitona excelsa	Red ash
Angophora costata	Smooth barked apple
Austromyrtus species	Myrtles
Backhousia citriodora	Lemon scented myrtle
Backhousia myrtifolia	Grey myrtle
Brachychiton acerifolia	Flame tree
Callistemon salignus	White bottlebrush
Callistemon viminalis	Weeping bottlebrush
Castanospermum australe	Black bean
Casuarina cunninghamiana	River oak
Casuarina glauca	Swamp oak
Casuarina littoralis	Forest she oak
Casuarina torulosa	Forest oak
Commersonia bartramia	Brown kurrajong
Cryptocarya glaucescens	Brown beech
Cryptocarya microneura	Murrogun
Cryptocarya triplivensis	Brown laurel
Elaeocarpus grandis	Blue quandong
Elaeocarpus obovatus	Hard quandong
Elaeocarpus reticulatis	Blueberry ash
Eucalyptus intermedia	Pink bloodwood
Eucalyptus propinqua	Grey gum
Eucalyptus ptychocarpa	Swamp bloodwood
Eucalyptus robusta	Swamp mahogany
Eucalyptus tereticornis	Blue gum
Ficus coronata	Sandpaper fig
Ficus obliqua	Small leaved fig
Flindersia bennettiana	Bennett's ash
Glochidion ferdinadii	Cheese tree
Gmelina leichhardtii	White beech

<i>Grevillea robusta</i>	Silky oak
<i>Harpullia pendula</i>	Tulipwood
<i>Homolanthus nutans</i>	Bleeding heart
<i>Hymenosporum flavescens</i>	Native frangipani
<i>Jagera pseudorhus</i>	Foambark tree
<i>Lepiderema pulchella</i>	Fine leaved Tuckeroo
<i>Leptospermum species</i>	Tea tree
<i>Lophostemon confertus</i>	Brush box
<i>Lophostemon suaveolens</i>	Swamp mahogany
<i>Macaranga tanarius</i>	Macaranga
<i>Mallotus phillipensis</i>	Red kamala
<i>Melaleuca bracteata</i>	River tea tree
<i>Melaleuca linariifolia</i>	Snow in summer
<i>Melaleuca nodosa</i>	Prickly paperbark
<i>Melaleuca quinquinervia</i>	Broad leaved paperbark
<i>Melaleuca stypheloides</i>	Prickly paperbark
<i>Notolea longifolia</i>	Native olive
<i>Pittosporum revolutum</i>	Rough fruit pittosporum
<i>Pittosporum venulosum</i>	Rusty pittosporum
<i>Podocarpus elatus</i>	Brown pine
<i>Euodia elleryana</i>	Pink evodia
<i>Rhodomyrtus psidiodes</i>	Native guava
<i>Sterculia quadrifida</i>	Peanut tree
<i>Syzygium australe</i>	Brush cherry
<i>Syzygium francisii</i>	Rose satinash
<i>Syzygium leuhmanii</i>	Small leaved lilly pilly
<i>Polyscias elegans</i>	Celerywood
<i>Syzygium tierneyanum</i>	River cherry
<i>Tristaniopsis laurina</i>	Water gum
<i>Waterhousea floribunda</i>	Weeping lilly pilly
<i>Xanthostemon crsanthus</i>	Golden penda

Medians, Roundabouts and Screening Species

Trees

Botanical Name	Common Name
<i>Acacia species</i>	Wattles
<i>Acmena smithii</i>	Lilly pilly

<i>Allocasuarina littoralis</i>	Black she oak
<i>Allocasuarina torulosa</i>	Forest oak
<i>Alphitonia excelsa</i>	Red ash
<i>Backhousia citriodora</i>	Lemon scented myrtle
<i>Backhousia myrtifolia</i>	Grey myrtle
<i>Banksia integrifolia</i>	Coastal banksia
<i>Buckinghamia celcissima</i>	Ivory curl tree
<i>Callicoma serratifolia</i>	White alder
<i>Casuarina cunninghamiana</i>	River oak
<i>Casuarina glauca</i>	Swamp oak
<i>Commersonia bartramia</i>	Brown kurrajong
<i>Eleocarpus reticulatis</i>	Blueberry ash
<i>Eucalyptus curtisii</i>	Plunkett mallee
<i>Euodia elleryana</i>	Butterfly tree
<i>Grevillea bailyana</i>	White Oak
<i>Grevillea banksia</i>	"Banks'grevillea"
<i>Grevillea banksia</i>	Forest form
<i>Grevillea hilliania</i>	White silky oak
<i>Hakea salicifolia</i>	Willow leaved hakea
<i>Hibiscus tiliaceus</i>	Cottonwood
<i>Lepiderema pulchella</i>	Fine leaved Tuckeroo
<i>Leptospermum polygalifolia</i>	Tantoon / Jellybush
<i>Leptospermum petersonii</i>	Lemon scented tea tree
<i>Melaleuca leucadendron</i>	Narrow leaved paperbark
<i>Melaleuca linariifolia</i>	Snow in summer
<i>Melaleuca quinquinervia</i>	Broad leaved paperbark
<i>Melaleuca salignus</i>	White
<i>Callistemon viminalis</i>	Weeping bottlebrush
<i>Homolanthus populifolius</i>	Bleeding heart
<i>Pittosporum rhombifolium</i>	White Holly / Hollywood
<i>Pittosporum undulatum</i>	Sweet Pittosporum
<i>Pittosporum venulosum</i>	Rusty Pittosporum
<i>Rhodosphera rhodanthema</i>	Deep yellow wood

Screening Species - 4 to 5 metres

Botanical Name	Common Name
Acacia species	Wattles - A.bailyana

	A.deanii
	A.fimbriata
	A.floribunda
	A.longifolia
	A.podalriifolia
Babingtonia similis	Twiggy baeckea
Banksia species	Banksias - B.collina
	B.ericifolia
	B.spinulosa
Callistemon species	Bottlebrushes
Grevillea species	Grevilleas - G.banksii
	G.costal glow
	G.hookeriana
	G.poorinda constance
Hakea species	Hakeas - H.salicifolia
Leptospermum species	Tea trees - L.copper glow
	L.laevigatum
	L.petersonii
Melaleuca species	Mel. citrinus
	Mel. endeavour
	Mel. eureka
	Mel. formosus
	Mel. hannah ray
	Mel. linariifolia
	Mel. linariifolia "Snowstorm"
	Mel. linariifolia "Snowfire"
	Mel. nodosa
	Mel. revolution gold
	Mel. snowfire
	Mel. viminalis "Pindi pindi"
	Mel viminalis "Wilderness White"
	Mel. viminalis "Wildfire"

Dwarf Shrubs / Rockery - 0.5 to 1.5 metres

Native Species	Exotic Species
Acacia fimbriata 'dwarf'	Codiaeum variegatum "Croton" species
Acmena smithii "Allyn Magic"	Gardenia florida
Austromyrtus dulcis	Murraya Paniculatum "Min a Min"

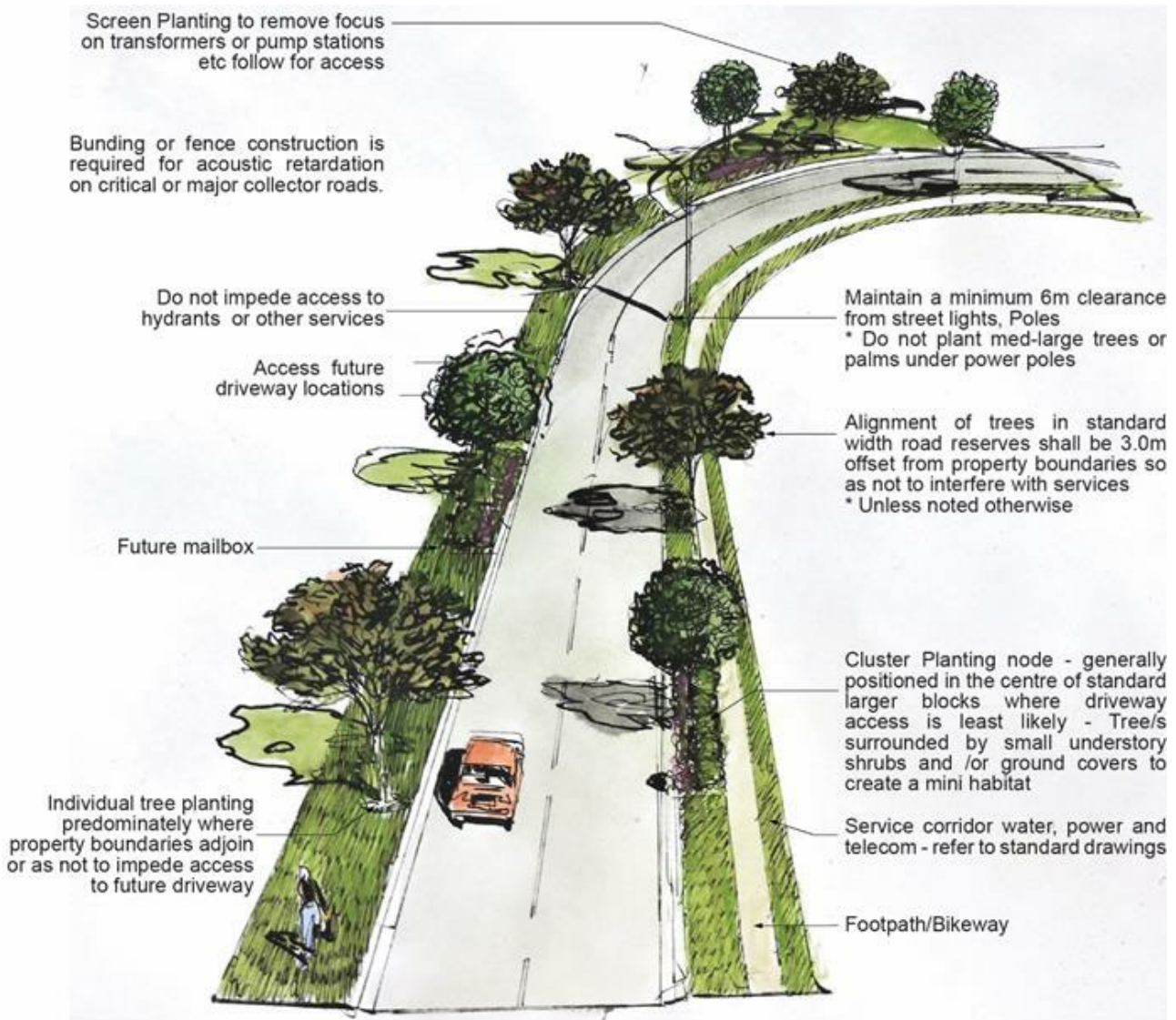
Babingtonia similis 'dwarf forms'	Nandina domestica 'nana'
Grevillea "Coconut ice "	
Grevillea "Forest Rambler"	
Grevillea "Ned Kelly"	
Grevillea "Robyn Gordon"	
Grevillea Superb	
Leptospermum flavescens "Cardwell"	
Melaleuca "Captain Cook"	
Melaleuca citrinus "Firebrand"	
Melaleuca linariifolia "Claret Tops"	
Melaleuca "Little John"	
Melaleuca "Snowflakes"	
Melaleuca "Snowstorm"	
Melaleuca thymifolia (Form)	
Melaleuca thymifolia (Pink)	
Melaleuca thymifolia (White Lace)	
Xanthostemon chrysanthus "Expo Gold"	
Xanthostemon chrysanthus "Little Goldie"	

Groundcovers / Vines / Prostrate Shrubs

Native Species	Exotic Species
Acacia amblygona	Alternanthera
Banksia integrifolia Dwarf form "Roller Coaster"	Evolvulus pilosus
Casuarina glauca " Cousin It"	Tracheleospermum jasminoides (Form)
Goodenia ovata "Edna Walling Coverup"	Tracheleospermum jasminoides "Tri-colour"
Grevillea biternata	
Grevillea "Bronze Rambler"	
Grevillea "Fanfare"	
Grevillea juniperina (Various colours)	
Grevillea lanigera "Mt Tamboritha"	
Hardenbergia violacea	
Leptospermum pacific beauty	
Leptospermum pink cascade	
Myoporum ellipticum	
Myoporum parvifolium "Fine leaf form"	
Myoporum parvifolium "Pink form"	

Clumping Bulbs, Lillies and Grass

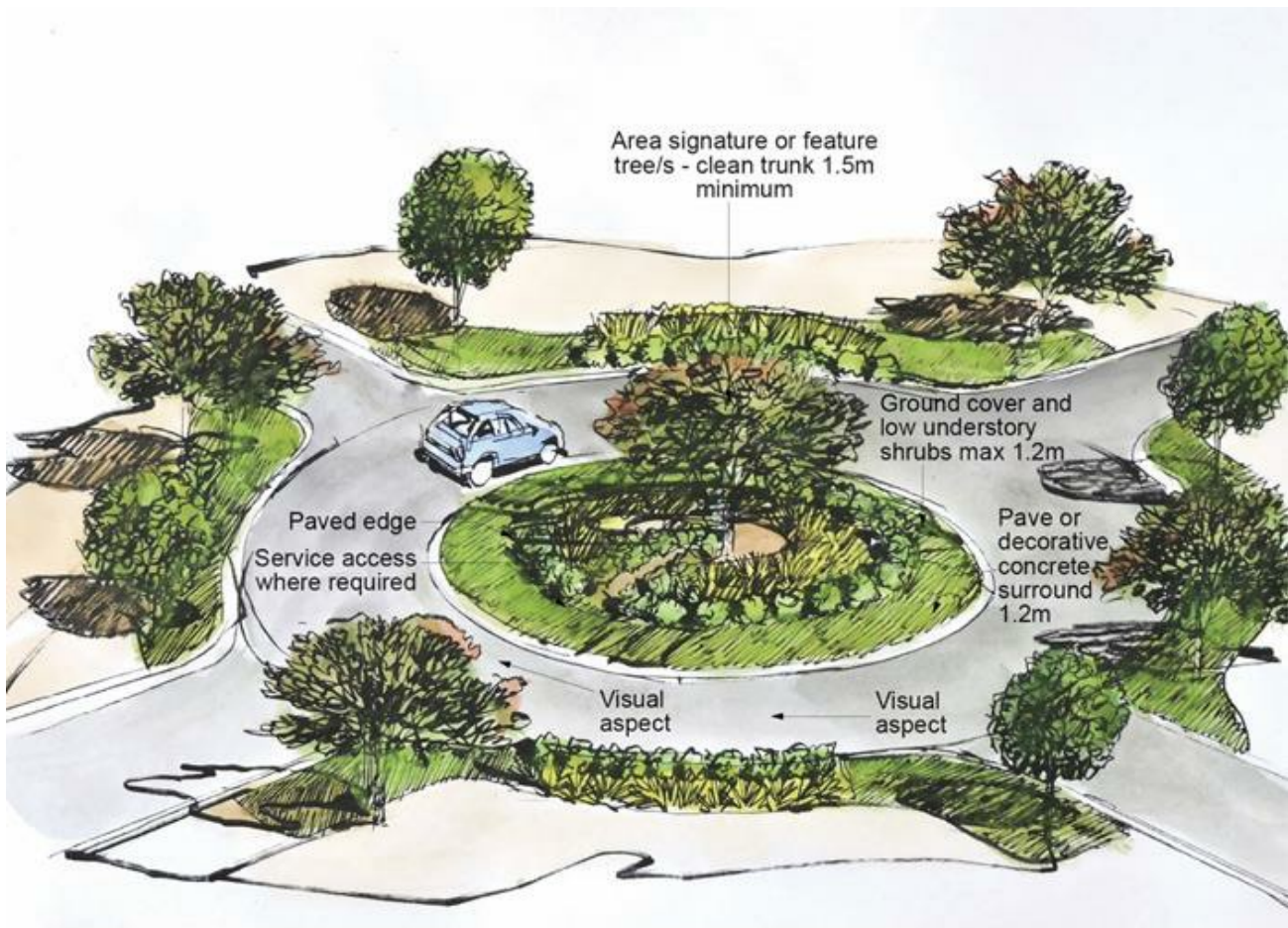
Native Species	Exotic Species
Alpinea caerulea	Agapanthus species
Crinum species	Festuca glauca
Dianella species	Hemerocallis species " Daylily"
	Ophiopogon japonicas "Mondo Grass"
	Ophiopogon intermedians alba " Stripey White"
	Strelitzia "Mandela gold"



CONCEPTUAL DRAWING ONLY - NOT TO BE USED FOR CONSTRUCTION PURPOSES

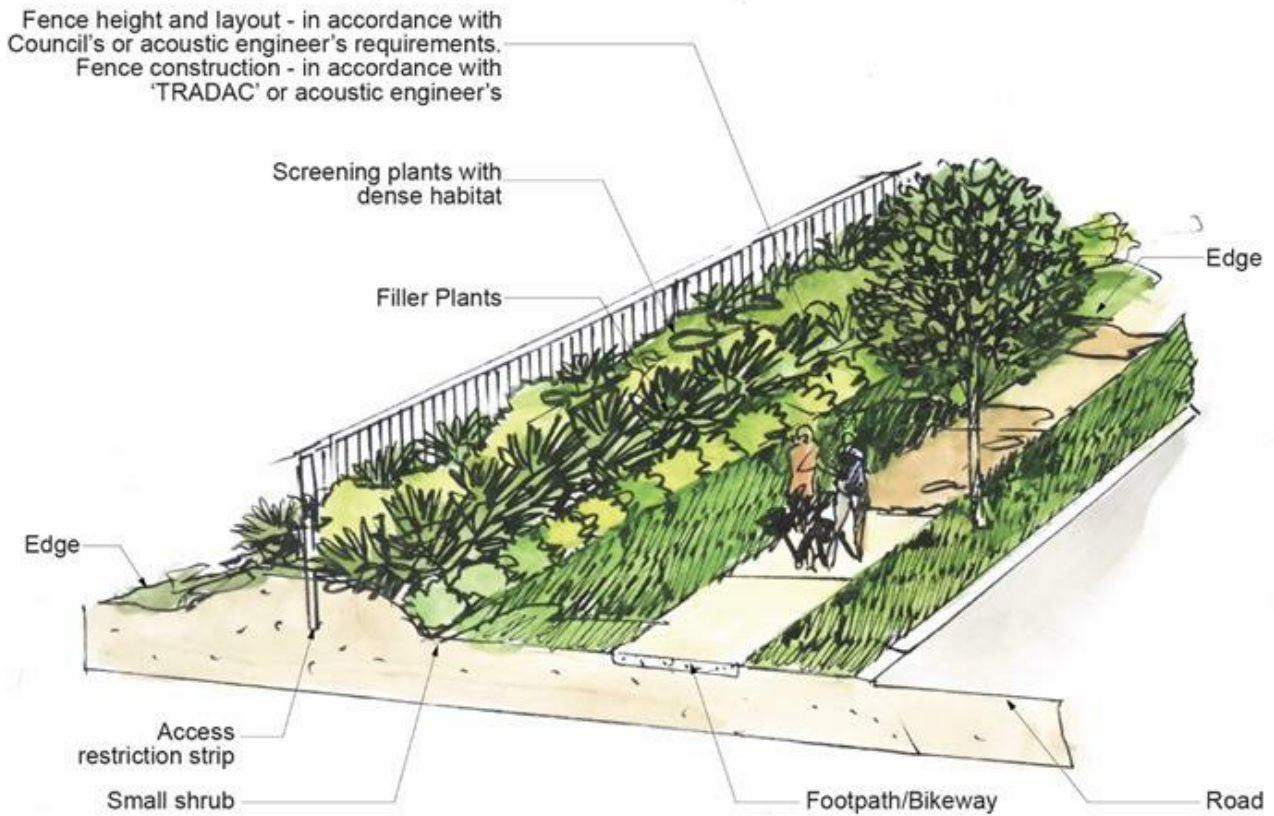
Note: This illustration is not an exclusive representation. Refer relevant design requirements and construction specifications.

Figure 9.1 — Streetscaping Guide



CONCEPTUAL DRAWING ONLY - NOT TO BE USED FOR CONSTRUCTION PURPOSES

Figure 9.2 - Typical Roundabout Landscape Treatment



CONCEPTUAL DRAWING ONLY - NOT TO BE USED FOR CONSTRUCTION PURPOSES

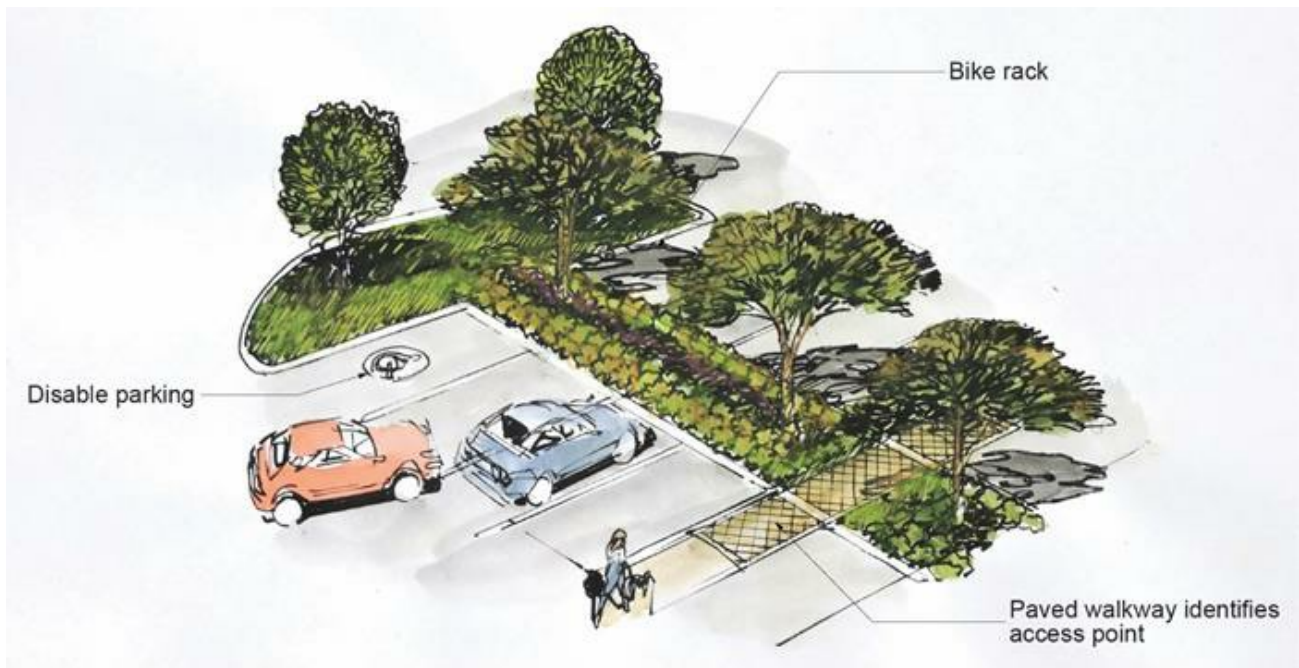
Note: Fence construction shown with capping, plinth and shiplap palings, to minimise air gaps. Where lay of land falls away from the road, acoustic fences required are generally lower in height than where land is higher than the road.

Figure 9.3 - Landscaping Solutions to Acoustic Structure along Arterial or Major Collector Roads



INDIVIDUAL PLANTING NODES

NOTE: Minimum soil landscape planted area is 10% of car park area



TRAFFIC ISLAND PLANTING TREATMENT

Note: Layout and selection of species are key factors. Designers should aim at one tree per 4 carparks minimum where possible. Species should generally:

- be hardy
- have an upright trunk or trained accordingly
- not have an overly aggressive root system that may disrupt pavement or services when planted
- provide good shade canopy
- not drop much undesirable litter e.g. fruit
- sub-surface drainage and/or irrigation may be required

Figure 9.4 - Landscape Solution to Open Car Parking Area

9.2.4.6 Construction - Landscaping

9.2.4.6.1 General

1. All workmanship must be:
 - a. of a workman like standard;
 - b. undertaken by suitably experienced contractors and staff;
 - c. by persons holding current licenses and insurances for the scope of works.
2. All manufactured items must be used in accordance with the manufacturer's specification.
3. Upon request samples must be provided to Council prior to construction.
4. The relevant standards of Standards Australia must be complied with for garden soils, timber preservation, paving, irrigation and plumbing works, chemical application and general landscape works.

9.2.4.6.2 Environmental Protection Measures

Best Practice Erosion and Sediment Control, International Erosion Control Association, (IECA) Australasia Chapter, 2008, measures are to be adhered to for all situations relating to Environmental issues.

Where existing vegetation is damaged or requires remedial action due to site works the plants or trees involved must be pruned or maintained by an experienced Arborist promptly to encourage regrowth and facilitate survival.

9.2.4.6.3 Landscaping, Parks and Environmentally Significant Areas

Where land, is an existing or proposed bushland reserve, park or conservation park, the following standards apply:

1. Compliance with the approved parkland management plan;
2. The area(s) must be clearly pegged, flagged or fenced, and inspected and approved by Council prior to any works commencing on the site;
3. The approved design for tree clearing must have identified any unavoidable intrusion into areas and nominated work practises such as maximum widths of disturbance, nominated access routes, methods and timing of rehabilitation, must be complied with;
4. Damaged or disturbance must be rehabilitated to pre-development standard;
5. Copies of the approved plans are to be kept on site at all times during construction.

9.2.4.6.4 Minor Landscaping Earthworks

The following requirements are for minor earthworks including trench works.

1. Fill, other than topsoil and garden soils must be generally free of:
 - a. excessive organic material
 - b. waste and toxic materials
 - c. site rubble and large rocks
2. Site rubble and large rocks must be generally removed from site, however may be buried where:
 - a. minimum 600mm cover provided
 - b. compacted to remove voids
 - c. no structures are to be built over burial sites
3. All fill areas including trench works must be compacted so as not to create subsidence problems.
4. Final grades must be surveyed to ensure crossfall is achieved - see **Table 9.2.4.6.4**. Subsoil drains will be required where surface drainage is impracticable or inadequate. Subsoil drainage must be in accordance with SRRC Standard Drawings **R-18, R-19 & R-20**.

Table 9.2.4.6.4 Minimum Required Crossfalls

Landscape Item	Min Required Crossfall
Stone mulched area	1:100
Grassed areas	1:50
Garden areas	1:25
Paved areas	1:100
Drainage pipe/trench base	1:100

5. All excavated or filled areas must be trimmed with minimum topsoil or garden soil as required. Trimming must be:
 - a. free of clods and rocks > 25mm and comply with soil specifications
 - b. even grades free of low points
 - c. feather edges to adjoining grades
6. Cultivation will be required to break up any hard pans and prepare ground suitable to promote a growing environment.

9.2.4.6.5 Topsoil and Garden Soil

1. It is a preferred outcome that on site topsoil be used. Such topsoil requires blending or conditioning to attain required specifications.
2. Soil stockpiles must be maintained to control weeds routinely and guard against dispersion by wind or water. Stockpiles must be limited to a height of two (2) metres and require covering or retaining. Stockpiles are not permitted in close proximity to residential properties.
3. Soil to be used must comply with the following specification:
 - a. friable and free draining
 - b. good texture and structure for selected use
 - c. acceptable conductivity and pH levels intended plant species groups to be planted
 - d. minimum depths
 - i. topsoil (turf and grass areas) 100mm
 - ii. garden soils (all other planted areas) 200mm
 - e. Composition to **AS 4419-2003 Soils for landscaping and garden use**:
 - i. sand 25-85%
 - ii. silt 0-50%
 - iii. clay 5-25%
 - iv. organic matter >2%
 - v. salinity (EC) <500 microsiemens / cm
 - vi. pH 5.5 to 7.0
4. Topsoil must be tested by an agronomist or laboratory to recommend fertiliser, treatment or cultural requirements for selected land use.
5. Heavier soils require application of gypsum, typically at a rate of between 2,000 and 2500 kg per hectare.
6. Topdressing where required must be predominantly a graded sandy loam, screeded over turf areas.

9.2.4.6.6 Fertilisers

1. An established and routine fertiliser regime must form an integrated component of the;
 - construction programme
 - maintenance programme
2. A fertiliser programme for all planted areas must be provided, based on agronomic and vegetative analysis which;
 - a. promotes vigorous growth throughout establishment
 - b. is applied and repeated at intervals based on fertiliser longevity and plant requirements, in accordance with agronomists or manufacturers recommendations.

9.2.4.6.7 Mulches

1. It is desirable that mulches be made and stored on site where suitable material is available.
2. Generally loose particle mulches must comply with the following requirements:
 - a. particle size range 5mm to 50mm
 - b. minimum depth:
 - i. garden beds, 75mm
 - ii. revegetation areas, 50mm
 - c. final mulch grade 25mm below edge treatments
 - d. free of weeds, soil, sticks and rocks
 - e. binding qualities to minimise dispersion by the elements or slope
 - f. durable - minimum 12 months effective longevity
 - g. remains pervious

3. The following mulch composition or origins are not acceptable;
 - a. sawdust
 - b. non-organic material
 - c. treated or painted timbers
 - d. noxious or undesirable weeds
 - e. not composted or stored sufficiently
 - f. not bind excessively so as to shed water
4. All garden beds and revegetation are required to be mulched.
5. Organic mulch matting is required for loose particle mulches on steep or unstable slopes.
6. Organic mulch matting must comply with the following requirements:
 - a. Natramat TM, 3mm coir fibre mat with latex bonding, or approved equivalent.
 - b. biodegradable
 - c. durable - effective longevity minimum requirement, 12 months (Maintenance period).
 - d. stake to secure effectively
 - e. overlap edges, layer with the direction of flow to prevent lifting
 - f. cut holes to locate containerised plant stock
 - g. repair accidental cuts by staked patches
7. The following mulch matting products are not acceptable:
 - a. non-organic material
 - b. nylon meshes or wire net binding

Editor's Note - Refer LCD-3 for typical revegetation mulches, LCD-4 for typical garden bed mulches.

9.2.4.6.8 Seeding

Seeding must be carried out by:

- reliable broadcast method
- scarifier or direct drill
- purpose built hydroseed/mulch mixer & pump

All seeding methods must ensure that the following requirements are met:

- selected seed is viable and not environmentally harmful
- application rates are adequate to provide full cover.

Minimum germination and cover requirements are:

- 75% germination after 2 months.
- 80% aerial coverage is to be achieved and maintained for a minimum period of 6 months before acceptance Off Maintenance.
- method of coverage is even and reliable.
- ground preparation is consistent with seeding method.
- soil moisture levels are maintained prior and after seeding to promote strong germination and establishment.
- weed competition is eliminated or sufficiently maintained.

All traffic to be kept off seeded areas during establishment. Failed seeded areas must be re-sowed promptly to ensure that adequate germination levels are likely to be attained.

9.2.4.6.9 Turfing

Turfed areas must be specifically required:

- in high traffic areas.
- on slopes or overland flows (to high water levels).
- in cleared areas prone to erosion and siltation problems.
- to frame or border the edge of treatments.

Turf must be supplied and installed in compliance with the following requirements:

- minimum quality 'B' grade, 85% dominance of specified grass.
- minimum 25mm turf sod, delivered moist and laid within 24 hours of cutting on farm.
- ensure appropriate ground preparation is carried out.
- final turf grade 25mm below top-grade edge treatment.
- free of undesirable or noxious weeds.
- irrigated and rolled promptly after laying.
- top dress and screed where required to level and fill gaps after first mow.
- maintained to avoid setback.

9.2.4.6.10 Planting

Containerised plant stock must be installed in compliance with the following requirements:

- minor root or canopy prune where required.
- excavate sufficient size planting holes, and backfill with suitable soil, whilst allowing for normal long term root development.
- position plant to ensure upon settlement top of root ball is level with final grade.
- stake plants as specified or where required - allow for removal prior to completion of maintenance period.
- fertilise and maintain so as to promote vigorous growth.

Street trees must conform to the following specifications:

- minimum container size - 200mm pot
- minimum single trunk clearance - 1m (streets), 1.7m (roundabouts)
- minimum trunk calliper - 20mm
- minimum overall height - 1.2m
- minimum canopy - 0.6m (balance and well formed)

Transplanting ex-ground stock must be carried out in accordance with the following provisions:

- plant material is authorised for removal under statutory requirements
- staged root and canopy pruning is carried out to minimise setback
- specimen may require repeat treatments of rooting hormones and/or anti-evapotranspirant to stabilise plant and stimulate regrowth
- root ball is wrapped and adequately protected to prevent disturbance throughout procedure
- standard maintenance program is upgraded to accommodate for careful monitoring throughout establishment.

9.2.4.6.10 Landscaping Structures

9.2.4.6.10.1 Edge Treatments

Edge treatments must comply with the following requirements:

- edge treatments are wide and mountable for ease of mowing and maintenance.
- turf or mulch should be 25mm below top grade of adjoining edge.
- minimum curvature radius at 3m.
- minimum access between edges and other treatments must be 3m.
- avoid restricting access into narrow corners.

Materials acceptable to Council for edge treatments are:

- pavers (clay/concrete)
 - ◊ minimum 60mm depth
 - ◊ minimum 110mm width (230 preferred)
 - ◊ mortar base and exposed edges 20mPa
 - ◊ ensure no cracking
- timber
 - ◊ minimum 150mm radius log (winged) or 200mm x 80mm sleeper.
 - ◊ suitably treated for direct burial.
 - ◊ finish ends and joints neatly.
 - ◊ securely pin and fix.
- continuous concrete
 - ◊ minimum width 150mm.
 - ◊ minimum depth 100mm.
 - ◊ minimum 20mPa concrete.
 - ◊ coloured or patterned.
 - ◊ finish end neatly and flush.
 - ◊ bolster cut control joints where required.
 - ◊ R12 re-bar centrally located
 - ◊ ensure no cracking.

9.2.4.6.10.2 Paving and Concrete

Construction details must clearly specify, and reference, particulars of paving and concrete works. Notations must indicate:

- colours.
- patterns.
- paver material, where applicable.
- exposed aggregate (size, colour, and surface texture).
- widths, thickness, strength, and reinforcement.
- base preparation.

9.2.4.6.10.3 Retaining Walls

Retaining walls included in landscape works less than 1.0m must be constructed of:

- Split face blocks
- Rendered concrete blocks
- Concrete sleepers (Plain or Timber look and colour)

Retaining structures exceeding this height require Engineering design and certification.

9.2.4.6.10.4 Fences and Barriers

Acoustic fences are required by Council along frontages to major roads. Such fences shall be constructed in accordance with an acoustic engineer's specification.

Acoustic fences shall require testing and certification at practical completion before being accepted On Maintenance.

Barrier fences shall be required to prevent vehicular trespass into parklands and other public open spaces.

9.2.4.6.10.5 Playground Equipment

The playgrounds are to comply with the requirements defined below and AS4685 - 2014 - Playground Equipment

and Surfacing set and AS4685 -2017 - Playground Equipment and Surfacing - development , installation inspection, maintenance and operation.

Playground equipment for public areas must:

- have Standards Association of Australia certification.
- be constructed of powder coated steel/ aluminium and Engineering grade UV resistant plastic.
- be set out on an approved sofffall pad.
- be durable, weather and vandal resistant.
- give due consideration to public health and safety.

9.2.4.6.10.6 Landscape Furniture and Structures

Landscape furniture and structures must:

- comply with relevant SAA requirement.
- be durable, vandal resistant and low maintenance.
- have coatings and surfaces that are weather and graffiti resistant.
- comply with statutory building and services requirements.
- be located to maximise public benefit without vehicular or pedestrian traffic problems.
- give due consideration to public health and safety.

9.2.4.6.11 Irrigation

9.2.4.6.11.1 General

Where there is reticulated water supply, automatic irrigation systems are to be provided to all garden beds constructed within road reserves, parks and open space as part of the development works. Where specifically required within the development conditions issued by Council, irrigation systems will also be required to be provided to grassed areas within parks and sporting fields. The irrigation systems are to comply with the requirements defined below and **AS 3500**. Drainage for gardens contained within the road pavement is to link to the established drainage systems and be of sufficient design to cater to the leached water. An impermeable membrane to 900mm depth is to surround the perimeter of gardens to prevent leaching of water into the road subgrade.

***Note** - Reticulated water is to be provided to irrigation systems via a water meter and backflow device - See Queensland Urban Utilities for further information. Payment of costs associated with irrigation water used to establish plants and to maintain the planting during the maintenance period is required to be made before Council will accept the development Off Maintenance.*

9.2.4.6.11.2 Layout

All irrigation systems are to be fully automatic pop-up spray, drip emitter or subsurface micro-porous flexible pipe. Spray sprinklers are to be located for head to head coverage and minimal over spray onto abutting hard finished surfaces. Main piping lines are to be specified as domestic grade piping. All trenches containing piping are to be sand backfilled.

Irrigation layout of parkland grassed areas is to include road verges along the parkland frontage with spray emitters located at the back of kerb. Appropriate filter screens are to be placed within the system adjacent to the connection to the water main. All irrigation emitters are to deliver sufficient precipitation for maximum soil absorption and water uptake by plants with minimum runoff. The design must prioritise deep, less frequent watering.

9.2.4.6.11.3 Water Meters

Water meters are to be installed at all connections to the watermains. Water meters are to be located as near as practical to the irrigation system being served. Where multiple irrigation systems are to be served, distribution manifolds are to be provided to limit the minimum water meter spacings to 100m.

Note - See *Queensland Urban Utilities* for further information.

9.2.4.6.11.4 Controllers

The controller must be installed in a metal cabinet that is lockable, dust proof and rust proof. It must be constructed so as to minimise the effects of vandalism. It must be easily accessible for maintenance and inspection.

The controller must be connected to a 240V power supply. All necessary approvals from, and all fees to, Energex associated with the electrical connection are to be paid before Council will accept the development Off Maintenance. The electrical system must be installed in accordance with the requirements of the relevant Australian Standard.

As a minimum specification controllers are to provide the following features:

- an operating voltage of either 12 or 24 volts.
- to be capable of full automatic unattended operation.
- dual programming with multiply start times per day and a 7 day programming ability.
- allow at least 1 free station per system to allow for future system adjustments.
- provide a pump/master valve circuit.
- manual and semi-manual override provision.
- capable of operating any combination of valves.
- all manuals and documentations associated with the above.

9.2.4.6.11.5 Wiring

All control wiring must not be less than 1.5 square millimetres and must be contained in continuous light grey, solvent welded PVC conduits. Underground wiring is to have a minimum cover of 350mm. Wiring joints are to be Spears DS-400 prefilled dri-spliced connections or similar. 500mm of excess length of wire is to be provided looped in all valve boxes.

9.2.4.6.11.6 Documentation

The following irrigation specific documentation is to be provided to Council before the development will be accepted on maintenance.

- dedicated irrigation 'As Constructed' drawings showing the location of all irrigation components and the sizes of connecting pipework.
- a schedule of all equipment installed including brand names and model numbers.
- operation manuals for system controllers.
- warranty documentation applicable to the system component.
- proposed watering program for the irrigation system.

9.2.5 Standard Drawings

Design and construction of infrastructure must comply with the Standard Drawings identified in **Table 9.2.5 Standard Drawings**.

Table 9.2.5 Standard Drawings

SRRC No.	Drawing Title	Version	Date
P-02	Park Name Sign	A	06/10
P-03	Garden Bed Edges	B	03/13
P-04	Lock Rail with Steel Post	A	06/10

P-05	Round Top and Angle Top Bollard	A	06/10
P-06	Log Barrier Fence	A	06/10
P-07	Timber and Mesh Fence	A	06/10
P-08	Timber One Rail and Two Rail Fence	A	06/10
P-09	Steel Gate	A	06/10
P-10	Horse Step Over	A	06/10
P-11	Personnel Gate	A	06/10
P-12	Turn style	A	06/10
P-13	Removable Bollard	A	06/10
P-14	Wheelie Bin Stand	A	06/10
P-15	Wheelie Bin Enclosure	A	06/10
P-16	General Tap and Maintenance Tap	A	06/10
P-17	Water Tap and Bubbler with Dog Bowl	A	06/10
P-18	Electric Barbecue Shelter	B	03/13
P-20	Toilet Block Siting	A	06/10
P-21	Picnic Node	A	06/10
P-22	Park Bench — Bolt Down	A	06/10
P-23	Park Bench — Embedded	A	06/10
P-24	Picnic Table/Double Pedestal — Bolt Down	A	06/10
P-25	Picnic Table/Double Pedestal — Embedded	A	06/10
P-26	Picnic Table/Single Pedestal — Embedded	A	06/10
P-27	Shelter Shed — Small	B	03/13
P-28	Shelter Shed — Medium	A	06/10
P-29	Shelter Shed — Large	A	06/10
P-30	Specimen Park/Street Tree Planting	A	06/10
P-31	Landscape Shrub/Ground Cover Planting	A	06/10
P-32	Playground Siting Plant	B	11/18
P-33	Playground Soft Fall Installation & Playground Shade Notes	B	11/18
P-34	Park Footpath Design	A	06/10
P-35	Landscape Details (playground)	A	11/18

10.0 As Constructed Requirements

10.1 Contents

Section	Title
10.1	Contents
10.2	Purpose
10.3	General Matters
10.4	Referenced Standards
10.5	Council Standards (including variations to Referenced Standards)
10.5.1	Requirements for ADAC Schema for stormwater and movement infrastructure assets
10.6	Standard Drawings

10.2 Purpose

The purpose of this Part is to:

1. detail As Constructed information to be submitted to Council prior to any construction being accepted On maintenance; and
2. specify the standard and manner of detail to be provided.

10.3 General Matters

1. All required *As Constructed* information must be submitted to Council prior to any construction being accepted On maintenance.
2. Any amendments required by Council must be completed and the information resubmitted to Council within one calendar month of the beginning of the On maintenance period, otherwise, the maintenance period will begin when Council has received the amended information.

10.4 Referenced Standards

10.4.1 The applicable standards for As-constructed requirements for stormwater and movement network infrastructure assets installed on land being existing or future Council controlled land:

1. Are the standards listed in **Table 10.4.1 Reference Standards** as varied, amended or removed by the standards specified in **Section 10.5.1**; or
2. Another suitable standard is agreed to by Council

Table 10.4.1 Referenced Standards

Standard	Applicable to
Asset Design and As Constructed (ADAC)- IPWEA	Stormwater and movement network infrastructure assets

10.5 Council Standards (including variations to Referenced Standards)

Editor's Note - includes standards not referred to in Referenced Standards and any variations to those standards

10.5.1 Requirements for ADAC Schema for stormwater and movement infrastructure assets

1. The ADAC asset data requirements for stormwater and movement infrastructure assets are set out in the latest ADAC schema specifications, as published by IPWEA or as otherwise informed. The document is available on the ADAC website (<http://www.engicom.com.au>).
2. The ADAC data file must only be generated from accurate survey information as this data is imported into relevant GIS systems.
3. For ADAC submissions as-constructed data must only contain final details of construction including the removal of any deletions, addition of any additional items and removal of any previously relocated items.
4. Where ADAC data is provided for stormwater drainage systems:
 - a. the pipes must be captured in the direction of flow;
 - b. all features in the ADAC specification must be collected;
 - c. the ends of line features must be snapped to point features;
 - d. the stormwater pipe elements must be broken at fittings and changes in pipe attributes;
 - e. the stormwater pipe elements must be broken by access pits or maintenance shaft points or by changes in pipe attributes.
5. ADAC files:
 - a. must be provided electronically in .dwg and .xml formats according to the latest version of the ADAC schema;
 - b. must conform to the ADAC .xml data specification as published by the Institute of Public Works Engineering Australia;
 - c. must include project cross reference metadata for ADAC xml fillies;
 - d. have mandatory fields and must be filled in with correct information and never left blank.

10.6 Standard Drawings

10.6.1 The Standard Drawings listed in **Table 10.6 Standard Drawings** are the minimum standard of design and construction for this Part.

Table 10.6 Standard Drawings

Standard Drawing Number	Name
None applicable	

11.0 Manuals for Mechanical and Electrical Equipment

11.1 Contents

Section	Title
11.1	Contents
11.2	Purpose
11.3	General Matters
11.4	Referenced Standards
11.5	Council Standards (including variations to Referenced Standards)
11.5.1	Manual Construction
11.5.2	Documentation
11.6	Standard Drawings

11.2 Purpose

The purpose of this Part is to:

1. Ensure appropriate Operation and maintenance manuals must be provided covering the installation, commissioning, operation and maintenance of any mechanical or electrical equipment supplied.

11.3 General Matters

Manual Detail

Manuals must:

1. be sufficiently comprehensive to enable Council's staff to operate and maintain the equipment in an efficient and workmanlike manner;
2. include descriptive information relating to individual items of equipment to assist personnel in becoming familiar with the equipment and its operation;
3. include clear and concise instructions so as to allow proper and safe installation, commissioning, operation, correct maintenance, and compliance with the Manufacturer's Warranty.

Such information must relate specifically to the equipment as supplied. Any information which does not pertain to the equipment supplied must be removed or deleted. Maintenance instructions must be in sufficient detail to enable overhaul and replacement of all parts.

Submission

One (1) draft copy of the Manual to Council must be submitted to Council for review and approval. Council will return a copy of this draft with appropriate comments.

Three (3) copies of the final Manual, including amendments based on Councils review, must be provided to Council before the works will be accepted *On maintenance*.

Addenda

Should it become necessary to modify, or add to, the final Manual at some later stage, e.g. to include As Constructed information, copies of the addenda must be provided to Council for inclusion within the existing Manuals.

Should the addenda modify the existing Manuals extensively, the Manuals must be renewed completely.

11.4 Referenced Standards

11.4.1 The Standards listed in **Table 11.4.1 Reference Standards** are the applicable standards for mechanical and electrical equipment installed on land being existing or future Council land except where:

1. The standard is in conflict with a standards specified in **Section 11.5**; or
2. The standard is varied, amended or removed by the standards specified in **Section 11.5**.

Table 11.4.1 Referenced Standards

Standard	Applicable to
AS1000 The International System of Units (SI) and its Application.	
AS1100 Drawing Practice	
AS1101 Graphical Symbols for General Engineering	
AS1102 Graphical Symbols for Electrotechnical Documentation	

11.5 Council Standards (including variations to Referenced Standards)

Editor's Note - includes standards not referred to in Referenced Standards and any variations to those standards

11.5.1 Manual Construction

- a. The document(s) must be A4 size, bound in hard cover binders.
- b. An electronic copy must be provided in .pdf format.
- c. Plans must be in .dwg format.
- d. All units must be SI units.
- e. All information must be in English.
- f. All data sheets for proprietary equipment plant must be clearly reproduced and must indicate the appropriate information pertinent to the installation.
- g. The title and drawing number (issued by Council) must be displayed on the front cover and spine of the document to enable the Manual to be included in the Drawing Register.

11.5.2 Documentation

The document(s) must contain the following - as a minimum:

- a. Equipment specification including a complete system description, and a full specification for each individual item of equipment.
- b. A complete listing of the plant, equipment, valves, pipes, etc., supplied and installed including model and

- serial numbers.
- c. Functional description of its operation.
 - d. Erection, assembly, installation, pre-commissioning and commissioning instructions and diagrams.
 - e. Detailed operating instructions.
 - f. Service and maintenance schedule and instructions including dismantling/assembly procedures, and a table of maintenance tasks showing recommended time intervals between carrying out these tasks.
 - g. Lubrication schedule, including details of lubricant types, grades and trade names, initial fill quantities, and relubrication quantities and intervals.
 - h. Tabulation of all consumables excluding lubricants (e.g. fuel type and quantity, electrical components, chemicals, etc.)
 - i. Performance specification (including commissioning data).
 - j. Certified test sheets for all tests required by Council
 - k. Drawings (reduced to A3 or A4 size):
 - Equipment specification including a complete system description, and a full specification for each individual item of equipment.
 - A complete listing of the plant, equipment, valves, pipes, etc., supplied and installed including model and serial numbers.
 - Functional description of its operation.
 - Erection, assembly, installation, pre-commissioning and commissioning instructions and diagrams.
 - Detailed operating instructions.
 - Service and maintenance schedule and instructions including dismantling/assembly procedures, and a table of maintenance tasks showing recommended time intervals between carrying out these tasks.
 - Lubrication schedule, including details of lubricant types, grades and trade names, initial fill quantities, and relubrication quantities and intervals.
 - Tabulation of all consumables excluding lubricants (e.g. fuel type and quantity, electrical components, chemicals, etc.)
 - Performance specification (including commissioning data).
 - Certified test sheets for all tests required by Council
 - Drawings (reduced to A3 or A4 size):
 - l. Addresses, telephone and facsimile numbers of suppliers and local agents for all items of equipment.
 - m. List of all parts, with every component cross-referenced to drawings, together with the necessary details for ordering these, including proprietary catalogue numbers and names.
 - n. Software listing, if appropriate, and details of all software.
 - o. Programming guide, if appropriate.
 - p. Assembly and installation instructions.
 - q. Trouble shooting guide.
 - r. Recommended settings and calibration details of any protection or control device.
 - s. A comprehensive index for each set of the specified Manuals.

11.6 Standard Drawings

11.6.1 The Standard Drawings listed in **Table 11.6 Standard Drawings** are the minimum standard of design and construction for this Part.

Table 11.6 Standard Drawings

Standard Drawing Number	Name
None applicable	

12.0 Bonding and Insurance

12.1 Contents

Section	Title
12.1	Contents
12.2	Purpose
12.3	General Matters
12.4	Referenced Standards
12.5	Council Standards (including variations to Referenced Standards)
12.5.1	Indemnity
12.5.2	Insurances
12.5.3	Bonding
12.6	Standard Drawings

12.2 Purpose

The purpose of this Part is to:

1. ensure the timely and proper performance of the works; and
2. ensure public liability is adequately insured against and Council is indemnified.

12.3 General Matters

An estimate of the cost of works (in the form of a schedule of rates) is required to enable the determination of a security value.

12.4 Referenced Standards

12.4.1 The Standards listed in **Table 12.4.1 Reference Standards** are the applicable standards for existing or future Council land except where:

1. The standard is in conflict with a standards specified in **Section 12.5**; or
2. The standard is varied, amended or removed by the standards specified in **Section 12.5**.

Table 12.4.1 Referenced Standards

Standard	Applicable Sections	Applicable to
None applicable		

12.5 Council Standards (including variations to Referenced Standards)

Editor's Note - includes standards not referred to in Referenced Standards and any variations to those standards

12.5.1 Indemnity

An Indemnity, where required, must indemnify and keep indemnified, the Scenic Rim Regional Council and its Councillors, employees and agents against;

- a. all loss of or damage to the property of Council (including The Council-controlled road) and from and against any claim, demand, action, suit or proceeding that may be made or brought by any person against The Council.
- b. personal injury to or the death of any person whomsoever or loss of or damage to any property whatsoever arising out of or as a consequence of the construction or maintenance of the works including associated employees, agents or sub-Contractors and also from any costs and expense that may be incurred in connection with any such claim, demand, action, suit or proceeding.

12.5.2 Insurances

1. Public Liability Insurance must:
 - a. include the Scenic Rim Regional Council, the person who benefits from the development, staff and all sub-Contractors employed from time to time in relation to the works to be carried out for their respective rights and interests to cover their liabilities to third parties including the liabilities;
 - b. include a cross-liability Clause in which the insurer agrees to waive all rights of subrogation or action that he may have or acquire against all or any of the person comprising the insured and for the purpose of which the insurer accepts the term "insured" as applying to each of the person comprising the insured as if a separate policy of insurance had been issued to each of them (subject always to the overall sum insured not being increased thereby).
 - c. be for an amount not less than ten million dollars (\$10,000,000.00) and must be effected with an insurer or insurers approved in writing by the Scenic Rim Regional Council and in terms approved in writing by the Scenic Rim Regional Council, which approval must not be unreasonably withheld. The policy must be maintained until the Scenic Rim Regional Council has formally accepted the works Off-maintenance.
2. An insurance policy must be taken out giving cover to the person who benefits from the development, staff and all sub-Contractors against any liability, loss, damage, claim, demand, action, suit or proceeding, costs and expenses whatsoever arising at Common Law or under any statute or other legislative provision, including any statute or such provision relating to worker's compensation, as a result of personal injury to or the death of any person employed by the insured in or about the execution of the work.
3. Each policy of insurance effected as required by Part 12 must contain provisions that will:
 - a. Require the insurer, whenever the insurer gives to or serves upon the insured a notice of cancellation or any other notice under or in relation to the policy, at the same time to inform the Scenic Rim Regional Council in writing that the notice has been given to or served upon the insured; and
 - b. Provide that a notice of claim given to the insurer by the Scenic Rim Regional Council or the insured must be accepted by the insurer as a notice of claim given to the insurer by the Scenic Rim Regional Council and the sub-Contractor, as the case may require.
4. Prior to the commencement of work and whenever requested in writing from time to time thereafter to do so by the Scenic Rim Regional Council evidence must be provided of the currency of insurances effected and maintained for the purpose of Part 12. If, within 7 days of being requested in writing by the Scenic Rim Regional Council to do so, evidence of compliance with its insurance obligations under Part 12 is not provided, the Scenic Rim Regional Council may effect and keep in force any such insurance and pay premiums as may be necessary for that purpose and the amount so paid shall be a debt due to the Scenic Rim Regional Council.
5. The insured must:
 - a. as soon as practicable, inform the Scenic Rim Regional Council in writing of the occurrence of an event that may give rise to a claim under a policy of insurance effected as required by Part 12; and
 - b. must ensure that the Scenic Rim Regional Council is kept fully informed of subsequent action and developments concerning the claim;
 - c. take such steps as are necessary or appropriate to ensure that a sub-Contractor will, in respect of an event or claim of a like nature arising out of or relating to the operations or responsibilities of the sub-Contractor, take in relation to the Scenic Rim Regional Council the like action to the which the Company is required to take under this paragraph.

12.5.3 Bonding

A Bond may be required, as a condition of development approval, for the purpose of ensuring the due and proper performance of the works including;

1. **On-maintenance Security** - to provide security for repairs or emergency actions arising during the maintenance period of a completed development;
2. **As-constructed Drawings** - to provide security to ensure submission of as-constructed drawings while allowing process towards endorsement of Survey Plans;
3. **Vegetation Clearing** - to provide security to ensure only approved vegetation is cleared, and/or makes good any damage to other vegetation;
4. **Siltation and Erosion Performance** - to provide security to ensure the installation and/or maintenance of siltation and erosion control during the construction and/or maintenance period;
5. **Operational Works Security (within a Road Reserve)** - to provide security for repairs or emergency actions arising where works are conducted on a road reserve.

12.5.3.1 Bonding Amounts

The amount of a Bond must be:

1. Where the estimated work value of is up to \$20,000.00, a \$3,000.00 security deposit; or
2. Where the estimated work value is between \$20,000.00 to \$50,000.00, a \$5,000.00 security deposit; or
3. Where the estimated work value exceeds \$50,000.00 - a security deposit of \$5,000.00 plus 2.5% of the estimated amount exceeding \$50,000.00; or
4. Such other amount, upon assessment of the development application, which is appropriate to provide security against the degree of risk or costs associated with the development.

Note - The amount of the bond must be determined considering all matters relating to the development including any high value vegetation, risk of sediment and erosion, non-standard designs or likely maintenance costs.

Editor's Note - An estimate of the work value (in the form of a schedule of rates) must be provided to Council prior to the lodgement of security.

12.5.3.2 Provision Of Security

The security deposit must be in accordance with Councils administrative policy regarding the form of security that will be accepted.

Editor's Note - refer to www.scenicrim.qld.gov.au

12.5.3.3 Conversion Of Security

1. The Council may convert into money at any time, such part of the Security Deposit, which does not consist of money, and the Council may do so whether or not it is entitled to exercise a right under these Conditions of Approval in respect of the security.
2. The Council shall not be liable in any way for any loss occasioned by the conversion of any security into money.

12.5.3.4 Recourse To Security Moneys

The Council shall have recourse to the Security Deposit in the following circumstances:

1. failure to complete the works associated with conditions of a development approval within the nominated time or such other extensions as granted by Council; or
2. Failure to satisfactorily rectify defects to the as indicated at the On Maintenance or Off Maintenance inspections within the time period nominated in the notice of defects. Where no time period is nominated, 30 days from the date of notice must be permitted to rectify defects.

If the value of works undertaken by the Council pursuant to this clause exceeds the value of the security deposit, such costs shall be payable to Council.

12.5.3.5 Release Of Security

The Council will release the balance of the security deposit once Council has formally accepted the works Off-maintenance.

12.6 Standard Drawings

12.6.1 The Standard Drawings listed in **Table 12.6 Standard Drawings** are the minimum standard of design and construction for this Part.

Table 12.6 Standard Drawings

Standard Drawing Number	Name
None applicable	

13.0 Standard Drawings

13.1 Contents

Section	Title
13.1	Contents
13.2	Purpose
13.3	General Matters
13.4	Referenced Standards
13.5	Council Standards (including variations to Referenced Standards)
13.5.1	Minimum Standard
13.6	Standard Drawings

13.2 Purpose

The purpose of this Part is to:

1. Detail minimum standards of construction for infrastructure;
2. Provide standard drawings to assist in the design of infrastructure.

13.3 General Matters

1. Standard Drawings prefixed DTMR refer to the most current version of standard drawings produced by and available from the Department of Transport and Main Roads (DTMR). Refer to <http://www.tmr.qld.gov.au> for details.
2. Where any conflict exists between standard drawings of DTMR and Council, the Council standard drawings must prevail.

13.4 Referenced Standards

13.4.1 The Standards listed in **Table 13.4.1 Reference Standards** are the applicable standards for standard drawings except where:

1. The standard is in conflict with a standards specified in **Section 13.5**; or
2. The standard is varied, amended or removed by the standards specified in **Section 13.5**.

Table 13.4.1 Referenced Standards

Standard	Applicable Sections	Applicable to
None applicable		

13.5 Council Standards (including variations to Referenced Standards)

Editor's Note - includes standards not referred to in Referenced Standards and any variations to those standards

13.5.1 Minimum Standard

The Standard Drawings specified in **Section 13.6** are the minimum standard of design and construction for the matter referred to in the drawing, including where not specifically referred to elsewhere in PSP 1 - Infrastructure Design.

13.6 Standard Drawings

13.6.1 The Standard Drawings listed in:

1. **Table 13.6.1 Roadworks Standard Drawings**
 2. **Table 13.6.2 Drainage Standard Drawings**
 3. **Table 13.6.3 Parks Standard Drawings**
- are the minimum standard of design and construction for this Part.

Table 13.6.1 Roadworks Standard Drawings

SRRC No./ DTMR No.	Drawing Title	Version	Version Date
Public Utilities			
R-02	Public Utilities — Typical Service Corridors and Alignments	A	08/10
R-03	Public Utilities — Typical Service Conduit Sections	A	08/10
General Earthworks			
DTMR 1045	Revegetation — Treatment of Cut Batters		
DTMR 1178	Diversion of Water — Diversion of Water from Roadway & Table Drain		
Kerb and Channel			
R-04	Kerb and Channel Profiles and Dimensions	C	03/13
Driveways			
R-05	Residential Driveways	D	03/13
R-06	Non-Residential Driveway	C	12/10
R-07	Rural/Rural Residential Access (Single & Double) — Piped	E	03/13
R-08	Rural/Rural Residential Access (Single & Double) — Invert	E	03/13
Cross Sections			
R-09	Typical Cross Sections — Residential Street	B	08/10
R-10	Typical Cross Sections — Rural Roads — Class 4	C	03/13
R-11	Typical Cross Sections — Rural Roads — Class 5	C	03/13
R-12	Pavement Extension — Trenching and Widening	C	03/13
Footpaths			
R-13	Concrete Path	C	12/10
R-14	Residential Drainage Connections	A	08/10
R-15	Street Name Sign	C	12/10
R-16 A-D	Kerb Ramp for Paths — Typical Detail Sheet 1	A	09/10

R-17	Kerb Ramp for Paths — Typical Detail Sheet 2	A	09/10
Subsoil Drains			
R-18	Subsoil Drains — Access Point	A	08/10
R-19	Subsoil Drains — Detail	A	08/10
R-20	Subsoil Drains — Typical Median Locations	A	08/10
Guardrail			
DTMR 1474	Steel Beam Guardrail — Installation and Stouts		
DTMR 1475	Steel Beam Guardrail — Installation on Bridge and Barrier Approaches		
DTMR 1476	Steel Beam Guardrail — Terminal Components		
DTMR 1477	Steel Beam Guardrail — Posts and Blockouts, Soil and Bearing Plates, Slip Base Plate		
DTMR 1478	Steel Beam Guardrail — W Beam Anchor Bracket Delineation Unit Post on Base Plate Abraham Blockout		
DTMR 1479	Steel Beam Guardrail — Bolts, Nuts, Screws and Washers Cable Assembly with Fasteners		
DTMR 1480	Steel Beam Guardrail — Fabrication Details for W Beam Rails and rail Components		
DTMR 1481	Steel Beam Guardrail — Fabrication Details for Thrie Beam Rails and Rail Components		
DTMR 1482	Steel Beam Guardrail — W Beam and Thrie Beam Assemblies		
DTMR 1483	Steel Beam Guardrail — Thrie Beam Layouts		
DTMR 1484	Steel Beam Guardrail — Batter Slope Terminals (1 on 1 or steeper)		
DTMR 1485	Steel Beam Guardrail — Reinforcing Details for Concrete Terminal Block		
DTMR 1488	Steel Beam Guardrail — Thrie Beam Bullnose Installation and set out		
DTMR 1489	Steel Beam Guardrail — Thrie Beam Bullnose Components		
DTMR 1490	Steel Beam Guardrail — Installation and set out Footing Details		
DTMR 1491	Steel Beam Guardrail — Standard Guardrail Attachments to Culvert, Fabrication and Assembly Details		
DTMR 1493	Steel Beam Guardrail — W Beam Connections for Concrete End Posts		
DTMR 1494	Steel Beam Guardrail — Thrie Beam Connections for Concrete End Posts		
DTMR 1508	Bridge Barriers — Steel Bridge Connections for Concrete End Posts		
DTMR 1509	Bridge Barriers — Steel Bridge Traffic Rail End Post w Beam Connection		
DTMR 1510	Bridge Barriers — Steel Bridge Traffic Rail End Post Thrie Beam Connection		
DTMR 1511	Bridge Barriers — Bridge Safety Rail		
DTMR 1512	Bridge Barriers — Bridge Balustrade		

Grids			
DTMR 1351	Road Furniture — Motor Grid		
DTMR 1352	Road Furniture — Motor Grid with Vermin & Dog Fencing		
DTMR 1353	Road Furniture — Vermin & Dog Fencing at Motor Grid		
DTMR 1354	Road Furniture — Standard Bicycle Safe Fitting to Existing Motor Grid		
DTMR 1355	Road Furniture — Alternative Bicycle Safe Fitting to Existing Motor Grid		
DTMR 1448	Road Furniture — Motor Grid (RHS Rails)		
DTMR 1449	Road Furniture — Motor Grid (RHS Rails) with Vermin & Dog Fencing		
Fencing			
DTMR 1600	Fencing - Rural Fence and Gates (Timber Posts and Stays)		
DTMR 1601	Fencing - Rural Fence and Gates (CHS Posts and Stays)		
R-21	Fencing — 4 & 6 Strand Wire Fencing	A	09/10
R-22	Fencing — Chain Wire Security Fencing	A	09/10
R-23	Fencing — Weldmesh Fencing & Control Fence	A	09/10
R-24	Fencing — Tubular Steel Fence with & without Chain Wire	A	09/10
Bikepaths			
R-25	Bikepath Entrance to Road Reserve	B	12/16
R-26	Bikepath Pavement Joints	A	09/10
R-27	Bikepath Slowdown Control — Reverse Curve	A	09/10
R-28	Bikepath Slowdown Control - Chicane	B	09/10

Table 13.6.2 Drainage Standard Drawings

SRRC No./ DTMR No.	Drawing Title	Version	Version Date
Reinforcing			
DTMR 1043	Reinforcing Steel — Standard Bar Shapes		
DTMR 1044	Reinforcing Steel — Standard Hook, Lap and Bend Details and General Steel Reinforcement Information		
Pipes and Culverts			
DTMR 1174	RC Slab Desk Culverts — Construction of End Structure (H 150 — 600)		
DTMR 1303	RC Box Culverts & Slab Link Box Culverts — Construction of Reinforced Concrete Wingwalls and Headwalls		
DTMR 1304	Pipe Culverts — Construction of Reinforced Concrete Wingwalls and Aprons for Pipe oslash. Up to 2400		
DTMR 1305	End to Pipe Culverts — General Arrangement and Installation of Wingwalls, Headwalls & Aprons		
DTMR 1306	Ends to Pipe Culverts — Construction of Unreinforced Wingwalls,		

	Headwalls and Aprons		
DTMR 1309	Concrete Gully — Field Inlet Type 1		
DTMR 1310	Concrete Gully — Field Inlet Type 2		
DTMR 1316	RC Box Culverts & Slab Link Box Culverts — General Arrangement and Installation of Precast Units		
DTMR 1317	RC Box Culverts & Slab Link Box Culverts — Construction of Bases with Nibs and Aprons		
DTMR 1318	RC Box Culverts & Slab Link Box Culverts — Construction of Bases with Recesses and Aprons		
DTMR 1319	RC Box Culverts & Slab Link Box Culverts — Construction of Unreinforced Wingwalls and RC Headwalls (H 750 — 2400)		
DTMR 1320	RC Box Culverts & Slab Link Box Culverts - Crown Unit Holding Down Anchors		
Stormwater Manholes			
D-02	Stormwater Access Chamber Detail (Dia 1050 — 2100)	A	10/10
D-03	Stormwater Gully — Roadway — Grate and Frame	A	10/10
D-04	Stormwater Manhole Roof Slab — \varnothing 1050 — 2100	A	10/10
D-05	Stormwater Manhole Roof Slab — \varnothing 1500 — Extended 600 and 900	A	10/10
D-06	Stormwater Manhole Roof Slab — Rectangular Fabric Reinforcement	A	10/10
D-07	Stormwater Manhole Roof Slab — Rectangular Standard Reinforcement	A	10/10
D-08	Stormwater Manhole Cast Iron Cover & Frame C.I. Concrete Filled Cover	A	10/10
D-09	Stormwater Manhole Cast Iron Cover & Frame Bolt Down	A	10/10
D-10	Stormwater Manhole Step Irons	A	10/10
Roofwater			
D-11	Roofwater Inspection Chamber — Interallotment Drainage	A	10/10
Drainage Pits			
D-12	Drainage Pits — Kerb Inlet — Kerb and Lip In Line	A	10/10
D-13	Drainage Pits — Kerb Inlet — Kerb in Line (Anti-Ponding)	A	10/10
D-14	Drainage Details — Culvert Inlet Screen	A	10/10
Excavation, Bedding and Backfilling			
D-15	Excavation, Bedding and Backfilling of Concrete Reinforced Drainage Pits	A	10/10
D-16	Excavation, Bedding and Backfilling of Precast Box Culverts	A	10/10

Table 13.6.3 Parks Standard Drawings

Table 13.6.3 Standard Drawings

SRRC No.	Drawing Title	Version	Date
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P-02	Park Name Sign	A	06/10
P-03	Garden Bed Edges	B	03/13
P-04	Lock Rail with Steel Post	A	06/10
P-05	Round Top and Angle Top Bollard	A	06/10
P-06	Log Barrier Fence	A	06/10
P-07	Timber and Mesh Fence	A	06/10
P-08	Timber One Rail and Two Rail Fence	A	06/10
P-09	Steel Gate	A	06/10
P-10	Horse Step Over	A	06/10
P-11	Personnel Gate	A	06/10
P-12	Turn style	A	06/10
P-13	Removable Bollard	A	06/10
P-14	Wheelie Bin Stand	A	06/10
P-15	Wheelie Bin Enclosure	A	06/10
P-16	General Tap and Maintenance Tap	A	06/10
P-17	Water Tap and Bubbler with Dog Bowl	A	06/10
P-18	Electric Barbecue	B	03/13
P-20	Toilet Block Siting	A	06/10
P-21	Picnic Node	A	06/10
P-22	Park Bench — Bolt Down	A	06/10
P-23	Park Bench — Embedded	A	06/10
P-24	Picnic Table/Double Pedestal — Bolt Down	A	06/10
P-25	Picnic Table/Double Pedestal — Embedded	A	06/10
P-26	Picnic Table/Single Pedestal — Embedded	A	06/10
P-27	Shelter Shed — Small	B	03/13
P-28	Shelter Shed — Medium	A	06/10
P-29	Shelter Shed — Large	A	06/10
P-30	Specimen Park/Street Tree Planting	A	06/10
P-31	Landscape Shrub/Ground Cover Planting	A	06/10
P-32	Playground Siting Plant	A	06/10
P-33	Playground Soft Fall Installation & Playground Shade Notes	A	06/10
P-34	Park Footpath Design	A	06/10

Sch 6.2.2 Planning Scheme Policy 2 - Landscape Design



SC6.2.2.1 Introduction

1. Title

This planning scheme policy may be cited as Planning Scheme Policy 2 - Landscape Design.

2. Purpose of this Planning Scheme Policy

- a. The purpose of this planning scheme policy is to ensure that development complies with the local government's standards for the planning, design, location and construction of landscaping that addresses landscape outcomes by:
 - i. identifying the differing standards for each of the landscape types;
 - ii. specifying landscape design requirements;
 - iii. specifying appropriate tree species;
 - iv. providing typical designs of landscapes.

3. Structure of this Planning Scheme Policy

- a. This planning scheme policy is divided into four parts, being:
 - i. Part 1 Introduction - Section 1
 - ii. Part 2 Typical Landscape Designs - Section 2
 - iii. Part 3 General Design Guidelines - Sections 3-19
 1. Design Guidelines for Development
 2. Understorey
 3. Wet Areas
 4. Planting to Restore Habitat
 5. Planting Size
 6. Layout - Plant Density and Grouping
 7. Design for Low Maintenance
 8. Planting in Vicinity of Sewers and Manholes
 9. Preparation of Garden Beds For Public Land Including Road Reserves and Parks
 10. Planting Procedures
 11. Mulch Types
 12. Soil Nutrients and Fertilising
 13. Water Crystals
 14. Watering Systems
 15. Watering Plants
 16. Staking of Trees

- 17. Establishment
- 18. Plant Species Selection
- 19. Climate Control and Energy Efficiency
- iv. Part 4 Preferred Landscape Species.

4. Commencement

This planning scheme policy commences on the date of the Scenic Rim Planning Scheme.

5. Relationship to the Planning Act 2016

This planning scheme policy is made pursuant to the *Planning Act 2016*.

6. Applicability of this Planning Scheme Policy

This planning scheme policy applies to assessable development.

7. Relationship to Other Legislation and Standards

This Policy must be read in conjunction with Council's Planning Scheme, statutory requirements including Council Local Laws, the Act and other references/standards as detailed herein.

8. Referenced Documents

Any non-local government publication referenced must be sourced directly.

9. Reference to Policy

The term *Policy*, when used herein, refers to Planning Scheme Policy 2 - Landscape Design.

10. Terminology

Terms used in the Policy are defined in Schedule 1 - Definitions.

SC6.2.2.2 Typical Landscape Designs

SC6.2.2.2.1 Aesthetic Landscaping:

- a. reduces the visibility of structures by a minimum of 20% at maturity
- b. increases the aesthetic value of the site. Landscaping should highlight positive aspects of structures while reducing visibility other areas such as car parks, outdoor storage or the like
- c. uses a variety of vegetation types including turf, ground covers, dwarf shrubs, trees 3-5m in height and landscape trees. In combination, the vegetation is to provide continuous landscaping for the specified area, using intermittent landscape trees supported by dense low level landscapes
- d. can incorporate embellishments such as outdoor seating and public art
- e. unless otherwise specified, is located between the development and:
 - roads and public places;
 - a sensitive land use
- f. incorporates a minimum width of 1 metre unless otherwise specified by a code or development approval condition.



TYPICAL AESTHETIC LANDSCAPE DESIGN

Figure 20.a Typical Aesthetic Landscape design

SC6.2.2.2.2 Buffer Landscaping:

- a. reduces the visibility of the development, not necessarily to the level of screen landscaping
- b. may incorporate buffering specific to buildings, structures, roads, parking, storage and other specified parts of a development
- c. uses a variety of vegetation types including ground covers, dwarf shrubs, trees 3-5m in height and landscape trees. In combination, the vegetation is to provide continuous landscaping for the specified area, using a medium density of landscape trees supported by dense low level landscapes
- d. incorporates a mix of mature and less mature plantings
- e. unless otherwise specified, is located between the development and:
 - roads and public places;

- a sensitive land use
- f. does not generally incorporate mounding unless specified as a condition of a development approval
- g. incorporates a minimum width of 2 metres unless otherwise specified by a code or development approval condition.



TYPICAL BUFFER LANDSCAPE

Figure 20.b Typical Buffer Landscape

SC6.2.2.2.3 Screen Landscaping:

- a. reduces the visibility of the development to ensure it is not readily visible or discernible from specified locations, e.g. roads
- b. may provide for screening specific to structures, roads, parking, storage and other specified parts of a development
- c. incorporates trees that at maturity are of a height that provides visual screening
- d. uses mounding to increase the screening effect
- e. incorporates mature plants to achieve rapid screening
- f. uses multiple layers of vegetation types including ground covers, dwarf shrubs, trees 3-5m in height and landscape trees. In combination, the vegetation is to provide a continuous screen for the full height
- g. provides for trees at sufficient densities and numbers that ensures maximum reduction in visibility of the development or parts of the development required to be screened
- h. unless otherwise specified, is located between the development and:
 - roads and public places;
 - a sensitive land use
- i. incorporates a minimum width of 3 metres unless otherwise specified by a code or development approval condition.

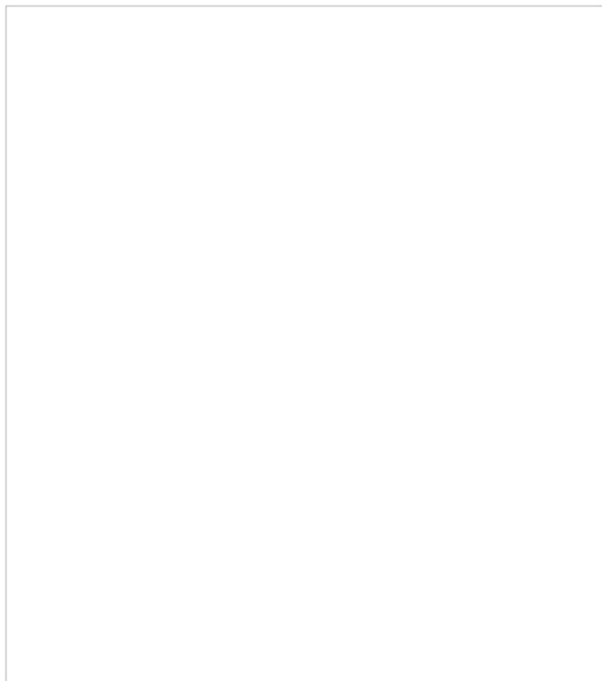
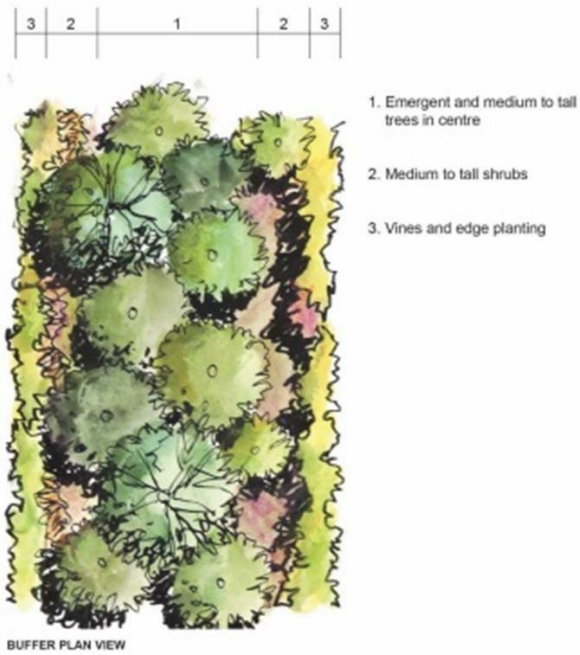


Figure 20.c.1. Typical multi-level screen landscape

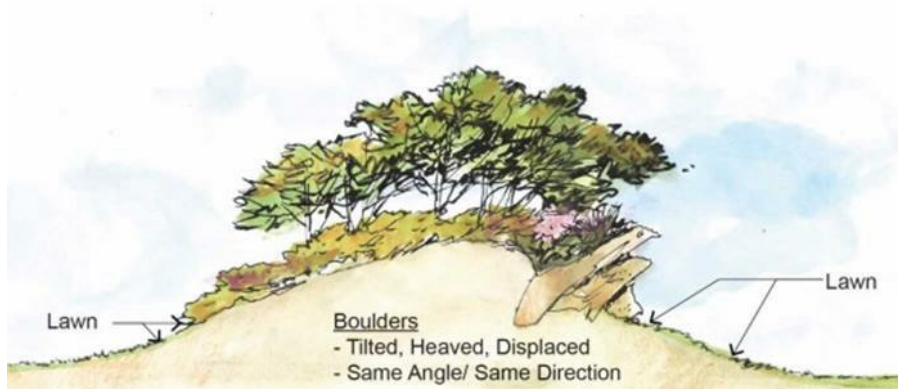


Figure 20.c.2 Typical mounded screen landscape

SC6.2.2.2.4 Street Landscaping (in association with a Material Change of Use):

- a. is designed to be consistent with and additional to internal landscaping
- b. is designed to increase aesthetic value and/or provide shade
- c. ensures plantings include mature trees species which are listed in the Policy or approved by Council
- d. will not interfere with the primary use of the public place e.g. footpath
- e. will be low maintenance and not interfere with or damage public infrastructure
- f. unless otherwise specified by a code or development approval condition, ensures development provides street trees along each road frontage of the site at whichever is the greater of:
 - 1 tree per 10m of road frontage; or
 - 1 tree per 400m² of site area
- g. incorporates plant species that will not damage building foundations, pavement or overhead and underground utility services. Care should be taken to ensure the final height of trees at maturity does not interfere with overhead services or buildings.

Note - separate approval is required from Council prior to any works being conducted on road reserve. A planting schedule of species will be required at this time.

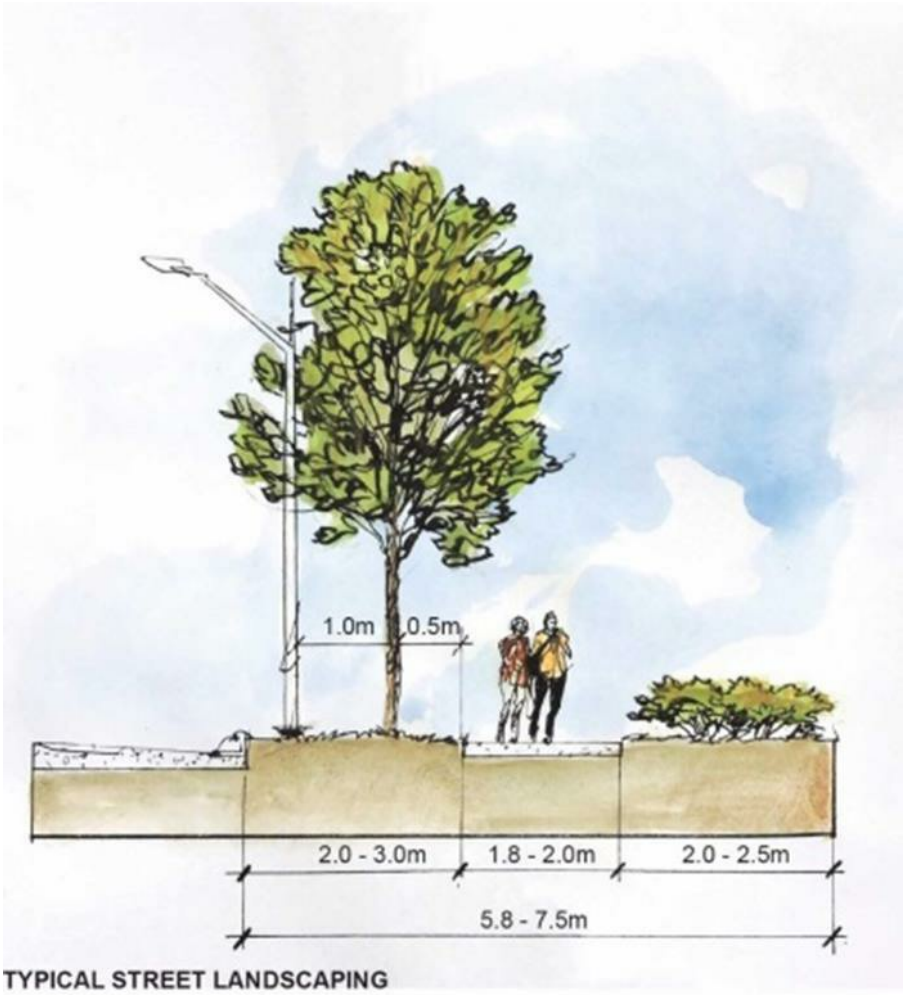


Figure 20.d Typical Street Landscaping

SC6.2.2.3 General Design Guidelines

SC6.2.2.3.1 Design Guidelines for Development

1. Successful landscape design can achieve a favourable setting for buildings and enhance the environment and ambience for both residents and neighbourhoods.
2. Landscape design should take into account existing site conditions including:
 - a. existing vegetation
 - b. aspect
 - c. soil type and conditions
 - d. pedestrian and vehicular circulation / access
 - e. communal and private open spaces
 - f. shade and sunlight
 - g. utility areas.
3. Landscape design should take into account matters beyond the boundaries of the site and consider external influences such as:
 - a. character of the surrounding neighbourhood
 - b. existing vegetation
 - c. desirable and undesirable views
 - d. outlooks from neighbouring locations
 - e. noise sources such as busy roads
 - f. connectivity within the locality.
4. Different types of landscape treatments are required for different types of development that occur throughout the region.
5. Landscaping required by Council, either by the Planning Scheme or by a condition of a development approval, may include Aesthetic Landscaping, Buffer Landscaping, Screen Landscaping or Street Landscaping, and shall be designed to achieve the following outcomes:
 - a. **Aesthetic Landscaping:**
 - i. softens the visibility of structures
 - ii. increases the aesthetic value of the site
 - iii. generally applies where adjoining a road boundary or adjoining public places unless otherwise specified
 - iv. may include a variety of vegetation types (including turf), plant heights and plant maturity.
 - b. **Buffer Landscaping:**
 - i. softens the visibility of the development from sensitive land uses, roads and public places
 - ii. may be specific to buildings, structures, roads, parking, storage and other specified parts of a development
 - iii. provides for designs that incorporates a mix of plantings and spacings (articulation)
 - iv. incorporates a mix of mature to seedling plantings.
 - c. **Screen Landscaping:**
 - i. is designed to consider line of sight from sensitive land uses, roads and public places
 - ii. uses mounding and mature plants to achieve rapid screening
 - iii. uses multiple layers (depth and height) of vegetation
 - iv. is designed for maximum reduction in visibility of the development
 - v. may be specific to structures, roads, parking, storage and other specified parts of a development.
 - d. **Street Landscaping** (in association with an Material Change of Use):
 - i. is designed to increase aesthetic value and/or provide shade
 - ii. incorporates mature trees species which are listed in the Policy or approved by Council
 - iii. will not interfere with the primary use of the public place e.g. footpath
 - iv. will be low maintenance and non-damaging to infrastructure.

SC6.2.2.3.2 Understorey

1. Creative use of ground covers and understorey plants is important to achieve an overall landscaped effect. The use of native grasses for both gardens and open space areas is encouraged particularly for developments in or adjoining remnant bushland.
2. Mulched planted areas are often a better landscape solution than turfed open areas.
3. Where areas are to be grassed, native grasses are desirable due to their resistance to drought, pests and disease, their low maintenance, their significantly lower nutrient and water requirements, and their distinctive Australian attributes of texture, colour and form, compared with the artificial “high nutrient” greenness of turf grasses.

SC6.2.2.3.3 Wet Areas

1. These areas include irrigation areas for domestic sewerage treatment plants, areas downstream of septic trenches, overland flow paths, creek banks and damp spots in general.
2. The use of species whose root systems can tolerate damp conditions is essential. Use of these species will also aid in uptake of excess water and nutrients.
3. Planting in wet areas assists with the prevention of erosion.

SC6.2.2.3.4 Planting to Restore Habitat

1. In the past, large areas of formal habitat have been destroyed to make way for farming and development. In order to protect biodiversity it is important that revegetation and landscaping incorporate native species that are important either as food or habitat for local faunal species.
2. There are a number of species that should not be planted due to their undesirable characteristics. Such characteristics include:
 - a. invasive growth
 - b. potential to become bushland weeds by production of large quantities of seeds or edible fruits which are disseminated by birds and bats, ability to grow by vegetative reproduction, absence of natural predators
 - c. environmental impact on native species
 - d. maintenance difficulty
 - e. displacement of natural landscape character
 - f. poisonous/hazardous to native fauna.
3. These species are:
 - a. plants which have been included in the Biodiversity Act 2014
 - b. plants identified as Weeds of National Significance (WONS) under the National Weeds Strategy.
4. Consideration should also be given to ‘Assessment of invasive naturalised plants in south-east Queensland’ George N. Batianoff and Don W. Butler, Queensland Herbarium, Environmental Protection Agency (*Full copy of the Paper can be sourced from the Plant Protection Quarterly Vol 17(1) 2002*).
5. Under no circumstances should garden waste of these species be disposed anywhere but a Council tip. Species such as Singapore Daisy are having a major impact on the integrity of bushland areas adjacent to urban development.
6. Planting and weed removal may be required to restore habitat where development has encroached upon remnant native bushland, commonly located along watercourses. Often escaped garden plants, some of which can dominate the native vegetation, invade the bushland, particularly its edges. Disposing of garden waste in adjacent bushland also causes degradation of the natural vegetation and all such waste should be disposed of thoughtfully.

SC6.2.2.3.5 Planting Size

1. The selected planting size will vary depending upon the nature of the development, availability of plant species, the type of plant and any specific conditions contained within a development approval. It is recognised that some plant species grow better from smaller containers for example Eucalypts and Brush box grow best from a 200mm pot. In each case, root systems are to be sturdily established in containers to ensure expected plant size is congruous with size of pot. As a general guide the following minimum pot sizes apply:

Table 6.2 Planting Sizes

Type of Plant	Minimum Pot Size
Street and feature trees	45 litre (75 litre for prominent areas)
Trees mature	25 litre
Trees generally	200mm
Tall, slow growing or feature shrubs	200mm
Shrubs generally	150mm
Ground covers, climbers & tufted plants	140mm

- Regardless of pot size, it is essential that plants do not become root bound.

SC6.2.2.3.6 Layout - Plant Density and Grouping

- The plant density will vary depending on the type of landscape character being created for example rainforest areas have a much higher density of trees and understorey than an open woodland setting.
- A denser rate of planting is required when attempting to create screen landscaping. This can be more successfully achieved by layering of planting from low at the edges towards taller planting at the centre. A similar method can be employed in softening of fence lines or walls.
- Planting designs should be based on informal layouts of tree groupings or clusters with understorey layers of shrubs and ground covers at an appropriate density with the entire planting area covered with a layer of mulch.
- Apart from the aesthetics of these groupings, plants thrive in groups and in mulched areas, rather than in lawn. The grouping and mulching provides protection for plants, avoids damage (from builders and whippersnipers), conserves water and is easier to maintain.
- As a general guide the following separation between plants would be appropriate:
 - Trees - 5m apart
 - Larger shrubs - 2m apart
 - Groundcovers - 0.5 - 1.0m apart.
- To create screen landscaping, the following separations between plants is appropriate:
 - Trees - 2m apart
 - Larger shrubs - 1m apart
 - Groundcovers - 0.5 - 1m apart.
- Tree grates for trees surrounded by sealed surfaces (concrete, asphalt etc) are to be used to provide for water and natural air movement, however they are not to be used as a drain.

SC6.2.2.3.7 Design for Low Maintenance

- Landscaping schemes should be designed with consideration to maintenance requirements. Landscaping with simple maintenance requirements will achieve a better long-term result. Careful preparation of garden areas prior to planting is also essential for the successful growth of plants. Please refer to section **SC6.2.2.3.9** for further detail.
- Local species are better suited to the local environment and therefore have lower maintenance requirements. In addition, extensive use of mulched areas provides a better growing environment for plants, suppresses weeds and retains water. Re-mulching at regular intervals, particularly in high use areas, will be a necessary component of any on-going maintenance programs.
- Landscaping works with high maintenance requirements in such areas will not be accepted in proposed public areas.

SC6.2.2.3.8 Planting in Vicinity of Sewers and Manholes

1. Tree roots can infiltrate household drains and sewer mains causing blockages and damage to pipes. The following species are best kept well away from underground pipes, sewer manholes, and water meters:
 - Gum trees (particularly those species that grow into large trees)
 - Fig trees
 - Rubber trees
 - Lilly Pilly trees
 - Umbrella trees (an environmental weed in this area).

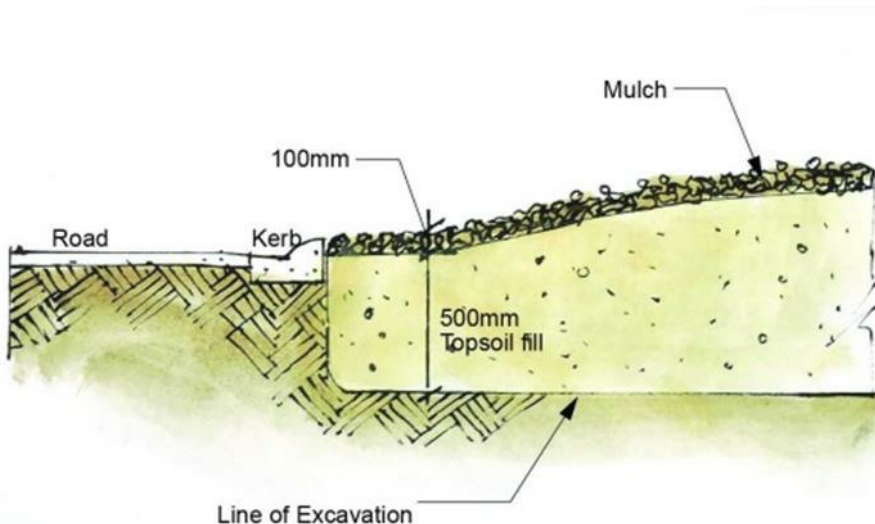
Table 9.1 List of suitable native plants for planting near sewers and manholes (examples only)

Species Name	Variety	Growth Habit
<i>Callistemon</i>	Wilderness White	weeping shrub 3m x 2m
<i>Callistemon</i>	Wildfire	bushy, weeping shrub 4.5m x 3m
<i>Callistemon</i>	Taree Pink	3m x 2m
<i>Callistemon</i>	Little John	dwarf, compact shrub 1.5m x 1.5m
<i>Callistemon</i>	Candy Pink	2.5m x 2m
<i>Callistemon</i>	Captain Cook	2m x 1.5m
<i>Callistemon</i>	Eureka	4m x 1.5m
<i>Callistemon</i>	Firebrand	compact shrub with arching branches 2m x 1.5m
<i>Grevillea</i>	Coastal Glow, Elegance, Firesprite, Kay Williams, Misty Pink and Strawberry Blonde	3m x 2m
<i>Grevillea</i>	Coconut Ice, Bon Accord, Golden Lyre, Ned Kelly, Orange Marmalade, Robyn Gordon, Splendor and Superb	2m x 1.5m
<i>Grevillea</i>	Little Miss Muffet, Scarlet Sprite	1.5m x 1m
<i>Grevillea</i>	Honey Gem, Majestic, Moonlight, Pink Surprise, Sandra Gordon & Sylvia	4m x 2m
<i>Leptospermum</i>	Brachyandrum	dense weeping medium shrub 3m x 1.5m
<i>Leptospermum</i>	Cardwell	bushy weeping shrub 2m x 1.5m
<i>Leptospermum</i>	Pacific Beauty	1m x 1.5
<i>Leptospermum petersonii</i>	Lemon scented Tea Tree	4m x 3m
<i>Leptospermum</i>	Pink Cascade	compact shrub 80cm x 1.5m
<i>Lomandra hystrix</i>		tufted, weeping grass plant 1m x 50cm
<i>Melaleuca</i>	Claret Tops	compact shrub 1.5m x 1m
<i>Melaleuca</i>	Nodosa	compact shrub 3m x 1.5m
<i>Melaleuca</i>	Sea Foam	bushy shrub 2m x 1m
<i>Melaleuca</i>	Snowflake	compact shrub 1.5m x 1m
<i>Melaleuca</i>	Thymifolia	spreading shrub 75cm x 1.5m

<i>Pultenea villosa</i>		weeping shrub 1.5m x 2m
<i>Westringia</i>	Fruticosa	bushy shrub 2m x 1.5m
<i>Westringia</i>	Wynyabbie Gem	bushy shrub 2m x 1.5m
<i>Xanthostemon</i>	Fairhill Gold	compact shrub 3m x 2.5m
<i>Acronychia imperforata</i>	Fraser Island Apple	bushy shrub 3m x 1.5m
<i>Alectryon coriaceus</i>	Beach Bird's Eye	bushy shrub 3m x 2m
<i>Banksia ericifolia</i>	Heath Banksia	large bushy shrub 4m x 2m
<i>Banksia spinulosa</i>	Hairpin Banksia	medium upright shrub 2m x 1.5m
<i>Baeckea virgata</i>	Twiggy Baeckea	hardy, compact shrub 3m x 2m

SC6.2.2.3.9 Planting Techniques - Preparation of Garden Beds (including for Public Land, Road Reserves and Parks)

1. Careful preparation of garden areas prior to planting is essential to successful growth of plants, particularly where planting areas are adjacent to road or building construction works.
2. The following points should be observed:
 - a. soil used is to comply with the Australian Standard (AS 4410) - Soil for Landscaping and Gardens
 - b. soil imported to garden beds should have similar soil structure to that existing in the area
 - c. all weeds, debris, rubbish, grass, etc. should be removed from areas to be planted
 - d. in conjunction with roadwork, all bitumen and road base should be removed from areas to be planted to a depth of 600mm from top of kerb (refer to **Figure 10.2f**)
 - e. garden beds are to be excavated to a depth of 600mm where formed beside roadways and fill with topsoil to 100mm below top of kerb to allow for depth of mulch
 - f. topsoil (preferably local soil) is to be added as required, garden beds formed and any stockpiled topsoil to finished levels are to be spread



PREPARATION OF GARDEN BEDS NEAR ROADS

Figure 10.2f Preparation of Garden Beds Near Roads

- g. any imported topsoil is to be free of large stones, weeds, sticks, rubbish, material toxic to plant growth,

- Nut Grass and Oxalis, and declared pests such as fire ants
- h. beds adjacent to hard areas are to finish 100mm below paved level or top of kerb to allow for depth of mulch
 - i. garden beds should be left for one month prior to planting to allow the treatment of weeds contained in the soil and to allow for regeneration of natural seeds
 - j. when constructing mounding or banks, highly compacted fill material in the top 600mm should be avoided as this can impede root penetration and the successful growth of plants
 - k. a maximum fall of 1:3 is to be maintained to ensure stability of mulch on slopes and allow for access for maintenance (refer to **Figure 10.2k**).

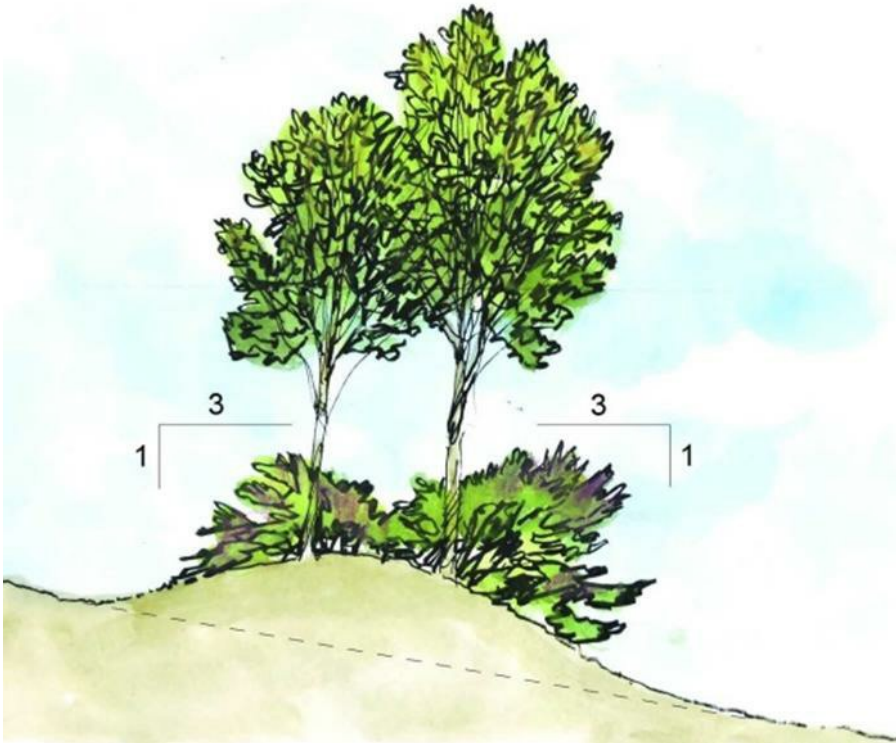


Figure 10.2k Mounding

SC6.2.2.3.10 Planting Procedures

1. Correct planting procedures ensure greater success in the establishment of landscapes. The following planting procedures should be complied with in the establishment of landscapes:
 - a. avoid planting in extreme hot, cold or atmospheric disturbances
 - b. dig separate holes for each plant, 100mm wider and deeper than the container. Loosen soil at the base of holes a further 150mm depth. Fill holes with water and allow water to drain away
 - c. position plants in the centre of the hole, set and backfill, ensuring the original soil level corresponds to the level of the container. Only tease out roots if a root ball is compacted or the plant is pot-bound

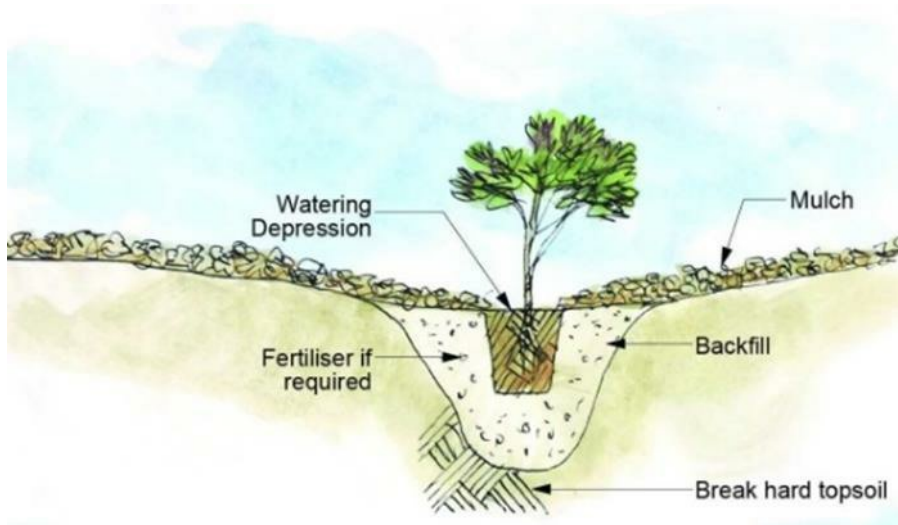
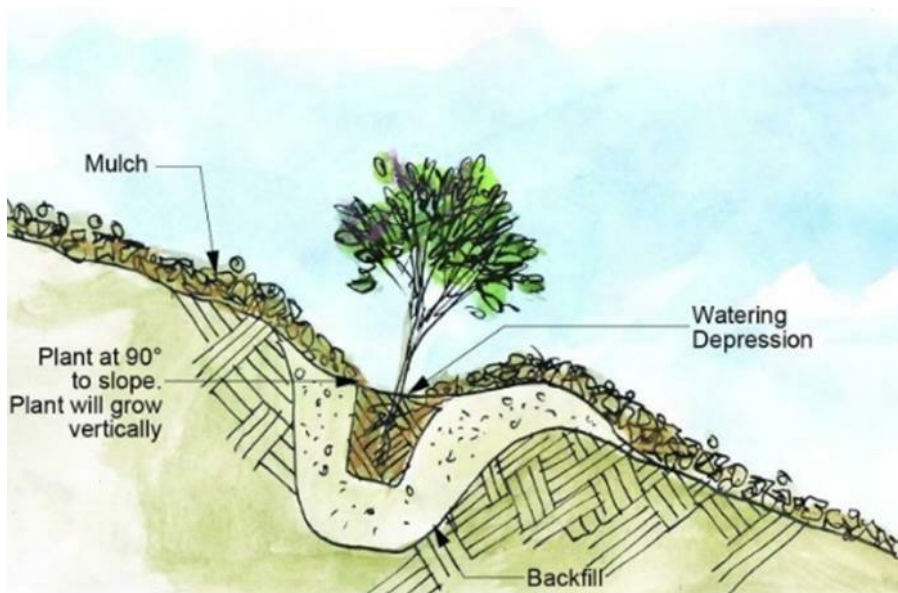


Figure 11.1 Planting in level areas



PLANTING ON SLOPES

Figure 11.2 Planting on slopes

- d. incorporate suitable fertiliser and/or water crystals, if required, at time of backfilling. Please refer to **SC6.2.2.3.12 Soil Nutrients and Fertilising** and **SC6.2.2.3.13 Water Crystals** for further details
- e. gently and firmly tap down around the root ball, leaving a shallow watering depression. Water immediately and thoroughly using a minimum of 5 litres per plant
- f. mulch after planting (and installation of irrigation if applicable). Please refer to **SC6.2.2.3.11 Mulch Types** for further details
- g. where mulch is already in place, rake back any mulch from well around the area and the hole dug. Excess soil should be removed or spread prior to replacing mulch to prevent mixing of the two mediums
- h. plants that are severely root bound are not to be used.

SC6.2.2.3.11 Mulch Types

1. Mulching of planted areas conserves water by retaining soil moisture, maintains an even soil temperature, reduces erosion, compaction and root disturbance, and suppresses weed growth.
2. Mulch should be spread over entire planted area at a depth of 75 to 100mm and be kept 50mm from stems of plants to avoid collar rot.
3. The use of polythene film under mulch is not recommended as it prevents air and moisture from penetrating the soil and kills soil organisms. Thick layers of wetted newspaper or cardboard under mulch in weed infested areas is to be used.
4. Ground covers provide living mulch once established.

Table 12.4 Suggested Mulch Types

Steep Areas or Embankments	Hoop Pine mulch
High Profile Areas	Forest Blend or Bush mulch
Road Islands and Gardens	Forest Blend or Bush mulch

SC6.2.2.3.12 Soil Nutrients and Fertilising

1. Soils in the region are generally acid, low in nutrients and well suited to the growth of native plants. Care is needed when using any fertilisers. Adverse effects on water quality can occur as unused nutrients penetrate waterways via runoff and by leaching into the water table. Phosphorous is especially damaging to water quality.
2. Fertilisers can be damaging to some plants. For instance, fertilisers with phosphorus content should be avoided for species in the Proteaceae family, which includes Banksia, Grevillea and Hakea.
3. Acacia species produce nitrogen-fixing nodules and nitrogenous fertilisers can be harmful for these plants. These affects can be aggravated by sandy soils.
4. Avoid "Complete Fertilisers" on native plantings. Incorrectly applied fast-acting, usually inorganic, fertilisers can "burn" roots. Increased soil nitrogen can stimulate growth of pathogenic (destructive) soil fungi. High levels of potassium can interfere with a plant's capacity to absorb magnesium.
5. Use of fertilisers on gardens in or adjoining bushlands needs care. Native plant communities are adapted to low soil nutrient levels and increasing these can lead to heavy weed infestation.
6. The most beneficial way to improve nutrient status is to de-compact and aerate soils.
7. Plants cannot absorb fertiliser if the soil is compacted. If fertilisers are deemed necessary, use specially prepared mixes for native plants.
8. Fertiliser tablets should only be added to the base of the tree or shrub.

SC6.2.2.3.13 Water Crystals

1. Water Crystals should be placed in soil that is already wet.
2. Where involving sandy soils, mix 10 grams or one teaspoon of water crystals to 10 litres of water or 1 bucket of soil mixed well and added as back fill around the plant. This is for a 200mm pot.
Note: Sandy Soils can also be improved by mixing peat through the soil and watering well prior to planting.
3. Where involving clay soils, heavy clay soils would not require water crystals.

SC6.2.2.3.14 Watering Systems

1. In general, Council does not encourage the use of water systems, but rather prefers native plants that grow naturally in the area and therefore do not require the use of a water system. However, where the design requires a water system the intent of design for the watering system shall be to provide a functioning sprinkler and/or drip irrigation system that will deliver water for optimum plant growth. Advice on irrigation design can be sought from a specialist supplier/installer.
2. In areas connected to reticulated water supply, watering systems should only be added to gardens where meters are installed.

Note: Plumbing approval is required for a system that connects to any reticulated water service including non-potable water supplies.

SC6.2.2.3.15 Watering Plants

1. Plants are to be thoroughly watered immediately after planting with a minimum of 5 litres per plant to remove air, settle soil around roots and to activate water crystals. Deep watering encourages strong deep root growth and is preferred to more regular shallow watering.
2. Watering should be carried out on a daily basis for three days after planting followed by twice weekly for two weeks and then as required according to rainfall, weather conditions and nature of the soil.

SC6.2.2.3.16 Staking of Trees

1. Staking of plants is necessary only if plants are exposed to strong winds or subject to damage from adjacent works. Staking can cause plants to rely on the support other than their own stems, resulting in a weaker plant.
2. The preferred method of staking is to place three stakes around the plant beyond the root ball and secure loosely with plastic ring-lock or hessian ties so that the plants move freely within the enclosure.



PREFERRED METHOD OF STAKING TREES

Figure 17.2 Preferred method of staking trees

3. Large transplanted trees require guying and staking until the roots are well established in the natural ground. It is suggested that a specialist carry out the staking in these instances.

SC6.2.2.3.17 Establishment

1. Following completion of landscape works, on-going maintenance is required to ensure successful

establishment of planting. The following points should be complied with:

- a. any inferior or damaged plant material should be replaced
- b. all necessary weeding, watering and pruning should be undertaken to ensure healthy growth. Continue pruning as necessary for maintenance of sight lines and shaping of plants
- c. mulch should be kept in place and be replenished as necessary
- d. irrigation systems should be maintained in operational order
- e. all debris should be disposed of in a thoughtful manner.

SC6.2.2.3.18 Plant Species Selection

1. Species for Council works are to be consistent with the plant species lists in this policy including for:
 - a. footpaths adjacent to commercial development; and
 - b. parks used for active pursuits.
2. There may be some variation to the plant species referred to in this policy however such variations shall be minor to the overall scheme and should have a relationship to the existing or preferred character of the area.
3. Where planting is occurring within the Conservation Zone or adjoining road reserve, all trees are to be native species, preferably endemic to the location.

SC6.2.2.3.19 Climate Control and Energy Efficiency

1. Landscaping is to assist in passive solar access, the provision of shade, microclimate management and energy conservation in the following manner:
 - a. landscaping elements are positioned to shade walls, windows and outdoor areas from summer sun
 - b. landscaping allows winter sun access to living areas, north facing windows and public spaces
 - c. landscaping, fences and walls allow exposure of living and public areas to prevailing summer breezes and protection against winter winds.

SC6.2.2.4 Part 4 Preferred Landscape Species

SC6.2.2.4.1 Preferred Landscape Species

Without limiting its discretion under the *Planning Act 2016*, where Aesthetic Landscaping, Buffer Landscaping or Screen Landscaping is required by the Planning Scheme or by a condition of a development permit, plant species to be utilised for such landscaping are to be chosen from the species listed in the below Tables.

Without limiting its discretion under the *Planning Act 2016*, where Street Landscaping is required by the Planning Scheme or by a condition of a development permit, plant species to be utilised for such landscaping are to be chosen from the species listed in **9.2.4.5 - Landscape Plant Schedule** under **Schedule 6.2.1 Planning Scheme Policy 1 - Infrastructure Design**

Note: The species of *Ficus*, *Corymbia*, *Eucalyptus* and *Acacia* in most instances will not be accepted as appropriate for street landscaping

Any variation to the species list must be approved by Council prior to planting. Such approval may be granted where the applicant demonstrates the outcomes of the Landscaping Code and this Policy can be achieved.

- **Table 22.1 General Trees**
- **Table 22.2 Tree Species for Creek Corridors and Creek Crossings**
- **Table 22.3 Landscape Species**
 - **Table 22.3 (a) Landscape Trees**
 - **Table 22.3(b) Landscape Tree Species - 3 to 5 metres**
 - **Table 22.3(c) Landscape Dwarf Shrubs - 1 to 1.5 metres**
 - **Table 22.3(d) Groundcovers**
 - **Table 22.3(e) Clumping Bulbs, Lillies and Grasses**

Notes for tables:

- * *Locally appropriate native species. Other locally appropriate native species acceptable if found in Mangroves to Mountains by Logan River Branch Society for Growing Australian Plants (Brisbane: Copyright Publishing Co., 2002).*
1. *Locally appropriate native species are preferred. Exotic species may be allowed only if natives are not available.*
 2. *Those species which may be maintained under Power Lines with only moderate maintenance / pruning are marked in bold lettering.*

Table 22.1 General Trees

Botanical Names	Common Name
* <i>Acacia species</i>	Wattles
* <i>Acmena species</i>	Lilly Pillies
* <i>Agathis robusta</i>	Kauri Pine
<i>Aleurites moluccana</i>	Candle Nut
* <i>Alphitonia excelsa</i>	Red Ash
* <i>Aphananthe philippinesis</i>	Rough-leaved Elm
* <i>Araucaria species</i> * <i>Araucaria cunninghamii</i>	Native Pines, particularly Hoop Pine
* <i>Auranticarpa rhombifolia</i> (formerly <i>Pittosporum rhombifolium</i>)	Hollywood

* <i>Austomyrtus bidwillii</i>	Python Tree
* <i>Backhousia myrtifolia</i>	Grey Myrtle
* <i>Backhousia citriodora</i>	Lemon-scented Myrtle
* <i>Banksia species</i>	
* <i>Banksia integrifolia</i>	Coast Banksia
<i>Barklya syringifolia</i>	Gold Blossom or Crown of Gold
<i>Bolosanthus speciosus</i>	Sth African Wisteria
* <i>Brachychiton acerifolius</i>	Flame Tree
* <i>Brachychiton bidwillii</i>	Little Kurrajong
* <i>Brachychiton discolour</i>	Lace Bark
* <i>Brachychiton populneus</i>	Kurrajong
* <i>Brachychiton rupestris</i>	Bottle Tree
<i>Buckinghamia celcissima</i>	Ivory Curl
* <i>Callistemon species</i>	Bottle Brushes
* <i>Callitris columellaris</i>	Bribie Island Pine
<i>Calodendron capense</i>	Cape Chestnut
* <i>Canthium spp.</i>	Canthium
<i>Castanospora alphanthii</i>	Brown Tamarind
* <i>Castanospermum australe</i>	Black Bean
* <i>Casuarina species</i>	She Oak (particularly <i>Allocasuarina torulosa</i> & <i>Allocasuarina littoralis</i> [Glossy Black Cockatoo food trees])
* <i>Ceratopetalum apetalum</i>	Coachwood
* <i>Corymbia citriodora</i>	Spotted Gum
* <i>Corymbia gummifera</i>	Red Bloodwood
* <i>Corymbia intermedia</i>	Pink Bloodwood
<i>Croton insularis</i>	Silver croton
<i>Cupaniopsis anacardioides</i>	Tuckeroo
* <i>Cupaniopsis parvifolium</i>	Small leaved tuckeroo
<i>Cupaniopsis tomentella</i>	Boonah Tuckeroo
* <i>Cryptococarya obovata</i>	Pepperberry Ash
* <i>Cupaniopsis anacardioides</i>	Tuckeroo
* <i>Duboisia myoporoides</i>	Corkwood
* <i>Denhamia celastroides</i>	Denhamia
<i>Dodonea viscosa</i>	Hop Bush
* <i>Dysoxylum fraserianum</i>	Rosewood

* <i>Elaeocarpus grandis</i>	Blue Quandong
* <i>Elaeocarpus obovatus</i>	Hard Quandong
* <i>Elaeocarpus reticulatis</i>	Blueberry Ash
* <i>Elaeodendron australe</i>	Red olive plum
* <i>Ellattostachys nervosa</i>	Beetroot tree
* <i>Ellattostachys xylocarpa</i>	White Tamarind
* <i>Erythrina vespertilio</i>	Bat-wing Coral Tree
* <i>Eucalyptus acmenoides</i>	White Mahogany
* <i>Eucalyptus crebra</i>	Narrow leaved Ironbark
* <i>Eucalyptus curtisii</i>	Plunkett Mallee
* <i>Eucalyptus melanophloia</i>	Silver leaved Ironbark
* <i>Eucalyptus melliodora</i>	Yellow Box
* <i>Eucalyptus microcorys</i>	Tallowwood
* <i>Eucalyptus moluccana</i>	Gum topped Box
* <i>Eucalyptus pilularis</i>	Black Butt
* <i>Eucalyptus propinqua</i>	Grey Gum
* <i>Eucalyptus racemosa</i>	Scribbly Gum
* <i>Eucalyptus resinifera</i>	Red Mahogany
* <i>Eucalyptus robusta</i>	Swamp Mahogany
* <i>Eucalyptus siderophloia</i>	Grey Ironbark
* <i>Eucalyptus seeana</i>	Narrow-leaved Gum
* <i>Eucalyptus saligna</i>	Sydney Blue Gum
* <i>Eucalyptus tereticornis</i>	Forest Red Gum
* <i>Eucalyptus tessellaris</i>	Moreton Bay Ash
* <i>Eucalyptus trachyphloia</i>	Brown Bloodwood
* <i>Euroschinus falcata</i>	Pink Poplar
<i>Evodiella muelleri</i>	Little Evodia
* <i>Ficus species</i>	Figs (Native)
* <i>Flindersia australia</i>	Crows Ash
<i>Flindersia oppositifolia</i>	Mountain Silkwood
* <i>Flindersia schottiana</i>	Bumpy Ash
* <i>Flindersia collina</i>	Leopard Ash
* <i>Flindersia xanthoxyla</i>	Yellowwood
<i>Geijera parviflora</i>	Wilga
<i>Geissois benthanii</i>	Red Carabeen

* <i>Glochidion ferdinandi</i>	Cheese Tree
* <i>Gmelina leichhardtii</i>	White Beech
<i>Gordonia yunnanensis</i>	Gordonia cultivar silkscreen
<i>Grevillea species</i>	
<i>Grevillea bailyana</i>	White Oak
* <i>Grevillea robusta</i>	Silky Oak
<i>Guioa semiclaucens</i>	Guioa
<i>Hakea species</i>	
<i>Harpephyllum caffrum</i>	Kaffir Plum
<i>Harpulia hillii</i>	Blunt leaved tulip
* <i>Harpullia pendula</i>	Tulipwood
* <i>Hymenosporum flavum</i>	Native Frangipani
<i>Largerstroemia species</i>	Crepe Myrtle (deciduous)
<i>Laurus nobilis</i>	Sweet Bay Tree
<i>Lepiderima pulchella</i>	Fine leaf tuckeroo
* <i>Lophostemon confertus</i>	Brush Box
* <i>Lophostemon suaveolens</i>	Swamp Box
<i>Mallotus claoxyloides</i>	Green Kamala
<i>Mallotus phillippensis</i>	Red Kamala
<i>Maytenus spp.</i>	Orange Bush
* <i>Melaleuca species</i>	Paperbarks
* <i>Melia azaderach</i>	White Cedar
<i>Melaleuca bracteata "Golden Gem"</i>	Golden Gem
<i>Melaleuca bracteata "Revolution Gold"</i>	Revolution Gold
<i>Melaleuca bracteata "Revolution Green"</i>	Revolution Green
<i>Melaleuca irbyana</i>	Bush-house paperbark
<i>Melaleuca linariifolia "Snowstorm"</i>	Snowstorm
<i>Melicope elleryana</i>	Butterfly tree
<i>Metrosideros excelsa</i>	New Zealand Christmas Tree
<i>Metrosideros queenlandica</i>	Queensland Golden Myrtle
<i>Myoporum insulare</i>	Boobialla
<i>Myoporum montanum</i>	Water bush
* <i>Notolea longifolia</i>	Long-leaved Mock Olive
* <i>Olea paniculata</i>	Native Olive
<i>Olea species</i>	Olive Tree

<i>Parachidendron pruinosum</i>	Snow Wood
* <i>Pittosporum angustifolium</i>	Weeping Pittosporum
<i>Pittosporum species</i>	
<i>Pittosporum revolutum</i>	<i>Hairy pittosporum</i>
* <i>Pittosporum undulatum</i>	Native Mock Orange (Sweet Pittosporum)
<i>Peltophorum pterocarpum</i>	Yellow Poinciana
<i>Pleiogynium timorense</i>	Burdekin Plum
* <i>Podocarpus elatus</i>	Brown Pine
<i>Pouteria eerwah</i>	Shiny-leaved Coonoo
<i>Psidium species</i>	Cherry Guava
<i>Rhodamnia rubescens</i>	Scrub Turpentine
<i>Schotia brachypetala</i>	Drunken Parrot Tree
* <i>Stenocarpus sinuatus</i>	Wheel of Fire Tree
<i>Strebulus brunonianus</i>	Whalebone Tree
* <i>Syzygium species</i>	Lilly Pilly
<i>Syzygium</i> “Elite”	Elite
<i>Syzygium</i> “Hunchy”	Hunchy
<i>Toechima tenax</i>	Pitted-Leaved Steelwood
* <i>Toona australis</i>	Red Cedar
* <i>Tristaniopsis laurina</i>	Water Gum
<i>Virbirnum odoratissimum</i>	Sweet Virbirnum
<i>Xanthostemon chrysanthus</i>	Golden Penda

Table 22.2 Tree Species for Creek Corridors and Creek Crossings

Botanical Name	Common Name
* <i>Acacia species</i>	Wattles
* <i>Acmena smithii</i>	Lilly Pilly
<i>Acronychia laevis</i>	Glossy Acronychia
* <i>Allocasuarina littoralis</i>	Black She Oak
* <i>Allocasuarina torulosa</i>	Forest Oak
* <i>Alphitona excelsa</i>	Red Ash
<i>Angophora leiocarpa</i>	Smooth-barked Apple
* <i>Angophora subvelutina</i>	Broad-leaved Apple
* <i>Austromyrtus species</i>	Myrtles
* <i>Backhousia citriodora</i>	Lemon-scented Myrtle
* <i>Backhousia myrtifolia</i>	Grey Myrtle

* <i>Banksia robur</i>	Swamp Banksia
* <i>Brachychiton acerifolius</i>	Flame Tree
* <i>Callistemon pachyphyllus</i>	Wallum Bottlebrush
* <i>Callistemon salignus</i>	Willow Bottlebrush
* <i>Callistemon viminalis</i>	Weeping Bottlebrush
* <i>Castanospermum australe</i>	Black Bean
* <i>Casuarina cunninghamiana</i>	River Oak
* <i>Casuarina glauca</i>	Swamp Oak
* <i>Commersonia bartramia</i>	Brown Kurrajong
<i>Corymbia ptychocarpa</i>	Swamp Bloodwood
* <i>Cryptocarya glaucescens</i>	Jackwood
<i>Cryptocarya laevigata</i>	Glossy Laurel
<i>Cryptocarya microneura</i>	Murrogun
* <i>Cryptocarya triplinervis</i> var. <i>pubens</i>	Three-veined Laurel
* <i>Cupaniopsis anacardioides</i>	Tuckeroo
* <i>Elaeocarpus grandis</i>	Blue Quandong
<i>Elaeocarpus obovatus</i>	Hard Quandong
<i>Elaeocarpus reticulatis</i>	Blueberry Ash
<i>Eucalyptus intermedia</i>	Pink Bloodwood
* <i>Eucalyptus propinqua</i>	Small-fruited Grey Gum
* <i>Eucalyptus robusta</i>	Swamp Mahogany
* <i>Eucalyptus seeana</i>	Fine-leaved Red Gum
* <i>Eucalyptus tereticornis</i>	Blue Gum or Forest Red Gum
* <i>Ficus coronata</i>	Creek Sandpaper Fig
* <i>Ficus obliqua</i>	Small-leaved Fig
<i>Flindersia bennettiana</i>	Bennett's Ash
<i>Flindersia brayleyana</i>	Qld Maple
<i>Glochidion ferdinadii</i>	Cheese Tree
<i>Glochidion perakense</i>	
* <i>Glochidion sumatranum</i>	Buttonwood or Large-leaved Cheese Tree
* <i>Gmelina leichhardtii</i>	White Beech
* <i>Grevillea robusta</i>	Silky Oak
* <i>Harpullia pendula</i>	Tulipwood
* <i>Homalanthus nutans</i>	Bleeding Heart
* <i>Hymenosporum flavum</i>	Native Frangipani

<i>Jagera psuedorhus</i>	Foambark tree
* <i>Leptospermum species</i>	Tea Tree
* <i>Lophostemon confertus</i>	Brush Box
* <i>Lophostemon suaveolens</i>	Swamp Box
* <i>Macaranga tanarius</i>	Macaranga
* <i>Mallotus phillipensis</i>	Red Kamala
<i>Mallotus discolor</i>	Yellow Kamala
* <i>Mallotus claoxyloides</i>	Green Kamala
* <i>Melaleuca bracteata</i>	Black Tea Tree
<i>Melaleuca decora</i>	Decorative Paperbark
* <i>Melaleuca irbyana</i>	Bush-house Paperbark
<i>Melaleuca leucadendron fine leaf</i>	Weeping Paperbark
<i>Melaleuca leucadendron broad leaf</i>	Weeping Paperbark
* <i>Melaleuca linariifolia</i>	Snow in Summer
* <i>Melaleuca nodosa</i>	Prickly-leaved Paperbark
* <i>Melaleuca quinquinervia</i>	Broad-leaved Paperbark
* <i>Melaleuca sieberi</i>	Small-leaved Paperbark
<i>Melaleuca stypheloides</i>	Prickly Paperbark
<i>Melicope elleryana</i>	Pink Evodia
<i>Neolitsea dealbata</i>	White bolly gum
* <i>Notelaea longifolia</i>	Long-leaved Mock Olive
* <i>Olea paniculata</i>	Native Olive
* <i>Pittosporum revolutum</i>	Forest Pittosporum
* <i>Pittosporum venulosum</i>	Rusty Pittosporum
* <i>Podocarpus elatus</i>	Brown Pine
* <i>Polyscias elegans</i>	Celerywood
* <i>Rapanea howittiana</i>	Brush Muttonwood
* <i>Rhodomyrtus psidiodes</i>	Native Guava
* <i>Sterculia quadrifida</i>	Peanut Tree
<i>Synoum glandulosum</i>	Scentless rosewood
<i>Syzygium australe</i>	Brush cherry or Creek Satinash
* <i>Syzygium francisii</i>	Rose Satinash
<i>Syzygium leuhmanii</i>	Small-leaved Lilly Pilly
<i>Syzygium tiemeyanum</i>	River Cherry
* <i>Tasmannia insipida</i>	Pepper Bush

* <i>Toechima tenax</i>	Pitted steelwood
* <i>Tristaniopsis laurina</i>	Water Gum
<i>Waterhousea floribunda</i>	Weeping Lilly Pilly
<i>Xanthostemon crisanthus</i>	Golden Penda

Table 22.3 Landscape Species

Table 22.3 (a) Landscape Trees

Botanical Name	Common Name
<i>Acacia species</i>	Wattles
<i>Acmena smithii</i>	Lilly Pilly
* <i>Allocasuarina littoralis</i>	Black She Oak (Glossy Black Cockatoo food trees)
* <i>Allocasuarina torulosa</i>	Forest Oak (Glossy Black Cockatoo food trees)
* <i>Alphitonia excelsa</i>	Red Ash
* <i>Auranticarpa rhombifolia</i> (formerly known as <i>Pittosporum rhombifolium</i>)	Diamond-leaved Pittosporum
<i>Backhousia citriodora</i>	Lemon-scented Myrtle
* <i>Backhousia myrtifolia</i>	Grey Myrtle
* <i>Banksia integrifolia</i>	Coastal Banksia
<i>Buckinghamia celcissima</i>	Ivory Curl
* <i>Callicoma serratifolia</i>	Callicoma
* <i>Callistemon salignus</i>	White Bottlebrush
* <i>Callistemon viminalis</i>	Weeping Bottlebrush
* <i>Casuarina cunninghamiana</i>	River Oak
* <i>Casuarina glauca</i>	Swamp Oak
* <i>Commersonia bartramia</i>	Brown Kurrajong
* <i>Elaeocarpus reticulatis</i>	Blueberry Ash
* <i>Eucalyptus curtisii</i>	Plunkett Mallee
* <i>Eucalyptus microcorys</i>	Tallowwood
<i>Eucalyptus ptychocarpa</i>	Swamp Bloodwood
* <i>Eucalyptus robusta</i>	Swamp Mahogany
* <i>Eucalyptus tessellaris</i>	Moreton Bay Ash
* <i>Ficus species</i>	Figs
<i>Grevillea bailyana</i>	White oak
<i>Grevillea banksia</i>	
<i>Grevillea hilliana</i>	White Silky Oak
<i>Hakea salicifolia</i>	Willow-leaved Hakea

* <i>Hibiscus tiliaceus</i>	Cottonwood
* <i>Homolanthus nutans</i>	Bleeding Heart
<i>Lagunaria patersonii</i>	Norfolk Island Hibiscus
<i>Leptospermum laevigatum</i>	Coast Tea Tree
* <i>Leptospermum petersonii</i>	Lemon-scented Tea Tree
<i>Melaleuca leucadendron</i>	Narrow-leaved Paperbark
* <i>Melaleuca linariifolia</i>	Snow in Summer
* <i>Melaleuca quinquinervia</i>	Broad-leaved Paperbark
<i>Melicope elleryana</i>	Butterfly Tree
* <i>Pittosporum undulatum</i>	Native Daphne
<i>Pittosporum venulosum</i>	Rusty Pittosporum
* <i>Rhodosphaera rhodanthema</i>	Deep Yellowwood
<i>Syzygium cultivars</i>	

Table 22.3(b) Landscape Tree Species - 3 to 5 metres

Botanical Name	Common Name
<i>Acacia species</i>	Wattles
* <i>A.aulacocarpa</i>	Short Hickory Wattle
<i>A.bailyana</i>	
* <i>A.complanata</i>	Flat-stemmed Wattle
<i>A.deanii</i>	
* <i>A.decora</i>	Pretty wattle
* <i>A.fimbriata</i>	
<i>A.floribunda</i>	
<i>A.longifolia</i>	
* <i>A.podalyriifolia</i>	
* <i>Alyxia ruscifolia</i>	Chain Fruit
<i>Auranticarpa rhombifolia</i> (formerly <i>Pittosporum rhombifolium</i>)	Diamond leaved Pittosporum
* <i>Backhousia citriodora</i>	Lemon-scented Myrtle
<i>Baeckea virgata</i>	Twiggy Baeckea
<i>Banksia species</i>	Banksias
<i>B.spinulosa var.collina</i>	
<i>B.ericifolia</i>	
* <i>B.spinulosa</i>	
<i>Buckinghamia celcissima</i>	Ivory Curl

Callistemon species	Bottlebrushes
<i>C.citrinus</i>	
<i>C.endeavour</i>	
<i>C.eureka</i>	
<i>C.formosus</i>	
<i>C.hannah ray</i>	
<i>C.kings park special</i>	
<i>C.pindi pindi</i>	
<i>C.wildfire</i>	
<i>Choretrum candollei</i>	(No common name)
<i>Cryptocarya laevigata</i>	Glossy Laurel
Grevillea species	Grevilleas
<i>G.banksii</i>	
<i>G.coastal glow</i>	
<i>G.hookeriana</i>	
<i>G.ned kelly</i>	
<i>G.poorinda constance</i>	
<i>G.superb</i>	
Hakea species	Hakeas
<i>H.salicifolia</i>	
<i>Kunzea ambigua</i>	Tick Bush
<i>Kunzea ericoides</i>	
Leptospermum species	Tea Trees
<i>L.copper glow</i>	
<i>L.laevigatum</i>	
* <i>L.microcarpum</i>	
* <i>L.petersonii</i>	
Melaleuca species	Paperbarks
<i>M.incana</i>	
<i>M.golden gem</i>	
<i>M.irbyana</i>	
* <i>M.linariifolia</i>	
* <i>M.nodosa</i>	
<i>M.revolution gold</i>	
<i>M.snowfire</i>	

<i>Melastoma affine</i>	Native lasiandra
<i>Myoporum insulare</i>	Boobiolla
<i>Myoporum montanum</i>	Water bush
* <i>Pittosporum revolutum</i>	Forest Pittosporum
<i>Syzygium cultivars</i>	
<i>Westringia species</i>	Coastal Rosemary
<i>W.fuiticosa</i>	
<i>W.wyniabbie gem</i>	

Table 22.3(c) Landscape Dwarf Shrubs - 1 to 1.5 metres

Native Species	Exotic Species
<i>Acacia fimbriata</i> 'dwarf'	<i>Abelia grandifolia</i>
<i>Acmena</i> 'Mini Pilly'	<i>Cuphea hyssopifolia</i>
<i>Agonis flexuosa</i> 'nana'	<i>Euryops pectinatus</i>
<i>Austromyrtus dulcis</i>	<i>Gamolepsis chrysanthemoides</i>
<i>Baeckea virgata</i> 'dwarf'	<i>Gardenia species</i>
<i>Baeckea la petite</i>	<i>Hebe species</i>
<i>Callistemon captain cook</i>	<i>Juniperus species</i>
<i>Callistemon Hinchbrook</i>	<i>Largerstroemia</i> 'little chief'
<i>Callistemon little john</i>	<i>Nadina domestica</i> 'nana'
<i>Graptophyllum exselsum</i>	<i>Plumbago species</i>
<i>Graptophyllum illicifolium</i>	<i>Rhaphiolepis species</i> 'dwarf'
<i>Grevillea coconut ice</i>	<i>Rosemarinus species</i>
<i>Grevillea forest rambler</i>	<i>Russelia equisetiformis</i>
<i>Grevillea lilliane</i>	<i>Spiraea catoniensis</i>
<i>Grevillea olympic flame</i>	<i>Thuja species</i>
<i>Grevillea robyn gordon</i>	<i>Trachyloperum jasminoides</i>
<i>Leptospermum flavescens</i>	
<i>Leptospermum pacific beauty</i>	
<i>Leptospermum pink cascade</i>	
<i>Melaleuca incana</i> 'nana'	
<i>Melaleuca claret tops</i>	
<i>Melaleuca snowflake</i>	
<i>Melaleuca snowstorm</i>	
* <i>Melaleuca thymifolia</i>	
<i>Syzygium cultivars</i>	

<i>Westringia Jervis gem</i>	
<i>Westringia zena</i>	

Table 22.3(d) Groundcovers

Native Species	Exotic Species
* <i>Acacia amblygona</i>	<i>Alternanthera</i>
<i>Brachycombe species</i>	<i>Dimorphotheca species</i>
<i>Cissus antartica</i>	<i>Evolvulus pilosus</i>
* <i>Damperia species</i>	<i>Felicia amelloides</i>
Goodenia species	
<i>Grevillea biternata</i>	
<i>Grevillea bronze rambler</i>	
<i>Grevillea juniperina</i>	
<i>Grevillea lanigera</i>	
<i>Hardenbergia violacea</i>	
<i>Hibertia species</i>	
<i>Hibbertia scandens</i>	
<i>Myoporum actinophyllum prostrate</i>	
<i>Myoporum ellipticum</i>	
<i>Myoporum parvifolium fine leaf</i>	
<i>Pandorea jasminoides</i>	
<i>Themeda trianda</i>	
<i>Themeda "Mingo"</i>	
<i>Viola hederacea</i>	
<i>Vitex ovata</i>	

Table 22.3(e) Clumping Bulbs, Lillies and Grasses

Native Species	Exotic Species
<i>Crinum species</i>	<i>Agapanthus species</i>
<i>Dianella species</i>	<i>Dietes species</i>
<i>Dianella brevipedunculata</i>	<i>Hemerocallis species</i>
<i>Dianella caerulea</i>	<i>Hippeastrum species</i>
<i>Dianella congesta</i>	<i>Hymenocallis species</i>
<i>Dianella longifolia</i>	<i>Liriope species</i>
<i>Doryanthes palmeri</i>	<i>Ophiopogon species</i>
<i>Festuca glauca</i>	<i>Phormium species</i>
<i>Lomandra species</i>	<i>Strelitzia reginae</i>

<i>Lomandra hystrix</i>	<i>Zephyranthes species</i>
<i>Lomandra longifolia</i>	
<i>Pennisetum species</i>	

Sch 6.2.3 Planning Scheme Policy 3 - Preparing Master Plans for Development Applications



SC6.2.3.1 Purpose

The purpose of this Planning Scheme Policy is to provide guidelines for the information and format required for Master Plans in support of a Development Application.

SC6.2.3.2 Application of a Master Plan

This Planning Scheme Policy may be used to support Reconfiguring a lot, Material change of use or variation request applications that:

1. are identified on **Master Plan Areas Overlay Map OM-11***; or
2. involve the creation of 25 or more lots.

Note: A Master Plan may also be requested in specific urban renewal locations or redevelopment sites through the pre-lodgement meeting process with Council.

**These are areas where detailed planning has not been undertaken to inform development outcomes.*

SC6.2.3.3 What is a Master Plan?

A Master Plan is the preferred communication tool to express the outcomes of various planning, environmental, social and engineering reports graphically on a plan. It is intended to be a document that provides an 'overall picture' of a proposed development that can be easily interpreted by all interest groups.

A Master Plan can be prepared for new residential neighbourhoods as well as new business, industrial or mixed use areas.

SC6.2.3.4 Master Plan Principles for New Residential Neighbourhoods

A Master Plan should aim to demonstrate how new residential neighbourhoods embody the following principles:

1. Sites are planned and developed in an orderly and sequential fashion, with the necessary infrastructure and services provided in an efficient and timely manner;

2. Sporadic and out-of-sequence subdivision of land, including small isolated sites, is inconsistent with Council's Local Government Infrastructure Plan and therefore prevented;
3. Certainty to the community is provided by identifying the type and location of future land uses and road/transport infrastructure;
4. Development is designed to ensure environmental assets and features are preserved;
5. Development is of an intensity, scale and density that is:
 - a. appropriate to the on-site and local development constraints; and
 - b. commensurate with the capacity of the transport network and infrastructure requirements;
6. New residential neighbourhoods are designed:
 - a. to be accessible and integrated with surrounding areas;
 - b. to provide a range of lot sizes that promote choice of housing types dispersed throughout the development site so that large tracts of any one housing type are avoided;
 - c. around features such as a local park, a central street with local shops or natural features such as creeks and hilltops;
 - d. to feature a grid street network, where cul-de-sacs are only provided occasionally due to topographical and other site constraints;
 - e. to have clear boundaries or edges, defined by natural landscape features, creek corridors or non-residential land uses, rather than roads or fences;
 - f. to include street trees and other landscaping methods.
7. The design of the Master Plan actively promotes achievement of the Purpose, Overall Outcomes and Performance Outcomes of the applicable Zone.

SC6.2.3.5 Master Plans for New Business, Industrial or Mixed Use Areas

A Master Plan should aim to demonstrate how new business, industrial or mixed use areas embody the following principles:

1. New development complements the desired character of the area and positively contributes to the locality's built form, streetscape and atmosphere;
2. Development is planned and designed to:
 - a. provide internal and external spaces that promote community interaction;
 - b. promote safety, with particular attention given to landscape design, building location, building entrances, lighting, pedestrian pathways, car parking facilities, the location of amenities and seating that support accessibility for people with special needs, etc;
 - c. provide vehicle entry and exit arrangements that:
 - i. minimise adverse impacts on local amenity;
 - ii. promote efficiency of the road system;
 - iii. achieves integration with adjoining sites;
 - d. provide for internal vehicle movement arrangements that:
 - i. minimise conflicts between vehicles, cyclists and pedestrians;
 - ii. achieves integration with adjoining sites; and
 - e. where applicable, incorporate and respond to the existing or desired character of the area, including significant views and outlooks;
 - f. minimise conflict between different uses within the Master Planned area.
3. business uses (and where appropriate, low impact service industries) service local resident needs only and

therefore do not require a site located to attract trade from through traffic; and

- the design of the Master Plan actively promotes achievement of the Purpose, Overall Outcomes and Specific Outcomes of applicable Zone Code provisions.

SC6.2.3.6 Master Plan Checklists

SC6.2.3.6.1 Greenfield Sites and New Residential Neighbourhoods

The following checklist is used to ensure that all aspects of a Master Plan are included to support a Development Application for new residential neighbourhoods.

Table SC6.2.3.6.1.1 - Greenfield Sites and New Residential Neighbourhoods Master Plan Checklist

No.	Master Plan Requirement	Included in Master plan (yes/no - if not included, provide brief explanation)
1	The Master Plan shows the extent of the subject site and surrounding features for context (land use, buildings, roads, waterways, parks, etc).	
2	The Master Plan identifies the location of each proposed land use.	
3	The Master Plan shows the location of existing and new roads/ road infrastructure (such as roundabouts, signalised intersections, etc.), access points, cycle routes, pedestrian paths, public transport routes and stops, etc.	
4	The Master Plan identifies how and where broad physical infrastructure is to be provided (e.g. water, sewerage, stormwater).	
5	The Master Plan identifies environmental and topographical features — distinguishing between features to be retained/ protected, and those to be altered or removed.	
6	The Master Plan shows the location and size of proposed parks, including corridor linkages and networks.	
7	The Master Plan identifies linkages between the proposed development and surrounding development.	
8	The Master Plan nominates: <ol style="list-style-type: none"> lot size variety and yield; where applicable, the location of sites intended for higher density residential uses, e.g. townhouses; and the intended staging of the development. 	
9	The Master Plan identifies, where relevant: <ol style="list-style-type: none"> local landmarks of note (natural and/or built); significant views or outlooks to be protected/maintained; and new landscape areas and/or buffers. 	

SC6.2.3.6.2 Business, Industrial or Mixed Use Areas

The following checklist is used to ensure that all aspects of a Master Plan are included to support a Development Application for Business, Industrial or Mixed Use Areas.

Table SC6.2.3.6.2.1 - Business Industrial or Mixed Use Master Plan Checklist

No.	Master Plan Requirement	Included in Master plan (yes/no - if not included, provide brief explanation)
1	The Master Plan shows the extent of the subject site and surrounding features for context (land use, buildings, roads, waterways, parks, etc).	
2	The Master Plan identifies the location of the proposal.	
3	The Master Plan shows how the design of the proposal integrates internal and external access for walking, cycling, public transport and vehicles, to achieve a safe, convenient, comfortable, accessible and attractive environment.	
4	The Master Plan shows how a particular development site, if relevant, is integrated with neighbouring properties, facilities and existing centre or business activities as a whole.	
5	The Master Plan identifies infrastructure and urban design linkages to surrounding development.	
6	The Master Plan identifies how design elements within the proposal that promote: <ol style="list-style-type: none"> a. safety, security and accessibility; b. community focus and the use of the development as a meeting place for all people; c. streetscape improvements (including the provision of street furniture, use of awnings, lighting, seating, public art and public realm). d. where relevant, the retention of character buildings and heritage values, including significant views and outlooks to natural or built form features. 	
7	The Master Plan identifies the character and appearance of building, carparking and all other design elements of the proposal.	
8	The Master Plan identifies the proposed finished floor levels for all elements of the proposal.	
9	The Master Plan identifies urban design and landscape elements that are utilised to reinforce the desired identity, character and atmosphere of the local area.	
10	The Master Plan identifies how impacts on surrounding uses are to be managed.	
11	The Master Plan nominates: <ol style="list-style-type: none"> 1. the maximum height of development; 2. maximum gross floor area of the development; and 3. the proposed location of any servicing and car parking area(s). 	
12	The Master Plan identifies: <ol style="list-style-type: none"> 1. distinct areas for specific activities or uses; and 2. intended treatments to minimise conflict between different land uses <i>e.g. park buffers between commercial and residential areas.</i> 	

SC6.2.4 Planning Scheme Policy 4 - Bushfire Management Plans



Part 1 Introduction

1.1 Title

This planning scheme policy may be cited as Planning Scheme Policy 4 - Bushfire Management Plans.

1.2 Purpose of this planning scheme policy

The purpose of this planning scheme policy is to provide guidance for the preparation of a Bushfire Management Plan (BMP) to ensure:

- a. development is designed and located to minimise risks to people and property from bushfires;
- b. bushfire risk mitigation treatments are accommodated in a manner that avoids or minimises impacts on the natural environment and ecological processes;
- c. development contributes to effective and efficient disaster management response and recovery capabilities.

Where the information required by this policy is not supplied when the development application is made, this information may be the subject of an information request as part of the development assessment process.

1.3 Structure of this planning scheme policy

Part 1. Title
Part 2. Bushfire Management Plan
Part 3. Reference List and Supporting Tools

1.4 Commencement

This planning scheme policy commences on the date of the Scenic Rim Planning Scheme.

1.5 Relationship to the Planning Act 2016

This planning scheme policy is made pursuant to the *Planning Act 2016*.

1.6 Applicability of this planning scheme policy

This planning scheme policy applies where:

1. development occurs within areas identified as a Bushfire Hazard Area (Very High, High, Medium or Potential Impact Buffer) on **Overlay Map OM-03-B Bushfire Hazard**; and
2. the Bushfire Hazard Overlay Code requires the preparation of a Bushfire Management Plan.

***Note** - The bushfire hazard overlay mapping is based on the Queensland State Government SPP interactive bushfire hazard mapping. Any updates to this mapping affecting the development must be noted and considered in the preparation of a Bushfire Management Plan.*

1.7 Relationship to Other Legislation and Standards

This Policy must be read in conjunction with Council's Planning Scheme, statutory requirements including Council Local Laws, the Act and other references/standards as detailed herein.

1.8 Referenced documents

Any non-local government publication referenced must be sourced directly.

Part 2 Bushfire Management Plan

2.0 Bushfire Management Plan

A Bushfire Management Plan identifies bushfire hazards, risk to development and strategies for mitigating the impacts of bushfire on life, property and the environment. This includes identifying specific risk factors associated with developments, planning for the separation of at-risk elements and providing access and treatments to facilitate an effective response to bushfire.

2.1 Suitably Qualified Person

The Bushfire Management Plan must be prepared, or peer reviewed, by a suitably qualified person having:

1. experience in bushfire management consultancy;
2. consultative experience with other relevant stakeholders;
3. demonstrated experience in fire management planning activities in the Southeast Queensland/ Northern New South Wales region;
4. experience in all aspects of bushfire management, fire prevention and fire suppression; and
5. qualifications being:
 - a. Degree (AQF level 8) qualifications in environmental science, environmental management (or an equivalent discipline); or
 - b. demonstrated experience in botanical survey and spatial analysis methods, including use of geographic information systems (GIS) software; or
 - c. demonstrated experience in the assessment of bushfire hazard and risks; or
 - d. technical qualifications in environmental science, environmental management (or an equivalent discipline); or
 - e. demonstrated relevant industry experience in the assessment of bushfire hazard and risks for a minimum five years; or
 - f. Accreditation by the Fire Protection Association of Australia's Bushfire Planning and Design (BPAD) Accreditation Scheme as a level 2 or 3 bushfire assessor.

The qualification and experience of the person undertaking, and peer reviewing if applicable, the Bushfire Management Plan must be stated within the plan.

2.2 Where a Bushfire Management Plan is not required

A Bushfire Management Plan is not required where:

1. Development is Accepted with Requirements and complies with the Acceptable Outcomes of **Table 8.2.3.3.1 Bushfire Hazard Overlay Code - For Accepted and Assessable Development, AO1**;
OR
2. Development is Assessable and a site specific assessment by a suitably qualified person determines that bushfire hazard is unlikely in any areas (external of buildings) which are used by persons operating, using or visiting the development in accordance with **PO1 in Table 8.3.1.3.2 - Bushfire Hazard Overlay Code - Assessable Development**; and

Note - For example, mapping does not, or no longer represents the on-site vegetation.

3. The suitably qualified person certifies and demonstrates (2) above, and that a Bushfire Management Plan is not required; and
4. A copy of the above certification (and demonstrated reasons) are provided to Council.

2.3 Bushfire Management Plan Details

2.3.1 Whole of Development Planning

In preparing a Bushfire Management Plan (BMP), the entire development must be considered, and in doing so, the *suitably qualified person* must be familiar with the site, and the proposed development. Considerations should include the following (where relevant) as a minimum:

Contents	Considerations/requirements
1. Executive Summary	<ul style="list-style-type: none"> Includes recommendations
2. Authors Details	<ul style="list-style-type: none"> Detail of the report's author/peer reviewer Qualifications and experience Contact details
3. Site Description	<ul style="list-style-type: none"> Details and photographs of the physical characteristics of the site including vegetation, topography and access; Provide an overview of the existing land uses; Details of the proposed development, including a current aerial photo highlighting bushfire hazard areas overlaid with the plan of development; Development siting and layout; Zoning and relevant overlay details; Local climate considerations.
4. Site Vegetation	<ul style="list-style-type: none"> Aerial photograph; Onsite photographs; Any vegetation management, clearing and landscaping proposed as part of the development; Visual assessment comments.
5. Conservation of Significant Vegetation	<ul style="list-style-type: none"> Details of State or Commonwealth significant vegetation; Details of vegetation identified as Matters of State and Local Environmental Significance as detailed in the Planning Scheme.
6. Bushfire Risk Assessment	<ul style="list-style-type: none"> A site-based assessment of bushfire attack levels undertaken in accordance with AS3959 - 2009. This must also address any areas external of buildings which are used by persons operating, using or visiting the development; Radiant heat levels and separation distances established in accordance with method 2 identified in AS3959-2009; A determination whether the safety of people, property and vegetation associated with the development, can be managed and lives protected (including by risk mitigation) in a bushfire event; and Any other assessments conducted or appropriate.
7. Bushfire Risk Management Solutions and Recommendations	<ul style="list-style-type: none"> Detail how bushfire hazard can be mitigated with particular reference to: <ol style="list-style-type: none"> the safety of people residing, working, using or visiting the site; driveway access and internal road design; means of emergency ingress and egress by

	<ul style="list-style-type: none"> vehicles and pedestrians; d. proposed fire-fighting infrastructure; e. evacuation procedures for visitors, residents and staff in the case of bushfire; f. water supply for fire-fighting; g. access for fire-fighting and emergency vehicles; and h. where a vulnerable use, the safety of people in a bushfire event can be managed considering the use and the people associated with the particular use; i. The BMP demonstrates that the safety of people and property in a bushfire event can be managed and risks mitigated; and • The BMP demonstrates how each outcome of the Bushfire Hazard Overlay Code can be achieved; and • Provide recommendations in regard to: <ul style="list-style-type: none"> a. bushfire hazard mitigation; b. siting of the development, landscaping and vegetation; c. on-going bushfire management and procedures of the development; d. protection measures for significant vegetation; e. clearing of vegetation to reduce bushfire hazard; and f. evacuation procedures.
<p>8. References</p>	<p>Other documents referenced in or relevant to the report</p>

2.3.2 Reconfiguration of Lots

A Bushfire Management Plan submitted as part of a development application for Reconfiguration of a lot is to also include the below.

1. An assessment of the nature and severity of the bushfire hazard affecting the site and any other site specific factors that are important in devising suitable bushfire mitigation strategies. These factors include but are not limited to matters such as the likely direction of bushfire attack, environmental values that may limit mitigation options, location of evacuation routes and/or safety zones.
2. An assessment of the specific risk factors associated with the development proposal, including matters such as the nature of activities conducted and materials to be stored on the site, numbers and types of persons likely to be present, particular warning and/or evacuation requirements etc.
3. An assessment of how the proposal complies with all of the relevant assessment criteria contained in zone, local plan and development codes and recommend specific mitigation actions for the proposed development to address bushfire hazard including:
 - a. access, including road layout and access to the site, access and evacuation requirements and access for two wheel drive vehicles and fire-fighting appliances;
 - b. lot layout and lot orientation;
 - c. identification of hazardous vegetation and appropriate setbacks;
 - d. fire trails:
 - i. the need for and construction of fire trails over the use of a perimeter road;
 - ii. access requirements and access routes for two wheel drive vehicles and fire-fighting appliances; and
 - iii. construction standards for fire trails (see **2.3.4 Fire Trails**);
 - e. identification and construction standards of fuel free and fuel reduction buffers (refer to the provisions below);
 - f. building locations and siting, building envelopes and siting requirements for nominated building areas;

- g. details of the types of new vegetation and landscape treatments to be used on site, particularly in fuel free and fuel reduction buffers;
- h. details of any clearing proposed;
- i. identification and mitigation of risk from the surrounding lands;
- j. warning and evacuation procedures and routes and responsibilities for their maintenance;
- k. individual property fire management plans, including maintenance regimes;
- l. fire-fighting requirements including infrastructure and the requirement for a dedicated water storage exclusively for fire-fighting purposes and/or the utilisation of existing dams for fire-fighting purposes;
- m. any other specific measures such as external sprinkler systems and alarms;
- n. on-going maintenance and response awareness programs; and
- o. identification of specific responsibility for actions to be taken under the bushfire management plan, including a summary of the responsibilities of:
 - i. owners/occupiers of lots within the subject development;
 - ii. the developer;
 - iii. Scenic Rim Regional Council, including estimated costs of Council's responsibilities;
 - iv. a general statement of the implications of non-compliance with the recommendations of the bushfire management plan in relation to household (fire) insurance policies; and
 - v. any other relevant matters which may become apparent during preparation of the plan.

The level of detail required for a particular development application should be determined in consultation with Council.

2.3.3 Signage

Signage for fire trails

Signage for fire trails is to be erected at regular intervals and at changes of direction. These signs should incorporate red arrows or a triangle to mark the direction of the fire-trail (see Appendix A).

Signage for water points

Signage for water points is to be erected to indicate the existence of a static water point. A blue cats eye on a light blue post is to be used at the water source and the direction to a static water source will be marked by a blue reflective arrow or triangle (see Appendix A).

2.3.4 Fire Trails

1. Fire trails are only effective in the context of a strategic advantage and access for hazard-reduction operations. Fire trails present difficulties and costs associated with maintaining them on private land. **Proposals for fire trails will need to demonstrate clear benefits over the use of a perimeter road.** A perimeter fire trail cannot be imposed on the adjoining lands.
2. Fire trails are primarily used as access for firefighters. They are also used for fire control lines and maintenance of buffers protecting development. In non-urban areas, they may surround isolated dwellings or groups of dwellings. In suburban subdivisions, they may function as a strategic control line around the hazard side of the development, if they are connected to the public road system at frequent intervals.
3. Fire trails are to be designed and located in accordance with the Bushfire Management Plan. The bushfire management plan is to demonstrate that the fire trails:
 - a. are located, designed and constructed to mitigate development from bushfire hazard and allow access for fire-fighting vehicles to strategic areas of the site for fire-fighting;
 - b. are designed to meet the outcomes of the Bushfire Hazard Overlay Code;
 - c. adjacent to Council parkland are to be on private land where no public road interface can be achieved;
 - d. are unfenced and accessible at all times by fire-fighting vehicles;
 - e. connect through to a road network or network of other fire maintenance trails;
 - f. respond to site topography and bushfire characteristics of the site and surrounding area;
 - g. are located, designed and constructed to protect firefighter safety and provide for movement,

- manoeuvring and access to water supplies for fire-fighting.
- h. are designed so that dead ends are avoided; however if a dead end exists, a turnaround of sufficient radius for a full lock by a Category 1 fire tanker should be constructed (radius 12m) and if there is insufficient space for such a turnaround due to the topography, provision should be made to allow a maximum three-point turn (radius 10m);
 - i. are designed and constructed to avoid adverse environmental impacts, including soil erosion, impacts on natural hydrological flows, or other land degradation;
 - j. link to existing fire maintenance trails or roads at each end and at maximum intervals of 200m, having regard to site topography, firefighter safety and the need to regularly access water supplies;
 - k. do not alter natural hydrological flows or expose acid sulfate soils;
 - l. are identified using signage described in Appendix A;
 - m. primary trails are maintained to provide safe four-wheel drive access by fire-fighting vehicles.

Part 3 Bushfire Reference Material

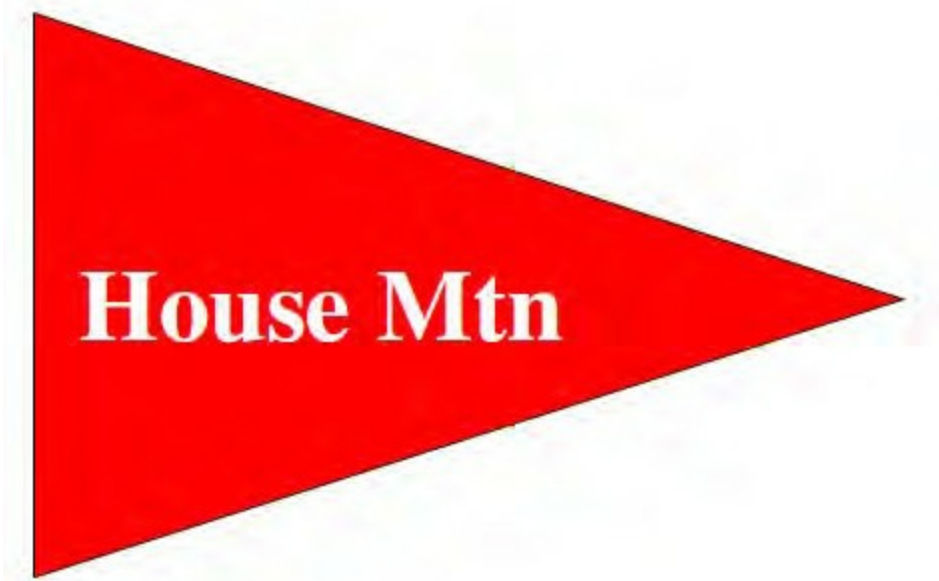
3.1 Reference List and Supporting Tools

1. State Planning Policy, July 2017. Department of Infrastructure, Local Government and Planning
2. AS 3959 - 2009 Construction of Buildings in Bushfire-prone Areas
3. Queensland Fire and Emergency Services' Fire Hydrant and Vehicle Access Guidelines
4. AS2419.1-2009 Fire Hydrant Installations - System Design, Installation and Commissioning, where connected to a reticulated water supply

Appendix A — Signage



Water Point Direction Marker



Fire Trail Marker (cat 1)

Sch 6.2.5 Planning Scheme Policy 5 — Ecological Assessments



Part 1 Introduction

1.1 Title

This planning scheme policy may be cited as Planning Scheme Policy 5 - Ecological Assessments.

1.2 Purpose of this planning scheme policy

The purpose of this planning scheme policy is to provide guidance for the preparation of an ecological assessment which will assist in determining if the outcomes of the Environmental Significance Overlay Code are met.

Where the information required by this policy is not supplied when the development application is made, they will be the subject of an information request under the Integrated Development Assessment System (IDAS).

1.3 Structure of this planning scheme policy

1. **Part 1 Title**
2. **Part 2 Preliminary**
3. **Part 3 Ecological Assessments**
 - a. 3.1 Overview
 - b. 3.2 Level of Ecological Assessment Required
 - c. 3.3 Components of an Ecological Assessment
 - i. 3.3.1 Basic Ecological Assessment
 - ii. 3.3.2 Detailed Ecological Assessment
 - d. 3.4 Vegetation clearing to support a Bushfire Management Plan
 - e. 3.5 Competency Standards
4. **Part 4 Environmental Design**
 - a. 4.1 Overview
 - b. 4.2 Planning and Design for Habitat Tree Retention
 - c. 4.3 Design for Connectivity
 - d. 4.4 Planning and Design for Wildlife

- e. 4.5 Wetland and Waterway Buffers
- 5. **Part 5 Environmental Offsets**
 - a. 5.1 Overview
 - b. 5.2 Triggers for Environmental Offsets
 - c. 5.2 Offset Receiving Areas
 - d. 5.3 Planning and Design Principles
- 6. **Part 6 References**
- 7. **Appendices**
 - a. Appendix A - Basic Ecological Assessment Template
 - b. Appendix B - Detailed Ecological Assessment Template
 - c. Appendix C - Vegetation Management Plan Template
 - d. Appendix D - Environmental Offsets Plan
 - e. Appendix E - Koala Food and Habitat Trees
 - f. Appendix F - Priority Species

1.4 Commencement

This planning scheme policy commences on the date of the Scenic Rim Planning Scheme.

1.5 Relationship to the Sustainable Planning Act 2009

This planning scheme policy is made pursuant to the Planning Act 2016.

1.6 Applicability of this planning scheme policy

This planning scheme policy applies where:

1. the Environmental Significance Overlay Code requires the preparation of an Ecological Assessment; and
2. development occurs within areas identified on:
 - a. **Environmental Significance Overlay Map OM-04-A - Biodiversity (MSES);**
 - i. Regulated Vegetation
 - ii. Protected Areas
 - b. **Environmental Significance Overlay Map OM-04-B - Local Biodiversity (MLES);**
 - i. Core Corridor
 - ii. Node Corridor
 - iii. Stepping Stone
 - iv. Critical Linkage
 - c. **Environmental Significance Overlay Map OM-04-C - Priority Species;**
 - i. State Significant Species (MSES)
 - ii. Koala Habitat (MLES)
 - d. **Environmental Significance Overlay Map OM-04-D — Wetlands and Waterways (MSES);**
 - i. High Ecological Value Waters (Watercourse)
 - ii. High Ecological Value Waters (Wetland)
 - iii. High Ecological Significance Wetlands
 - iv. Waterways and Wetlands Buffer Area
 - e. **Environmental Significance Overlay Map OM-04-E — Local Watercourses (MLES);**
 - i. Watercourse Buffer Area A
 - ii. Watercourse Buffer Area B
 - iii. Watercourse Buffer Area C

1.7 Relationship to Other Legislation and Standards

This Policy must be read in conjunction with Council's Planning Scheme, statutory requirements including

Council Local Laws, the Planning Act and other references/standards as detailed herein.

It is the responsibility of the proponent to consider their obligations under the:

1. Vegetation Management Act;
2. Nature Conservation Act;
3. Environmental Offsets and
4. Environment Protection & Biodiversity Conservation Act (Comm)

1.8 Referenced documents

Any non-local government publication referenced must be sourced directly.

1.9 Reference to Policy

The term:

- *Policy*, when used herein, refers to Planning Scheme Policy 5 - Ecological Assessments; and
- *Code*, when used herein, refers to the Environmental Significance Overlay Code.

1.10 Terminology

Terms used in the Policy are defined in Schedule 1 - Definitions.

Part 2 Preliminary

2.1 Pre-lodgement Meetings

It is strongly recommended that discussions are held with Scenic Rim Regional Council prior to and during assessment for clarification of specific requirements and outcomes related to a particular project.

A pre-design on-site inspection is expected to be undertaken prior to any ecological assessment commencing to discuss specific issues and requirements for the site and surrounds.

Where development is expected to cause impacts to the environment or natural values, Environmental Offsets may be required. It is therefore recommended to discuss any requirements under this Policy before an application is lodged.

Any variation to Policy requirements should be discussed as early as possible. Where proposing to engage a suitably qualified person with qualifications other than those listed, prior approval by Council is required.

2.2 Forms

Relevant development application forms are available from the Department of Infrastructure, Local Government and Planning web site:

<http://www.dilgp.qld.gov.au/>

If you have specific queries about a particular question or matter, it is recommended that you discuss the query initially with Councils Customer Service Section.

Templates regarding matters included throughout the Policy are for reference material only and are intended as a guide.

2.3 Fees

Fees associated with applications are listed in Council's Fees and Charges schedule located on Council's website:

<http://www.scenicrim.qld.gov.au/>

Part 3 Ecological Assessments

3.1 Overview

Ecological Assessment is an integral part of the development design and assessment process. The results and conclusions of an ecological assessment report assist Council in considering if the proposed development will achieve the outcomes required by the Environmental Significance Overlay Code.

An ecological assessment should address the relevant {Performance and Acceptable Outcomes} of the Environmental Significance Overlay Code in relation to the proposed development and consider the environmental design elements of this policy throughout the development. Development that demonstrates it complies with the Code and the Policy is consistent with these parts.

Where a proposed development has the potential to adversely impact upon mapped environmental values, an ecological assessment report shall inform the development assessment process and compliance with the Environmental Significance Overlay Code.

3.2 Level of Ecological Assessment Required

The level of detail required is initially determined by **Table 3.2 Level of Ecological Assessment Required**.

However, where the particulars of an individual site determine that a different level of Ecological Assessment is appropriate, Council may:

1. Consent to a lesser or greater level of Ecological Assessment; or
2. Require a lesser or greater level of Ecological Assessment.

In considering the appropriate level of Ecological Assessment, consideration should be given to:

1. The extent of vegetation clearing to occur,
2. The ecological value of the area to be affected,
3. The period of time before offset plantings would replicate the existing habitat,
4. The extent of impact on the ecology.

Table 3.2 Level of Ecological Assessment Required

Environmental Significance Overlay Map OM-04	Level of Ecological Assessment Required		
	Ecological Assessment not required*	Basic Ecological Assessment*	Detailed Ecological Assessment
A — Biodiversity	Where Accepted development.	All other circumstances	Where development: 1. involves the clearing of vegetation within; a. High Ecological Value Waters, High Ecological Significant Wetlands; or a buffer area shown on OM-04-D; or b. a stream or buffer area shown on OM-04-E; or
B - Local Biodiversity			
C - Priority Species			
D — Wetlands and Waterways			
E — Local Watercourses			

			<ul style="list-style-type: none"> 2. Involves the clearing of a Koala Food or Habitat Tree; or 3. affects; <ul style="list-style-type: none"> a. a Priority Species or State Significant Species; or b. aquatic flora or fauna
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**Note - A suitably qualified person may be required to demonstrate that this level of assessment is appropriate.*

3.3 Components of an Ecological Assessment

3.3.1 Basic Ecological Assessment

Assessment generally relates to a small affected area, which has simple solutions to the impacts of the development on environmental values. The report must consider the Environmental Significance Overlay Code and detail how the relevant outcomes are to be met by the development.

A Basic Ecological Assessment need only address outcomes relevant to the specific matters for which a mapped overlay applies (e.g. where no vegetation clearing is proposed, a Vegetation Management Plan or Ecological Offsets Plan may not be required).

Assessment is undertaken over the period of a day or less. Trapping is generally not undertaken, although diurnal searches for fauna are desirable. Vegetation structure is likely to be readily assessed using quaternary sites, although transect information may be useful in some situations. All prevailing environments are assessed and documented.

Where development has a minor effect on an environmental value which is not negligible, a **Basic Ecological Assessment** is supported by a:

1. Vegetation Management Plan

Vegetation Management Plans (VMP) which describe the actions applied throughout development to manage vegetation before, during and after development is undertaken, should be included with an Ecological Assessment. A VMP provides certainty surrounding how the development ensures environmental best-practice. A VMP should also describe how the development incorporates a proactive approach to minimise the effects of development on flora.

2. Fauna Management Plan

Fauna Management Plans (FMP) which describe the actions applied throughout development to manage fauna before, during and after development is undertaken, should be included with an Ecological Assessment. An FMP provides certainty surrounding how the development ensures environmental best-practice. An FMP should also describe how the development incorporates a proactive approach to minimise the effects of development on fauna.

Where a VMP or FMP have not been supplied, Council may request such plans during the *Information Request* stage to enable effective assessment of the development. Where a VMP or FMP is not provided, such plans may be required at the *Decision* stage of the IDAS system.

Note - Refer to Appendix A Basic Ecological Assessment Template for details.

Refer to Appendix C Vegetation Management Plan Template for details.

Editor's Note - Contact Council for a guideline and examples to assist in completing the template.

3.3.2 Detailed Ecological Assessment

Assessment generally relates to development which affects a large area and/or has potential to cause significant ecological and residual impacts on environmental values. Solutions to impacts on environmental values may be complex and multi-faceted, requiring in-depth analyses of ecological issues across the development site and adjacent areas of influence. A Detailed Ecological Assessment must consider and detail how all outcomes of the Environmental Significance Overlay Code are met by the development. The report will detail how the development incorporates *Environmental Design* principles and considers locally specific and regional environmental values and influences. Where significant residual impacts are likely, the report identifies, analyses and reports solutions to those impacts through an Environmental Offsets Plan (EOP).

Analysis and reporting of the fauna found at the site will detail the habits, movements and breeding potential of the fauna surveyed. The report should document the likely local and regional movement patterns and ranges of fauna surveyed. Past and present breeding sites should also be considered and documented. A Fauna Field Survey may inform the Detailed Ecological Assessment.

All prevailing environments are assessed and reported. The report must describe the vegetation across the site, including its structure, composition and regenerative capacity. A flora field survey may inform the Detailed Ecological Assessment.

Aquatic assessments are required where development transects, or results in the reconstruction or alteration of a watercourse. Flora and fauna surveys are undertaken, and aquatic assessments will consider existing and projected water quality parameters during and post-development on those organisms. The report will detail expected hydrological flow rates, run-off quantities and qualities during the development phase and until the disturbed and impacted areas are rehabilitated and/or stabilised.

Where the water quality of an aquatic *Priority Species* or *State Significant Species* is likely to be affected by the development, the Detailed Ecological Assessment must demonstrate how the development seeks to manage the aquatic environment to acceptable levels for that species. The report must also detail how the development seeks to achieve water quality guidelines for the relevant catchment area and be consistent with the document '*Monitoring and Sampling Manual*' published by the State Department of Environment and Science (DES).

The report will detail all aspects of development likely to affect the waterway and describe mitigation measures required to minimise environmental harm during high rainfall and flow events.

A Detailed Ecological Assessment is supported by:

1. Vegetation Management Plan

A VMP which describes the actions to be applied to manage vegetation before, during and after development works. A VMP may be required to be submitted to Council either:

- a. prior to development approval as part of the development assessment process; or
- b. as a condition of a development approval in which case it will be required to be lodged before the commencement of site works or any interference with vegetation. This plan provides certainty surrounding how actions are to occur to ensure environmental best-practice is undertaken. An VMP should also describe how the development incorporates a proactive approach to minimise the effects of development on vegetation and considers environmental design (refer Part 4.0 Environmental Design).

A Flora Survey may inform the VMP.

2. Fauna Management Plan

A FMP which describes the actions applied throughout development to manage fauna before, during and

after development is undertaken, should be included with an Ecological Assessment. An FMP provides certainty surrounding how the development ensures environmental best-practice by detailing adopted procedures when interaction with fauna cannot be avoided. An FMP should also describe how the development incorporates a proactive approach to minimise the effects of development on fauna and considers environmental design (refer Part 4.0 Environmental Design).

A Fauna Field Survey may inform the FMP.

3. Fauna and Flora Field Surveys

Fauna and Flora Field Surveys are required where development results in impacts to native species, their habitats and movement throughout the landscape. Survey methodologies must be robust, repeatable and comply with accepted industry best-practice and government regulation/standards.

If handling, capturing, trapping or taking animals is required, the person/s must hold relevant competency standards (refer section 3.5 Competency Standards) and comply with all permits required to undertake that work. Where persons are undertaking work under direction of a relevantly competent person, the relevant competent person must be on site while survey work is undertaken.

Fauna and Flora Field Surveys will examine all *Priority Species* with further emphasis on nationally, state or locally important species, including those endangered, threatened, vulnerable or least concern species, and migratory birds protected under international agreement

Searches of local and regional databases should assist to identify species likely to occur in the area. Targeted systematic searches are required over the entire study area to determine the presence and location of species utilising 'whole-of-site' traverses or equivalent methodologies. This is of particular importance where existing records or local knowledge suggest that significant flora species may be present, or where prior site disturbance may have resulted in an unpredictable distribution of species.

Aquatic Fauna and Flora Surveys should be undertaken for aquatic environments where interruption or alteration to a waterway or wetland is likely. Surveys and sampling methods must be undertaken in accordance with industry best practice techniques, conform to scientific methodologies, and Government standards where applicable to the environment assessed.

Fauna Surveys are to be guided by '*Terrestrial Vertebrate Fauna Survey Assessment Guidelines for Queensland*' and incorporate the *Targeted Species Guidelines* where available for relevant species and published by the State Department of Environment and Science.

Fauna Surveys must:

1. Describe the fauna habitat significance of the site or its sub-components within a local, bioregional, state and national context.
2. Identify any evidence of edge effects, invasive pest species and other disturbance (locations, causes and extent) which have potential to influence native fauna population viability.
3. Identify:
 - a. Habitat trees
 - b. Trees with scratch marks
 - c. Location and identification of scats, tracks and other traces of fauna
 - d. Fauna trails
 - e. Fallen logs
 - f. Termite mounds
 - g. Ground diggings
 - h. Rock outcrops
 - i. Nests (including in banks)
 - j. Roost/nest/den trees.
4. Be undertaken with a minimum of four days and nights survey to minimise sampling duration influences within a given sampling period. In some instances, seasonal survey information may be required.

Where alternative sampling effort is applied, appropriate justification must be provided.

Flora surveys are to be guided by industry best practice and be consistent with the principles and standards of 'Flora Survey Guideline-Protected Plants' as published by DES. Surveys must be consistent with regulatory requirements as described by the Nature Conservation Act 1992. All significant flora species that occur within the Region, including State Significant Species, locally significant species and *Priority Species* are to be included in the survey.

4. Environmental Offsets Plan

Where significant residual impacts occur, resulting from damage to areas identified as Matters of Local Environmental Significance (and where not identified as Matters of State Environmental Significance) cannot be avoided or mitigated, the impacts are offset so that the environmental value proposed to be removed from the site is maintained.

Environmental Offsets under this Policy are to achieve a conservation outcome for the impacted matter(s). They are proposed as a last resort action to offset unavoidable impacts where reasonable action has been taken to avoid impacts. Refer to Part 5.0 Environmental Offsets of this Policy.

Note - Refer to Appendix B Detailed Ecological Assessment Template for details.

Refer to Appendix C Vegetation Management Plan Template for details.

Refer Appendix D Environmental Offsets Plan for details.

Editor's Note - Contact Council for a guideline and examples to assist in completing the template.

3.4 Vegetation clearing to support a Bushfire Management Plan

Where matters of environmental significance are proposed to be affected by vegetation clearing under a bushfire management plan, an ecological assessment may be required in addition to the Bushfire Management Plan as described by Planning Scheme Policy 4 - Bushfire Management Plans. Any need for an Ecological Assessment must comply with this Policy.

The Property Fire Management Planning Kit published by SEQ Fire Biodiversity Consortium, should be consulted to assist smaller developments manage bushfire consistent with ecological best practice, and may be the subject of an information request under the Integrated Development Assessment System (IDAS).

3.5 Competency Standards

For the purposes of the Policy, a suitably qualified person requires that persons undertaking or engaged in the preparation of the Ecological Assessment must have each of the following.

1. Where undertaking a:
 - a. Basic Ecological Assessment;
Tertiary qualifications in environmental science, botany, ecology, zoology or another related discipline, or other relevant qualifications and experience as approved by Council.
 - b. Detailed Ecological Assessment;
Tertiary qualifications in environmental science, botany, ecology, zoology or another related discipline.
2. Demonstrated experience relative to the assessments conducted.
3. Where necessary, have demonstrated experience in undertaking the required field surveys.

Individuals undertaking field surveys must have appropriate licences, approvals and permits as issued by the administering authority. Individuals handling fauna must be compliant with all relevant animal handling requirements and hold the necessary permits for the proposed purpose. The individual must hold ethical clearance from an Animal Ethics Committee.

The qualifications, experience, licences', approvals and permits of the person undertaking the ecological assessment must be stated within the ecological assessment report.

Part 4.0 Environmental Design

4.1 Overview

Development and urban design plays an important role in the conservation of viable habitat and endemic species to the Scenic Rim Region. When development potential is realised, design elements should be included which consider the natural environment and the role it plays in sensitive land forms and the sustainability of our communities.

Key design elements can assist development in achieving holistic land forms that develop and protect communities, the economy and environmental systems. Ecological assessments should consider environmental design in mitigating negative interactions with natural values.

4.2 Planning and Design for Habitat Tree Retention

Large trees are an important part of an ecosystem providing habitat for a variety of wildlife. Retaining habitat trees ensures viability of hollow-dependent native fauna and maintains biodiversity to support ecological integrity and can be incorporated into urban areas.

Habitat and large trees should be integrated into development at design stage. Removal of habitat trees should be a last resort and would necessitate the installation of artificial nest boxes, to ensure lost habitat values are counterbalanced. Nest boxes must only be considered as a temporary solution with long-term goals aimed at replanting trees to replenish lost natural hollows within the development footprint, and in accordance with any environmental offset provision. A nest box management plan will usually be required to ensure monitoring of wildlife use and determine effectiveness of the adopted strategy.

Where habitat trees and native vegetation must be cleared, habitat features such as hollow logs should be harvested to preserve their values and used to enhance remaining and newly established habitat and landscaped areas. Incorporation of harvested habitat features into development design may help demonstrate that habitat integrity is maintained and protected.

4.3 Design for Connectivity

Protecting and/or rehabilitating corridor links between habitat areas helps maintain biodiversity, integrity and resilience of ecosystems. Fragmentation and isolation of natural areas reduces the diversity and viability of flora and fauna populations. The effects of geographical isolation may not be immediately visible, with extinctions of species over time occurring if fragmentation is permitted.

Corridors of suitable structure, composition and extent enable wildlife movement between habitat areas. Movement between habitat areas allows genetic interchange between populations while offering opportunities for escape and recolonisation following environmental disturbance.

Corridors provide a range of unique functions to fauna adapted to local and nomadic migrations in search of seasonal food sources or reproductive opportunities. Ecological corridors aid in the dispersal, pollination and recolonisation of plant species.

1. Ecological Corridors should be as wide as possible

Wider corridors are used by a larger range of fauna types and remain more effective over time. The most appropriate width for an ecological corridor will depend on vegetation type and extent, locations of waterways, wetlands, adjacent land uses, and the types of wildlife the corridor is serving.

Corridor widths should be:

- a. A minimum of a 100 metre width is recommended to facilitate movement of mammals and other terrestrial wildlife through bushland areas.
- b. Waterway corridors should retain a minimum of 30 metres of vegetation on either side of the channel.
- c. In grazing lands, a densely vegetated corridor 50 metres wide should be adequate to enable most birds to move between remnant habitat areas up to 1.2 kilometres apart.
- d. Widths of up to 500-700 metres may be necessary to provide protection to forest-dwelling birds from aggressive edge-dwelling birds.

2. An Ecological Corridor should provide adequate habitat

An ecological corridor should provide sufficient area and diversity of habitat suitable for the full range of fauna species that inhabit or move through the local area. The diversity and structural complexity of the vegetation communities present must also be considered and reflect the species which depend on the corridor.

For example, densely vegetated riparian corridors may not support the dispersal or movement of koalas between critical habitats in the long term. Conversely, sparsely vegetated open woodlands may inhibit the successful movement of smaller species subject to predation.

3. Minimise interruptions and disturbance to the Ecological Corridor

Interruption, intrusion, and disturbance to ecological corridors encourage environmental weeds, domestic animals and illicit activities reducing the effectiveness of the corridor. Infrastructure and services, such as roads, sewerage and water reticulation, and maintained easements present barriers to wildlife movement and dispersal and should be located outside of ecological corridors wherever possible.

Activities which may affect an ecological corridor include:

- a. Slashing of grasses and understorey
- b. Infrastructure
- c. Easements and associated maintenance
- d. Pathways/trails and recreation
- e. Fire brakes and access tracks

Where the provision of service infrastructure and other intrusions is necessary, a common disturbance corridor or easement should be used where possible. Construction techniques and maintenance regimes which minimise disturbance to the corridor should be adopted wherever possible to minimise interaction with those areas.

4.4 Planning and Design for Wildlife

Improper planning and design can disrupt the feeding, migration, breeding and social patterns of fauna. When undertaking development, consideration must be given to a variety of aspects, such as land form, land uses, duration of development, separations distances, and mitigation strategies during and post-development.

a. Infrastructure Design

The design of infrastructure should consider the effects on fauna and avoid negative interaction with it. Development must consider and implement in its design the:

- Installation of wildlife infrastructure including fencing, refuge poles, culverts, ropes and fauna bridges/underpasses.
- Retrofitting existing infrastructure (e.g. installation of runs in culverts).

Development should consider best practice methodologies for the incorporation of fauna sensitive design. Where road infrastructure cannot avoid negative fauna interaction, consideration must be given to mitigation methods described by Fauna Sensitive Road Design Volume 1 & 2 as published by the

Department of Transport and Main Roads.

b. Urban Design

Development should be positioned to retain and incorporate natural features and attributes into development design at the earliest phase possible. Enhancing urban form while achieving and protecting natural values is an important aspect to urban wildlife protection and enhancement.

Development layout must consider:

- Separation of built land uses from environmental areas and natural values
- Incorporation of buffer areas (road alignments, vegetated swales, recreational areas)
- Alignment of local access roads along corridors/environmental areas to minimise edge effects and excessive maintenance/disturbance to natural values.
- Infill areas adjoining environmental areas and infrastructure alignments with restoration activities.
- Incorporate water sensitive urban design principles by the inclusion of permeable surfaces throughout the development with living stormwater systems buffering discharges to natural areas.
- Protect, repair, replace and implement a range of riparian vegetation communities where ever possible to enhance water quality and waterway integrity.
- Preference permeable vegetated or 'natural' stormwater management systems over impervious systems to reduce velocities and peak flow rates.
- Incorporate compatible open space recreational areas in a complimentary way to maximise benefits while minimising disturbance to environmental areas.
- Preference locally endemic vegetation communities throughout design elements and recreational spaces.
- Incorporate wildlife friendly fencing where required to mitigate negative interaction.
- Incorporate CPTED principles throughout the entire design of the development including environmental areas.
- Avoid allotment configurations which result in boundaries adjoining environmental areas or corridors.
- Connection to and restoration of corridors adjoining or connecting environmental areas.

4.5 Wetland and Waterway Buffers

Buffers between developments and sensitive environments can be a cost effective and suitable way to minimise and mitigate against impacts. Wetlands and waterways play a crucial role throughout the region supplying many communities with water supply and supporting recreational and commercial industries.

Where wetlands and waterways are likely to be impacted by development or have elements which incorporate them into development design, it is important to adopt recognised definitions and delineation standards. Developments must present designs and reports consistent with the Queensland Wetland Definition and Delineation Guideline produced by the DES.

Development located within or adjacent to a wetland or within an area that supports a wetland (support area), must consider the impacts to those values from the earliest stages of design. Where a separation buffer is a suitable method to minimise the impacts to a waterway or wetland, the buffer area is to be assessed and provided in accordance with the Queensland Wetland Buffer Planning Guideline, published by the DES. Development may include a variety of methods to achieve separation, however, wetland protection and enhancement is to be prioritised throughout design.

Construction activities must adopt industry best practice through the installation and maintenance of suitable Erosion and sediment control methodologies and devices, described and adopted by the International Erosion Control Association Australasia.

Part 5.0 Environmental Offsets

5.1 Overview

Environmental Offsets are designed to counterbalance unavoidable residual impacts on matters of environmental significance. An offset may be proposed where a development proposal causes significant residual impacts on environmental values. Offsets should be guided by and have a conservation outcome as defined by the Environmental Offsets Act 2014.

Where a development is likely to have an Environmental Offset, it is strongly recommended that a prelodgement meeting is undertaken.

5.2 Triggers for Environmental offsets

Development should take all reasonable avoidance and mitigation methods prior to seeking an Environmental Offset. However, a development may provide an Environmental Offset when there is a likely and unavoidable impact to any of the following:

- MNES
- MSES
- MLES
- Any other prescribed environmental matter.

This policy applies to matters that the Local Government has prescribed as MSES, identified in supporting policies and strategies, and MSES as identified and permitted by legislation.

5.3 Offset Receiving Areas

Receiving areas for Environmental Offsets should preference the site to which the offset is required. Where suitable offset receiving locations are not available at the site to which the offset is required, alternative locations may be appropriate providing that the offset represents a conservation outcome.

Areas identified within the Environmental Significance Overlay and Council's Biodiversity Strategy 2015-2025 and identified as a "Corridor Network" areas may be suitable offset receiving areas if on-site receiving areas are not available.

Discussions with Council regarding offsets should commence as early as possible to ensure appropriate actions are undertaken and any offset is appropriately delivered and realised.

5.4 Planning and design principles

Planning and design of an offset should be guided by the Environmental Offsets Act 2014. When planning and implementing an Environmental Offset, an Environmental Offsets Plan (EOP) should be considered. The information contained within an EOP is likely to vary depending on the nature and scale of the offset needed, however should be consistent with the principles of Appendix D - Environmental Offsets Plan.

Part 6.0 Reference Material

- Department of Environment and Resource Management (2011) *Queensland Wetland Definition and Delineation Guideline*, Queensland Government, Brisbane
- Module 8. Native Vegetation Clearing - State Development Assessment Provisions for guidance on buffers <http://dilgp.qld.gov.au/resources/policy/sdap/sdap-module-8-v-1-7.pdf>
- Department of State Development Manufacturing, Infrastructure and Planning (2018), *State Code 16: Native Vegetation Clearing in State Development Assessment Provisions*, Queensland Government, Brisbane.
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- Queensland Department of Environment and Heritage Protection (2016). *Flora Survey Guidelines - Protected Plants*. Queensland Department of Environment and Heritage Protection, Conservation and Biodiversity Policy Unit. Brisbane.
- Queensland Department of Main Roads (2000). *Fauna Sensitive Road Design Manual. Volume 1 - Past and Existing Practices*. Queensland Department of Main Roads, Planning, Design and Environment Division. Brisbane.
- Queensland Department of Main Roads (2010). *Fauna Sensitive Road Design Manual. Volume 2 — Preferred Practices*. Queensland Department of Main Roads, Planning, Design and Environment Division. Brisbane.
- Queensland Wetlands Buffer Planning Guideline <http://wetlandinfo.ehp.qld.gov.au/resources/static/pdf/resources/reports/buffer-guide/wetland-buffer-guideline-14-04-13.pdf>
- Scenic Rim Regional Council Biodiversity Strategy 2015 — 2025
- SEQ Fire and Biodiversity Consortium (2018). *Property Fire Management Planning Kit*, online

Appendix A Basic Ecological Assessment Template

Editor's Note - Contact Council for a guideline to assist in completing the template.

A Basic Ecological Assessment is undertaken over the period of a day or less. Trapping is not undertaken, although diurnal searches for fauna are desirable. Vegetation structure is likely to be readily assessed using Quaternary sites, although transect information may be useful in some situations. All prevailing environments are assessed. An assessment of impacts on wetlands and watercourses is conducted where required, and appropriate mitigation measures outlined.

Where clearing of native vegetation is involved, a Basic Ecological Assessment is supported by a Vegetation Management Plan.

Where ecological assessments are not submitted at the time of application, plans may be required prior to development approval as part of the development assessment process or as a condition of approval.

Report Section	Outcomes	Considerations/requirements
Chapter 1 Site Description	Describe the physical characteristics of the site	<ul style="list-style-type: none"> Description of the physical characteristics of the site Topography, slope and landform Water bodies Photographs
Chapter 2 Description of Development	Provide an overview of the existing land uses and the proposed development or use	<ul style="list-style-type: none"> Existing or previous land uses Existing infrastructure Describe proposed development/use Associated infrastructure required for the development Associated site works including proposed earth works and/or vegetation removal Any relevant development approvals or conditions
Chapter 3 Assessment Summary	<p>Detail outcomes of the Code to be considered</p> <p>Provide an overview of assessments to be undertaken</p> <p>Provide details of qualifications and experience of the person undertaking the ecological assessment</p>	<ul style="list-style-type: none"> Also detail any matters referenced in the Code that have not been considered as part of the report
Chapter 4 Flora Features	Identify and evaluate the likely presence of flora, plant communities and ecosystems.	<ul style="list-style-type: none"> Desktop study of flora Regional Ecosystems (remnant and non-remnant plant community types) and discuss extent, location, structure, proportions and condition
Chapter 5 Fauna Features	Identify specific habitat features available for fauna and indications of fauna presence	<ul style="list-style-type: none"> Include results of any diurnal searches for fauna and habitats
Chapter 6 Wetlands &	Detail and discuss impacts on the ecology of mapped waters	<ul style="list-style-type: none"> Include details of works/development in or near waters, aquatic fauna and flora, and rehabilitation measures.

Waterways /Local Watercourses		<ul style="list-style-type: none"> Coordinate report with any management plans that have been prepared.
Chapter 7 Evaluation of Impacts	Detail and discuss impacts of the development and mitigation measures appropriate.	<ul style="list-style-type: none"> Show a current aerial photo highlighting existing environmental values overlaid with the plan of development. Comparison of environmental areas, removed, replaced and restored.
Chapter 8 <i>Code Outcomes</i>	<p>Address the relevant Performance and Acceptable Outcomes of the Code in relation to the proposed development.</p> <p>Where a proposed development has the potential to adversely impact upon mapped environmental values, demonstrate how the outcomes of the Code are to be met.</p>	<ul style="list-style-type: none"> Detail each relevant outcome applicable to the development Identify how the outcomes are to be met (<i>which may include reference to specific recommendations and actions identified in Chapter 9</i>). Describe environmental design principles adopted throughout the development
Chapter 9 Recommendations and Actions	<p>Expand upon management strategies to reduce potential impacts to an acceptable level.</p> <p>Identify and describe avoidance, mitigation and management measures</p> <p>Detail how specific outcomes of the Code are to be achieved.</p> <p>Provide consolidated and coordinated <i>Recommendations and Actions</i> which also incorporate outcomes from:</p> <ul style="list-style-type: none"> Vegetation Management Plan; Environmental Offsets Report; and any other reports or investigations. 	<ul style="list-style-type: none"> Revegetation or restoration. Landscaping. Wildlife movement infrastructure. Fauna management. Development design. Alternative location for the development. Protection of aquatic ecologies.
Additional Material to be submitted	Provide all technical data as an Appendix to the report.	<ul style="list-style-type: none"> Maps Aerial Imagery Photographs Technical assessments
Vegetation Management Plan	<p>To be:</p> <ol style="list-style-type: none"> included as an appendix to the Ecological Assessment; or prepared as a later stand-alone document to be submitted as part of an operational works application. <p>Note - <i>If prepared as a later standalone plan, a vegetation management concept plan must be provided as part of the ecological assessment.</i></p>	<p>Contents as per Appendix C - Vegetation Management Plan Template</p> <p>Editor's Note - <i>Contact Council for a guideline to assist in completing the template.</i></p>

Appendix B Detailed Ecological Assessment Template

A Detailed Ecological Assessment is undertaken over a five day/four-night period. Fauna and flora surveys are conducted. Trapping is undertaken. To adequately describe vegetation structure a mix of Secondary and Quaternary sites are required. In some instances, seasonal survey information may be required (e.g. Summer and Winter surveys). All prevailing environments are assessed. An assessment of impacts on wetlands and watercourses is conducted where required, and appropriate mitigation measures outlined.

Where clearing of native vegetation is involved, a Detailed Ecological Assessment is supported by a VMP describing the actions to be applied to manage vegetation before, during and after development. An FMP is also required to describing the actions to be applied to manage vegetation before, during and after development. An EOP may be required.

Such Plans may be required either:

1. prior to development approval as part of the development assessment process; or
2. as a condition of a development approval, in which case it will be required to be lodged before the commencement of site works or any interference with vegetation. This plan provides certainty surrounding how actions are to occur to ensure environmental best-practice is undertaken.

Report Section	Outcomes (<i>Refer Overlay Code</i>)	Considerations/requirements
Chapter 1 <i>Site Description</i>	Describe the existing physical characteristics of the site	<ul style="list-style-type: none"> • Description of the physical characteristics of the site • Geology and soils • Hydrology and water quality (surface and groundwater) • Topography, slope and landform. • Water bodies
Chapter 2 <i>Description of Development</i>	Provide an overview of the existing land uses and the proposed development or use. Show a current aerial photo highlighting existing environmental values overlaid with the plan of development	<ul style="list-style-type: none"> • Existing or previous uses • Existing infrastructure • Influence of past and present land use on the site • Type of proposed development/use. • Associated infrastructure required for the development • Associated site works including proposed earth works and/or vegetation removal • Any relevant prior development approvals and conditions.
Chapter 3 Assessment Summary	Detail outcomes of the Code to be considered Provide an overview of assessments to be undertaken Provide details of qualifications and experience of the person undertaking the ecological assessment	<ul style="list-style-type: none"> • Detail any matters referenced in the Code that have not considered as part of the report
Chapter 4 <i>Identify Flora Features</i>	Identify and evaluate the likely presence of flora, plant communities and ecosystems.	<ul style="list-style-type: none"> • Field and desktop methodology and assumptions • Desktop and field studies of flora. • Priority Species

		<ul style="list-style-type: none"> Regional Ecosystems (remnant and non-remnant plant community types) and discuss extent, location, structure, proportions and condition Flora species listed in Appendix F where in a mapped area on the Environmental Significance Overlay Map OM-04-B - Local Biodiversity
Chapter 5 <i>Identify Fauna Features</i>	<p>Discuss habitat requirements, movement paths, breeding and dispersal behaviours</p> <p>Identify specific habitat features available for fauna and indications of fauna presence</p>	<p>Field surveys of fauna species including identifying;</p> <ul style="list-style-type: none"> Habitat function and ecological processes Wildlife movement - current and future opportunities Riparian zone and riparian buffer zone Water quality and stream health indicators Presence of weed and pest species Fauna species listed in Appendix F where in a mapped area on the Environmental Significance Overlay Map OM-04-B - Local Biodiversity
Chapter 6 Wetlands & Waterways/Local Watercourses	<p>Detail and discuss the presence or otherwise of water features including rivers and streams, freshwater wetlands, estuarine or marine environments</p> <p>Identify any impacts on the ecology of waters</p>	<ul style="list-style-type: none"> Include details of works/development in or near waters, aquatic fauna and flora, and rehabilitation measures Coordinate report with any SQMP or WMP that have been prepared If wetlands are present, they should be delineated according to the Queensland Wetland Definition and Delineation Guideline (DERM, 2011)
Chapter 7 <i>Evaluation of Impacts</i>	<ul style="list-style-type: none"> Evaluate all threatening processes and potential impacts, both temporary and permanent Detail and discuss mitigation measures appropriate to the scale of impact protects and avoids impact on Matters of State and/or Local Environmental Significance Discuss and identify how development will act to protect matters of environmental significance by (in hierarchical order): <ul style="list-style-type: none"> Protect existing matters; Avoid impacts; Minimise impacts; Mitigate impacts caused; Reinstate matters damaged during development. 	<ul style="list-style-type: none"> Edge effects Biodiversity loss Landscape effects Invasive species Downstream effects Site hazard assessment for wildlife. Part 4.0 Environmental Design
Chapter 8 <i>Code Outcomes</i>	<p>Address the relevant Performance and Acceptable Outcomes of the Environmental Significance Overlay Code in relation to the proposed development.</p> <p>Where a proposed development has</p>	<ul style="list-style-type: none"> Detail each relevant outcome applicable to the development Identify how the outcomes are to be met (<i>which may include reference to specific recommendations and actions identified in Chapter 9</i>)

	the potential to adversely impact upon mapped environmental values, demonstrate how the outcomes of the Code are to be met	
Chapter 9 <i>Recommendations and Actions</i>	<p>Identify and describe avoidance, mitigation and management measures</p> <p>Expand upon management strategies to reduce potential impacts to an acceptable level</p> <p>Incorporate outcomes from:</p> <ul style="list-style-type: none"> • Vegetation Management Plan; • Environmental Offsets report; and • any other reports; <p>to provide consolidated and coordinated Recommendations and Actions</p> <p>Where habitat or vegetation is proposed to be damaged, management strategies are implemented to ensure the protection and safety of wildlife and the protection of nearby habitat in areas identified as either Matters of State and/or Local Environmental Significance</p>	<ul style="list-style-type: none"> • Species specific interventions • Environmental buffers • Revegetation or restoration • Landscaping • Wildlife movement infrastructure • Nest box habitat • Fauna management • Development design. • Alternative location for the development • Minimisation of edge effects • Environmental Offset concept plan • Part 4.0 Environmental Design <p>Note - Offset delivery is provided as per an offset delivery plan.</p>
Additional Material to be submitted <i>Maps, Aerial Imagery, Photographs and technical assessments</i>	<p>Provide all technical data as part of report</p> <p>List all references used including wildlife records, database extractions</p>	<ul style="list-style-type: none"> • Technical information or data including where applicable, GIS datasets • Authorities and agencies consulted — include any correspondence • Records of field surveys. (GPS points should be provided in GIS format). • Background reports and literature reviewed
Vegetation Management Plan	<p>To be:</p> <ol style="list-style-type: none"> 1. included as an appendix to the Ecological Assessment; or 2. prepared as a later stand-alone document to be submitted as part of an operational works application. <p>Note - <i>If prepared as a later standalone plan, a vegetation management concept plan must be provided as part of the ecological assessment.</i></p>	Contents as per Appendix C - Vegetation Management Plan Template
Offset Delivery Plan	<p>Detail how impacts are offset so that the environmental value proposed to be removed from the site is maintained.</p> <p>To be:</p> <ol style="list-style-type: none"> 1. included as an appendix to the 	Contents as per Appendix D Environmental Offsets Plan

	<p>Ecological Assessment; or</p> <p>2. prepared as a later stand-alone document to be submitted as part of an operational works application.</p> <p>Note - <i>If prepared as a later standalone plan, an offsets concept plan must be provided as part of the ecological assessment.</i></p> <p>Note - <i>Applies where significant residual impacts resulting from damage to vegetation in areas identified as Matters of Local Environmental Significance (and where not identified as Matters of State Environmental Significance) cannot be avoided or mitigated.</i></p>	
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Appendix C Vegetation Management Plan Template

A Vegetation Management Plan shall have regard to **Part 5 Environmental Design**.

Report Section	Outcomes	Considerations/Requirements
Chapter 1 <i>Vegetation Management Actions Responsibilities</i>	To clearly identify objectives, methods and reporting lines. To nominate all relevant stakeholders of responsibilities	<ul style="list-style-type: none"> Project manage vegetation management as an integral part of the construction and operational phase. Nominate the person with responsibility for overseeing development works (e.g. the site supervisor or works supervisor) to be responsible for implementing vegetation management actions on site and is considered the point of contact for Local Government. Detail the role of all contractors in vegetation management. Supply an action plan outlining timeframes for the implementation of each phase, and monitoring and reporting activities.
Chapter 2 <i>Vegetation Protection</i>	To protect vegetation and during construction and operational phases of development	<ul style="list-style-type: none"> Establish an inventory of both native and exotic species on the site. Including those listed as <i>Priority Species</i>. Identify any species listed under the Nature Conservation Act 1992, and the Environmental Protection and Biodiversity Conservation Act 2000 which are to be protected under this legislation. Produce a map of vegetation areas requiring protection on the site. Establish disturbance setbacks for vegetation retention areas and riparian and waterway corridors. Establish methodology to implement vegetation protection measures prior to construction works commencing including vehicle access ways, work areas, signage, barrier fences and tree guards.
Chapter 3 <i>Clearing and Disposal</i>	To minimise the adverse impacts of vegetation clearance. To maximise recycling or reuse of cleared vegetation. To minimise the impacts of habitat loss due to the removal of hollow bearing trees.	<ul style="list-style-type: none"> Clearly identify areas of vegetation to be cleared, retained, and areas containing hollow bearing trees. Relocate wildlife prior to the removal of habitat trees. Ensure appropriate permits have been obtained prior to these actions. Use clearing methods that will not damage adjacent protected vegetation and will minimise soil profile disturbance. Recycle cleared vegetation for reuse on or off site. Recycling techniques include mulching, tub-grinding, wood chipping and salvage. Trees containing hollows and habitat elements should have those aspects reclaimed/salvaged.

		<ul style="list-style-type: none"> • Trees with identified hollows should have the hollow section preserved and mounted on nearby or adjacent suitable trees.
Chapter 4 Rehabilitation and Maintenance	<p>To restore and enhance disturbed areas in the post construction phase.</p> <p>To maximise survival opportunities for areas of retained vegetation and newly rehabilitated areas.</p> <p>To minimise work durations and delays to enable timely rehabilitation.</p> <p>To prioritise rehabilitation through staged developments.</p>	<ul style="list-style-type: none"> • Determine the rehabilitation techniques suitable for the site taking into account the topography, soils, and Ecological Processes (i.e. natural regeneration, direct seeding, and soil seed-bank translocation techniques). • Provide recommended native species lists for rehabilitation. • Specify proposed maintenance programs to ensure the short and long-term health and vigour of retained vegetation and the healthy growth of new plantings and/or direct seeded areas. • Detail sediment and erosion control measures to be undertaken of cleared or disturbed areas. • Give details on mulching, watering and fertiliser regimes, regular inspection schedules for damage or disease, replacement planting criteria and weed eradication measures in this program. • Provide control methodologies for both declared and environmental weeds. • Where Offsets are proposed, an Offset Delivery Plan is to be provided in conjunction with the VMP.
Post Clearing - Reporting and Reviewing	Detail reporting and review procedure of the VMP including time frames.	<ul style="list-style-type: none"> • Detail how the Outcomes of the Code were achieved. • Report on the vegetation clearing and VMP implementation
Additional Material to be submitted	To provide any relevant information regarding development	<ul style="list-style-type: none"> • Maps, Aerial Imagery, Photographs and GIS datasets as applicable

Appendix D Environmental Offsets Plan

1.0 Overview

Where likely significant residual impacts, resulting from damage to vegetation in areas identified as Matters of Local Environmental Significance (and where not identified as Matters of State Environmental Significance) cannot be avoided or mitigated, impacts are offset so that the environmental value proposed to be removed from the site is maintained.

Environmental Offsets under the Policy are to achieve a conservation outcome for the impacted matter(s). They are proposed as a last resort action to offset unavoidable impacts where reasonable action has been taken to avoid impacts.

The proponent may choose to either deliver the offset on the site where development is to occur or on an alternative site protected in perpetuity.

The Ecological Assessment shall include an assessment of likely significant residual impacts, and compensatory measures proposed to be undertaken.

Offsets under the policy are to achieve a conservation outcome for the impacted matter(s). They are proposed as a last resort action to environmental impacts where reasonable action has been taken to avoid impacts or mitigate the impacts.

2.0 Principles

Environmental Offsets under the Policy must meet the following eight principles before an offset is considered an appropriate measure of environmental impact management:

1. Offsets will not replace or undermine existing environmental standards or regulatory requirements, or be used to allow development in areas otherwise prohibited through legislation or policy.
2. Environmental impacts must first be avoided, then minimised, before considering the use of Offsets for any remaining impact.
3. Offsets must achieve a conservation outcome that achieves an equivalent or better environmental outcome.
4. Offsets must provide environmental values as similar as possible to those being lost.
5. Offsets provision must minimise the time-lag between the impact and delivery of the environmental offset.
6. Offsets must provide additional protection (land) to environmental values at risk, or additional management actions to improve environmental values.
7. Where legal security is required, offsets must be legally secured for the duration of the impact on the environmental value.
8. Offsets should be as close as practical to the location of the impact on the prescribed environmental matter.

3.1 Types and hierarchy of determination

The following offset types are applicable and are listed in preference order with offsets being first considered at or nearest the site to which environmental values are lost.

1. **Site-based offset** - located on the land subject to the develop application on which the impacts will occur.
2. **Land-based offset** - offset delivered off-site and protected in perpetuity.
3. **Other offset** - This can include offsets not otherwise specified that provide an equal or greater ecological benefit.

In certain situations, it may be reasonable to provide a combination of the offset hierarchy above. Such circumstances should be considered on an individual bases and form part of early development discussions with Council. Financial offsets are not applicable under this Policy.

3.3 Offset receiving sites

Offset receiving sites must be within the Scenic Rim Regional Council Local Government Area and be generally consistent with the requirements of the Environmental Offsets Act 2014.

Environmental Offset Areas should be located:

1. upon the land subject to the development application; or
2. where the development area is located within an area identified on **Environmental Significance Overlay Map — Local Biodiversity OM-04-B**, on land within, adjoining or linking areas mapped as;
 - a. Core Corridor;
 - b. Node Corridor;
 - c. Stepping Stone;
 - d. Critical Linkage; or
3. where the development area is located within an area identified on **Environmental Significance Overlay Map — Local Biodiversity OM-04-C**, on land within, adjoining or linking areas mapped as Koala Habitat; or
4. be other such land approved by Council where it can be demonstrated that the offset will achieve positive regional biodiversity and connectivity outcomes.

Editor's Note - refer to Councils Biodiversity Strategy 2015-2025: Bushland Corridor Network which identifies local corridors

3.4 Suitability of receiving sites

A receiving site may constitute an entire lot or be a defined area within one or more lots. One lot may contain a number of offset receiving sites so long as the extent of any one receiving site does not overlap with another.

Receiving sites must:

1. be:
 - a. on the same site; **or**
 - b. greater than 0.5 hectares in size; **or**
 - c. immediately adjacent to an area of native vegetation which is at least 0.5 hectares which is protected by regulation or binding agreement; **and**
2. planted with native trees, endemic to the site.

The management objective for any receiving site will be to;

1. undertake direct planting works, and reach a level where minimal maintenance is required and the receiving site has become self-sustaining. This stage will be certified by a *suitably qualified person*.
2. undertake a sufficient level of maintenance to address weed incursion and other external factors.
3. progress towards the pre-clearing vegetation type of the offset receiving site.

3.6 Overlap of Offsets

Where an impact is to occur in an area identified as containing greater than one environmental value, only one offset shall apply. The applicant will provide an offset for the greater requirement and implement the environmental offset in the way described in the Policy.

3.7 Preparing a Delivery Plan

A Delivery Plan shall be submitted to and approved by Council either:

1. as part of the Environmental Offset Plan; or
2. prior to the development approval being issued; or
3. in the instance of a *Material Change of Use*, prior to development commencing in accordance with a condition of development approval.

A delivery plan must be prepared, and all subsequent management actions must be implemented by a *suitably qualified person*.

Table 3.7: Requirements for an Offset Delivery Plan

Report Section	Requirements	Notes
1. Justification of unavoidable impacts	<ol style="list-style-type: none"> a. Description of avoidance and minimisation efforts. b. Description of environmental values proposed for Offsetting. 	
2. Determine obligation	<ol style="list-style-type: none"> a. Methodology for determination of the Offset amount and type. b. Details of the Offset proposed. 	<p><i>Native trees proposed to be cleared are to be counted. (mandatory where areas less than one hectare) or estimated at a rate of 2000 trees per hectare).</i></p> <p><i>Planting is to be at a minimum density of 2000 stems per hectare.</i></p>
3. Scale map	A scale map showing the vegetation proposed for clearing and the receiving site.	<i>A digital copy is to be provided in Arc GIS shapefile format.</i>
4. Legal mechanism	Details of the legal mechanism proposed to protect the site in perpetuity.	<i>Example, for a subdivision, the proponent may choose to offset on land to be designated as Council reserve.</i>
5. Maintenance	Proposed monitoring/maintenance actions to be undertaken.	<i>A minimum 5 year maintenance period by the proponent addressing weed control, watering or any maintenance actions required as part of the plan.</i>
6. Outcomes	<p>Annual survival rate of trees to be 90% of the original Offset quantity. Additional replacement plantings are required annually where this is not achieved.</p> <p>To be finalised, offset must:</p> <ul style="list-style-type: none"> • include at least 70% of trees more than 3 years old; and • at least 90% of the number of trees originally required. 	<i>Replacement plantings should occur within twelve months of each Annual Review (subject to weather).</i>
7. Reporting	<p>Reporting to be provided to Council on:</p> <ul style="list-style-type: none"> • Planting • Maintenance • Assessments/survival rates • Replacement plantings • Growth rates • Matters affecting survival or viability of trees 	<ul style="list-style-type: none"> • <i>Completion of initial planting</i> • <i>Quarterly assessments for the initial 12 months</i> • <i>Annual reporting thereafter</i> • <i>Final assessment after at least 5 years</i>
8. Bonding	Provide a cost estimate of offset	<i>A schedule should consider initial planting,</i>

	works, in the form of a schedule of rates. Detail proposed staging of bonds for staged developments.	<i>maintenance, replacement plantings and assessment costs.</i>
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Appendix E Koala Food and Habitat Trees

Species	Location
Queensland Blue Gum (<i>Eucalyptus tereticornis</i>)	Prefers fertile areas — fertile creek flats and drier slopes
Tallowwood (<i>E. microcorys</i>)	Prefers deeper moister soils on slopes
Grey Gum (<i>E. major</i>)	Well-drained soils in wetter areas
Small-fruited Grey Gum (<i>E. propinqua</i>)	Well-drained soils on slopes
Gum-topped Box (<i>E. moluccana</i>)	Prefers areas with clay soils
Spotted Gum (<i>Corymbia citriodora var variegata</i>)	Dry well-drained slopes
Narrow-leaved Red Gum (<i>E. seeana</i>)	Sandy loam with some clay
Grey Ironbark (<i>E. siderophloia</i>)	Wide variety of soils
Narrow-leaved Ironbark (<i>E. crebra</i>)	Dry well-drained slopes
Broad-leaved Ironbark (<i>E. fibrosa ssp fibrosa</i>)	Dry well-drained stony slopes
Pink Bloodwood (<i>C. intermedia</i>)	Wide variety of deeper soils
White Mahogany (<i>E. acmenoides</i>)	Dry well-drained slopes
Thin-leaved Stringybark (<i>E. eugenioides</i>)	Deeper volcanic soils on slopes
Brush Box (<i>Lophostemon confertus</i>)	Moist gullies
Scribbly Gum (<i>E. racemosa</i>)	Sandy deeper soils

Appendix F Priority Species

The following species are locally significant species

FLORA			
Scientific Name	Common Name	Form	Comments
Acacia bakeri	marblewood	shrub	uncommon in the area
Acacia binervata	two-veined hickory	shrub	uncommon in the area
Acacia blakei ssp blakei		tree	uncommon in the area
Acacia brunioides ssp brunioides	brown wattle	shrub	uncommon in the area
Acacia floribunda	Gossimer Wattle	shrub	uncommon in the area
Acacia harpophylla	Brigalow	tree	iconic tree of Kalbar area
Acacia myrtifolia	myrtle wattle	shrub	uncommon in the area
Acacia obtusifolia	blunt-leaved wattle	shrub	uncommon in the area
Acacia stricta	Hop Wattle	shrub	uncommon in the area
Acacia viscidula	sticky wattle	shrub	uncommon in the area
Ailanthus triphysa	White Bean	tree	uncommon in the area
Anopterus macleayanus	Macleay Laurel	tree	uncommon in the area
Argophyllum nullumense	silver leaf	shrub	uncommon in the area
Arundinella montana	Mountain reed grass	herb	uncommon in the area
Astrotricha pauciflora		shrub	uncommon in the area
Atalaya multiflora	Broad-leaved Whitewood	tree	uncommon in the area
Banksia integrifolia ssp monticola		tree	uncommon in the area
Banksia spinulosa var cunninghamii	hairpin banksia	shrub	uncommon in the area
Barklya syringifolia	crown of gold	tree	uncommon in the area
Boronia anemonifolia		shrub	uncommon in the area
Bosistoa transversa	heart-leaved bosistoa	tree	uncommon in the area
Bossiaea buxifolia		shrub	uncommon in the area
Brachychiton rupestris	narrow-leaved bottle tree	tree	iniconic tree in Kalbar area
Brunoniella spiciflora	white brunoniella	herb	uncommon in the area
Callitris monticola	dwarf cypress pine	tree	uncommon in the area
Cassinia compacta	tall cassinia	shrub	uncommon in the area
Citrus australasica	finger lime	shrub	uncommon in the area
Comesperma esulifolium	mountain match-heads	shrub	uncommon in the area

<i>Comesperma volubile</i>	love creeper	vine	uncommon in the area
<i>Correa reflexa</i>	native fuchsia	shrub	uncommon in the area
<i>Croton stigmatus</i>	white croton	tree	uncommon in the area
<i>Daviesia arborea</i>	tree pea	tree	uncommon in the area
<i>Daviesia mimosoides</i>		shrub	uncommon in the area
<i>Dodonaea viscosa</i> ssp <i>spatulata</i>		shrub	uncommon in the area
<i>Eucalyptus amplifolia</i> ssp <i>sessiliflora</i>	cabbage gum	tree	uncommon in the area
<i>Eucalyptus banksii</i>	tenterfield woollybutt	tree	uncommon in the area
<i>Eucalyptus deanei</i>	mountain blue gum	tree	uncommon in the area
<i>Eucalyptus exerta</i>	Queensland Peppermint	tree	uncommon in the area
<i>Eucalyptus fusiformis</i>	an Ironbark	tree	uncommon in the area
<i>Eucalyptus interstans</i>	narrow-leaved red gum	tree	uncommon in the area. Disjunct distribution.
<i>Eucalyptus michaeliana</i>	hillgrove gum	tree	uncommon in the area
<i>Eucalyptus nobilis</i>	manna gum	tree	uncommon in the area
<i>Eucalyptus notabilis</i>	Blue Mountains Mahogany	tree	uncommon in the area
<i>Eucalyptus obliqua</i>	messmate stringybark	tree	uncommon in the area
<i>Eucalyptus oreades</i>	blue mountains ash	tree	uncommon in the area
<i>Eucalyptus quadrangulata</i>	white-topped box	tree	uncommon in the area
<i>Gmelina leichhardtii</i>	White Beech	tree	uncommon in the area iconic commercial species
<i>Gompholobium uncinatum</i>		shrub	uncommon in the area
<i>Goodenia ovata</i>	hop goodenia	shrub	uncommon in the area
<i>Gossia bidwillii</i>	Pythonwood	tree	uncommon in the area
<i>Harnieria hygrophiloides</i>		herb	uncommon in the area
<i>Hibbertia riparia</i>	erect guinea flower	shrub	uncommon in the area
<i>Hovea impressinerva</i>		shrub	uncommon in the area
<i>Keraudrenia hookeriana</i>		shrub	uncommon in the area
<i>Lepidozamia peroffskyana</i>	Shining Burrawang	herb	uncommon in the area
<i>Lycopodium deuterodensum</i>	Bushy Clubmoss	herb	uncommon in the area
<i>Marsdenia hemiptera</i>	rusty vine	vine	uncommon in the area
<i>Melaleuca pallida</i>	lemon bottlebrush	shrub	uncommon in the area
<i>Monococcus echinophorus</i>	Monococcus	shrub	uncommon in the area
<i>Myrsine subsessilis</i> ssp <i>subsessilis</i>	Red Muttonwood	shrub	uncommon in the area

<i>Notelaea johnsonii</i>	Veinless Mock-Olive	shrub	uncommon in the area
<i>Olearia microphylla</i>	small-leaved daisy bush	shrub	uncommon in the area
<i>Ozothamnus rufescens</i>	brown dogwood	shrub	uncommon in the area
<i>Ozothamnus whitei</i>		shrub	uncommon in the area
<i>Pandorea baileyana</i>	large-leaved wonga vine	vine	uncommon in the area
<i>Pandorea</i> sp Mt Maroon		vine	uncommon in the area
<i>Persoonia volcanica</i>	Mountain Geebung	shrub	uncommon in the area
<i>Philotheca difformis</i> ssp <i>smithiana</i>		shrub	uncommon in the area
<i>Phyllanthus subcrenulatus</i>		shrub	uncommon in the area
<i>Plectranthus alloplectus</i>	narrow-leaved plectranthus	herb	uncommon in the area
<i>Pomaderris nitidula</i>		shrub	uncommon in the area
<i>Pomaderris queenslandica</i>		shrub	uncommon in the area
<i>Prostanthera nivea</i>	snowy mint bush	shrub	uncommon in the area
<i>Quintinia sieberi</i>	Rough Possumwood	tree	uncommon in the area
<i>Santalum obtusifolium</i>	Sandalwood	shrub	uncommon in the area
<i>Senna acclinus</i>	brush senna	shrub	uncommon in the area
<i>Seringia hillii</i>		shrub	uncommon in the area
<i>Sphaerolobium minus</i>	short globe pea	shrub	uncommon in the area
<i>Tapeinosperma repandum</i>	southern tapeinosperma	shrub	uncommon in the area
<i>Tephrosia bidwillii</i>		shrub	uncommon in the area
<i>Teucrium corymbosum</i>	forest germander	shrub	uncommon in the area
<i>Thelionema grande</i>	tufted granite	herb	uncommon in the area
<i>Wahlenbergia glabra</i>		herb	uncommon in the area
<i>Xylosma terrae-reginae</i>	xylosma	tree	uncommon in the area

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Class	Scientific Name	Common Name	Comments
amphibian	<i>Litoria verreauxii</i>	whistling treefrog	Associated with wetlands. Limited distribution.
amphibian	<i>Litoria chloris</i>	orange eyed treefrog	Associated with rainforests. Limited distribution.
amphibian	<i>Litoria revelata</i>	whirring treefrog	Uncommon
amphibian	<i>Litoria tyleri</i>	southern laughing treefrog	Associated with rainforests. Limited distribution.
amphibian	<i>Lechriodus fletcheri</i>	black soled frog	Associated with wetlands. Limited distribution.
amphibian	<i>Philoria loveridgei</i>	masked mountain frog	Uncommon

amphibian	<i>Assa darlingtonii</i>	pouched frog	Uncommon.
amphibian	<i>Pseudophryne coriacea</i>	red backed broodfrog	Associated with wetlands. Limited distribution.
amphibian	<i>Uperoleia fusca</i>	dusky gungan	Associated with wetlands. Limited distribution.
bird	<i>Chthonicola sagittata</i>	speckled warbler	Associated with intact open forests. Uncommon.
bird	Accipitridae novaehollandiae	grey goshawk	uncommon
bird	<i>Circus approximans</i>	swamp harrier	Associated with wetlands. Limited distribution.
bird	<i>Hieraaetus morphnoides</i>	little eagle	Uncommon.
bird	<i>Lophoictinia isura</i>	square-tailed kite	Very Uncommon.
bird	<i>Aegotheles cristatus</i>	Australian owl-nightjar	Uncommon.
bird	<i>Anas rhynchotis</i>	Australasian shoveler	Associated with wetlands. Limited distribution.
bird	<i>Malacorhynchus membranaceus</i>	pink-eared duck	Associated with wetlands. Limited distribution.
bird	<i>Anseranas semipalmata</i>	magpie goose	Associated with wetlands. Limited distribution.
bird	<i>Ixobrychus flavicollis</i>	black bittern	Associated with wetlands. Limited distribution.
bird	<i>Burhinus grallarius</i>	bush stone-curlew	Uncommon.
bird	<i>Coracina lineata</i>	barred cuckoo-shrike	Associated with rainforests. Limited distribution.
bird	<i>Ephippiorhynchus asiaticus</i>	black-necked stork	Uncommon
bird	<i>Chalcophaps indica</i>	emerald dove	Uncommon.
bird	<i>Lopholaimus antarcticus</i>	topknot pigeon	Associated with rainforests. Limited distribution.
bird	<i>Ptilinopus superbus</i>	superb fruit-dove	Uncommon. Associated with rainforests. Limited distribution.
bird	<i>Stagonopleura guttata</i>	diamond firetail	Very Uncommon.
bird	<i>Eurostopodus mystacalis</i>	white-throated nightjar	Uncommon
bird	<i>Falco peregrinus</i>	peregrine falcon	Uncommon
bird	<i>Melithreptus gularis</i>	black-chinned honeyeater	Very Uncommon.
bird	<i>Symposiarchus trivirgatus</i>	spectacled monarch	Associated with rainforests. Limited distribution.
bird	<i>Orthonyx temminckii</i>	Australian logrunner	Associated with rainforests. Limited distribution. IBA species.
bird	<i>Falcunculus frontatus</i>	crested shrike-tit	uncommon

bird	<i>Ptiloris paradiseus</i>	paradise riflebird	Associated with rainforests. Limited distribution. IBA species.
bird	<i>Microeca fascinans</i>	jacky winter	bush bird suffering population pressures
bird	<i>Petroica rosea</i>	rose robin	bush bird suffering population pressures
bird	<i>Tregellasia capito</i>	pale-yellow robin	Associated with rainforests. Limited distribution. IBA species.
bird	<i>Excalfactoria chinensis</i>	king quail	Very Uncommon.
bird	<i>Pitta versicolor</i>	noisy pitta	Associated with rainforests. Limited distribution.
bird	<i>Pomatostomus temporalis</i>	grey-crowned babbler	populations under pressure.
bird	<i>Cinclosoma punctatum</i>	spotted quail-thrush	uncommon
bird	<i>Ailuroedus crassirostris</i>	green catbird	Associated with rainforests. Limited distribution. IBA species.
bird	<i>Sericulus chrysocephalus</i>	regent bowerbird	Associated with rainforests. Limited distribution. IBA species.
bird	<i>Amauornis moluccana</i>	pale-vented bush-hen	Very Uncommon.
bird	<i>Lewinia pectoralis</i>	lewin's rail	Very Uncommon.
bird	<i>Ninox connivens</i>	barking owl	Very Uncommon.
bird	<i>Plegadis falcinellus</i>	glossy ibis	Associated with wetlands. Limited distribution.
bird	<i>Zoothera heinei</i>	russet-tailed thrush	Associated with rainforests. Limited distribution.
bird	<i>Zoothera lunulata</i>	Bassian thrush	Associated with rainforests. Limited distribution.
bird	<i>Tyto longimembris</i>	eastern grass owl	Very Uncommon.
bird	<i>Tyto novaehollandiae</i>	masked owl	Very Uncommon.
bird	<i>Tyto tenebricosa</i>	sooty owl	Very Uncommon.
bony fish	<i>Mogurnda adspersa</i>	southern purplespotted gudgeon	Very Uncommon.
bony fish	<i>Galaxias olidus</i>	mountain galaxias	Very Uncommon.
bony fish	<i>Melanotaenia duboulayi</i>	crimsonspotted rainbowfish	Very Uncommon.
bony fish	<i>Mugil cephalus</i>	Sea Mullet	Scenic Rim is a critical nursery area for a commercial species.
bony fish	<i>Myxus petardi</i>	pinkeye mullet	Uncommon.
bony fish	<i>Pseudomugil signifer</i>	Pacific blue eye	Very Uncommon.

bony fish	<i>Retropinna semoni</i>	Australian smelt	Uncommon.
mammal	<i>Acrobates pygmaeus</i>	feathertail glider	Uncommon.
mammal	<i>Antechinus subtropicus</i>	subtropical antechinus	Limited distribution.
mammal	<i>Phascogale tapoatafa</i>	brush-tailed phascogale	Uncommon.
mammal	<i>Planigale maculata</i>	common planigale	Uncommon.
mammal	<i>Sminthopsis murina</i>	common dunnart	Uncommon.
mammal	<i>Macropus dorsalis</i>	black-striped wallaby	Uncommon.
mammal	<i>Thylogale stigmatica</i>	red-legged pademelon	Associated with rainforests. Limited distribution.
mammal	<i>Pseudomys gracilicaudatus</i>	eastern chestnut mouse	Uncommon.
mammal	<i>Ornithorhynchus anatinus</i>	platypus	Iconic species associated with good water quality.
mammal	<i>Petaurus australis australis</i>	yellow-bellied glider	Uncommon.
mammal	<i>Petaurus norfolcensis</i>	squirrel glider	Uncommon.
mammal	<i>Trichosurus caninus</i>	short-eared possum	Uncommon.
mammal macrobat	<i>Nyctimene robinsoni</i>	eastern tube-nosed bat	Uncommon.
mammal microbat	<i>Mormopterus planiceps</i>	eastern freetail bat	Uncommon.
mammal microbat	<i>Kerivoula papuensis</i>	golden-tipped bat	Uncommon.
mammal microbat	<i>Myotis macropus</i>	large-footed myotis	Uncommon.
mammal microbat	<i>Nyctophilus bifax</i>	northern long-eared bat	Uncommon.
mammal microbat	<i>Nyctophilus gouldi</i>	Gould's long-eared bat	Uncommon.
mammal microbat	<i>Scoteanax rueppellii</i>	greater broad-nosed bat	Uncommon.
mammal microbat	<i>Vespadelus pumilus</i>	eastern forest bat	Uncommon.
reptile	<i>Chlamydosaurus kingii</i>	frilled lizard	Uncommon. Southern edge of distribution.
reptile	<i>Hypsilurus spinipes</i>	southern angle-headed dragon	Uncommon. Associated with rainforests.
reptile	<i>Cacophis krefftii</i>	dwarf crowned snake	Uncommon.
reptile	<i>Demansia vestigiata</i>	black whip snake	Uncommon. Recovering population.
reptile	<i>Hoplocephalus stephensii</i>	Stephens' banded snake	Uncommon. Associated with rainforests.
reptile	<i>Pseudechis guttatus</i>	spotted black snake	Uncommon. Recovering

			population.
reptile	<i>Simoselaps australis</i>	coral snake	Uncommon.
reptile	<i>Vermicella annulata</i>	bandy-bandy	Uncommon.
reptile	<i>Saltuarius swaini</i>	leaf-tailed gecko	Associated with rainforests. Limited distribution.
reptile	<i>Egernia frerei</i>	major skink	Associated with rainforests. Limited distribution.
reptile	<i>Egernia major</i>	land mullet	Associated with rainforests. Limited distribution.
reptile	<i>Erotoscincus graciloides</i>	elf skink	Uncommon.
reptile	<i>Ophioscincus ophioscincus</i>		Uncommon.
reptile	<i>Saiphos equalis</i>		Uncommon.
crustacean decapod	<i>Euastacus sulcatus</i>	Lamington Spiny Crayfish	Associated with mountain rainforests. Limited distribution.
insect	<i>Tetragonula carbonaria</i>	Social Stingless Bee	Uncommon. Essential ecosystem species.
insect	<i>Tetragonula hockingsi</i>	Social Stingless Bee	Uncommon. Essential ecosystem species.

Appendix 1 Index and Glossary of Abbreviations and Acronyms

Table AP1.1—Abbreviations and Acronyms

Abbreviation/acronym	Description
AEP	Annual exceedance probability
AHD	Australian height datum
ALC	Agricultural Land Classification
ARI	Average recurrence interval
ARP	Aerodrome reference point
AS	Australian standards
AV	Articulated vehicle
BMP	Bushfire management plan
BSDA	Bromelton State Development Area
CBD	Central business district
CBR	Californian bearing ratio
cd/m ²	Candela per square metre
CPI	Consumer Price Index
CPESC	Certified Professional in Erosion and Sediment Control
CPTED	Crime Prevention Through Environmental Design
DFA	Defined flood area
DFE	Defined flood event
DFL	Defined flood level
DoD	Department of Defence
DSS	Desired standard of service
EP	Equivalent persons
ERA	Environmentally relevant activity
GFA	Gross floor area
Ha or ha	Hectare
HRV	Heavy rigid vehicle
HEV	High ecological value
HV	Heavy vehicle
IPWEAQ	Institute of Public Works Engineering Australasia
km/h	Kilometer per hour
KRA	Key Resource Area

kV	Kilovolt
kW/m ²	Kilo Watts per square metre
L or l	Litre
m	Metre
m ²	Metre squared
MCU	Material change of use as defined under the Act
MGA94	Map Grid of Australia, 1994
MLES	Matters of Local Environmental Significance
MNES	Matters of National Environmental Significance
MSES	Matters of State Environmental Significance
MRV	Medium rigid vehicle
MUTCD	Manual of Uniform Traffic Control Devices
NATA	National Association of Testing Authorities
ou	Odour unit
PFTI	Plans for trunk infrastructure
PIA	Priority infrastructure area
PVC	Polyvinyl Chloride
QDC	Queensland Development Code
QUDM	Queensland Urban Drainage Manual
ROL	Reconfiguring a lot as defined under the Act
RPEQ	Registered Professional Engineer of Queensland
RV	Recreational vehicle
SAA	Standards Association of Australia
SI	The International System of Units
SPP	State Planning Policy
SQMP	Stormwater quality management plan
SRRC	Scenic Rim Regional Council
SRV	Small rigid vehicle
the Act	Planning Act 2016
the Regulation	Planning Regulation 2017
the SP Act	<i>Sustainable Planning Act 2009 (repealed)</i>
the SP Regulation	<i>Sustainable Planning Regulation 2009 (repealed)</i>
TLA	Total lease area
TSS	Total suspended solids
uPVC	Unplasticised PVC

V	Volts
vpd	Vehicle trips per day
WMP	Waste Management Plan
WSUD	Water Sensitive Urban Design
WWMP	Wastewater Management Plan

Appendix 2 Table of Amendments

Table AP2.1 - Table of Amendments

Date of adoption and effective date	Planning scheme version number	Amendment type	Summary of amendments
Adopted at Council's Ordinary Meeting of 23 March 2021 and effective from 16 April 2021	Version dated 16 April 2021	Minor	Minor Amendment No. 1 to incorporate the updated Flood Hazard Overlay Mapping for the Refined Flood Study Canungra Township area modelled by Aurecon Pty Ltd and adopted by Council on 23 February 2021
Adopted at Council's Ordinary Meeting of 23 March 2021 and effective from 16 April 2021	Version dated 16 April 2021	Administrative	Administrative Amendment No. 2 made to correct or change: <ul style="list-style-type: none"> a. an explanatory matter about the planning scheme; b. the format or presentation of the planning scheme; c. a spelling or grammatical error in the planning scheme that does not materially affect the remainder of the planning scheme d. a factual matter incorrectly stated in the planning scheme e. a redundant or out-dated term in the planning scheme f. inconsistent numbering of provisions in the planning scheme; or g. cross-references in the planning scheme
Adopted at Council's Ordinary Meeting of 7 June 2022 and effective from 17 June 2022	Version dated 17 June 2022	Minor	Minor Amendment No. 4 to incorporate the updated Flood Hazard Overlay Mapping for the Refined Flood Study Canungra Township area and the Veresdale Flood Study modelled by Aurecon Pty Ltd and adopted by Council on 26 April 2022
Adopted at Council's Ordinary Meeting of 21 February and effective from 24 February 2023	Version dated 24 February 2023	Administrative	Administrative Amendment No.5 to update the Zoning Maps and Zone Map index with the January 2023 Digital Cadastral Database and alter the display of land in a Precinct to include a diagonal hatching.